



SHORELINE PERMIT APPLICATION

The undersigned hereby applies to the Town of Innisfil to consider this Community Planning Permit Application pursuant to Section 34 of the Planning Act, R.S.O. 1990, as amended and O. Reg. 173/16.

FOR OFFICE USE ONLY		
Shoreline Permit #:		Date Received:
LSRCA fees collected: <input type="checkbox"/> Yes <input type="checkbox"/> No		Receipt #:
<input type="checkbox"/> Class 3 (Standard) (Conforms to CPPS By-law)	<input type="checkbox"/> Class 2 Permit (Staff Variation)	<input type="checkbox"/> Class 1 Permit (Council Variation)

1. LOCATION OF SUBJECT LANDS

Municipal Address: 940 Shoreview Dr.

Town Lot and Concession Number:

Registered Plan and Lot/Block Number:

Reference Plan and Part Numbers:

2. APPLICANT INFORMATION:

[Redacted]

3. OWNER INFORMATION: Same as Applicant

[Redacted]

4. PURPOSE OF APPLICATION:

Description of proposed work (please include a detailed description including any proposed new structures or removal of structures, landscape changes, waterfront impacts, etc.):

Replace existing 2 story boathouse

5. PROPERTY DIMENSIONS:		
Lot Frontage:	Lot Depth:	Lot Area:
Area of Work (m2):		
6. IS A VARIANCE BEING REQUESTED WITHIN THE PROVISIONS SET OUT IN THE COMMUNITY PLANNING PERMIT BY-LAW?		
<input type="checkbox"/> Yes <input type="checkbox"/> No If Yes, please provide a brief description and rationale for the variance:		
7. ARE YOU PROPOSING TO CONSTRUCT ANY IN-WATER STRUCTURES? (i.e. Boathouse, Permanent Dock, Breakwaters)		
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, please provide a brief description of the proposed in-water structures: <i>Boathouse-</i>		
8. ACCESS & SERVICING		
Property Access: <input type="checkbox"/> By a Public Road <input type="checkbox"/> By a Private Road <input type="checkbox"/> Other:		
Property Storm Drainage: <input type="checkbox"/> Sewers <input type="checkbox"/> Ditches <input type="checkbox"/> Swales <input type="checkbox"/> Other:		
Water Service Type: <input type="checkbox"/> Publicly owned <input type="checkbox"/> Privately owned <input type="checkbox"/> Other:		
Sanitary Sewer Service Type: <input type="checkbox"/> Septic System <input type="checkbox"/> Privy <input type="checkbox"/> Other:		
Easements: <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes, please provide a description:		
9. HAS THE LAND EVER BEEN THE SUBJECT OF AN APPLICATION UNDER THE ACT FOR: <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, please complete the below:		
<i>Check all applicable boxes and provide file number if applicable:</i>		
<input type="checkbox"/> Plan of Subdivision	(File Number: _____)	Status: _____)
<input type="checkbox"/> Zoning Amendment	(File Number: _____)	Status: _____)
<input type="checkbox"/> Site Plan Control	(File Number: _____)	Status: _____)
<input type="checkbox"/> Minor Variance	(File Number: _____)	Status: _____)
<input type="checkbox"/> Consent/Severance	(File Number: _____)	Status: _____)
<input type="checkbox"/> Other:		
10. HAVE YOU HAD ANY CONSULTATIONS WITH ANY DEPARTMENTS OR EXTERNAL AGENCIES? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, please complete the below:		
<i>Check all applicable boxes and provide file number if applicable:</i>		
<input checked="" type="checkbox"/> Town of Innisfil staff		
<input checked="" type="checkbox"/> Lake Simcoe Region Conservation Authority (LSRCA)		
<input type="checkbox"/> Ministry of Natural Resources and Forestry		
<input type="checkbox"/> Fisheries and Oceans Canada		
<input type="checkbox"/> Transport Canada		

Check here to agree, if the Agent is not the owner:

I have been authorized by the registered owner(s) of the subject lands to submit this application on their behalf. Furthermore, for the purpose of the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), I authorize and consent to the use by disclosure to any person or public body of any information collected under the Planning Act for the purpose of processing this application.

Check here to agree:

I declare that all of the statements made and the information provided in this application, as well as any supporting documents are true. I make this declaration conscientiously believing it to be true and knowing it is of the same force and effect as if made under oath or solemn affirmation. I understand that it is an offence to declare a false statutory declaration under section 134 of the Criminal Code of Canada.

Check here to agree:

I declare that all documents, drawings, site plans, reports, information and material provided in this application will become the property of the Town of Innisfil and can be used for any reason deemed necessary by the Town of Innisfil.

Check here to agree:

If upon review of your application, Town Staff or Lake Simcoe Region Conservation Authority (LSRCA) requires additional review fees, the Applicant and/or Owner agrees to pay any additional review fees to the Town or LSRCA.

Check here to agree:

If, after six months after the issuance of this permit, the proposed work in respect to which it was issued, has not in the opinion of Town of Innisfil staff, been seriously commenced, the Town of Innisfil has the ability to revoke the permit. Also, in the opinion of Town of Innisfil staff, this permit can be revoked if the proposed work has been substantially suspended or discontinued for a period of more than one year.

I declare that I have read and understand the above.

Owner's Authorization for
Agent to Make an Application



Town of Innisfil
Building Department
2101 Innisfil Beach Road,
INNISFIL, ON L9S 1A1
Tel : 705-436-3710
1-888-436-3710
Fax: 705-436-7120

Date: _____ Permit No.: _____

Proposed Work: BATHHOUSE

Location: 940 SHOREVIEW DRIVE

The undersigned, being the owner(s) of the above referenced property, authorizes

COLE LEIBEL 880 SHOREVIEW DR. INNISFIL
Applicant Name Address

to apply for a permit for the above referenced project on my behalf. I understand that I shall be responsible for the terms of the conditions contained in the permit.

(If owner is an INDIVIDUAL)



(If owner is a CORPORATION)

Owner's Name

Address

Name of Authorizing Officer

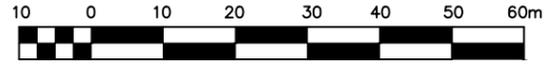
Phone No. / E-Mail

Signature of Authorizing Officer (I have authority to bind the Corporation)

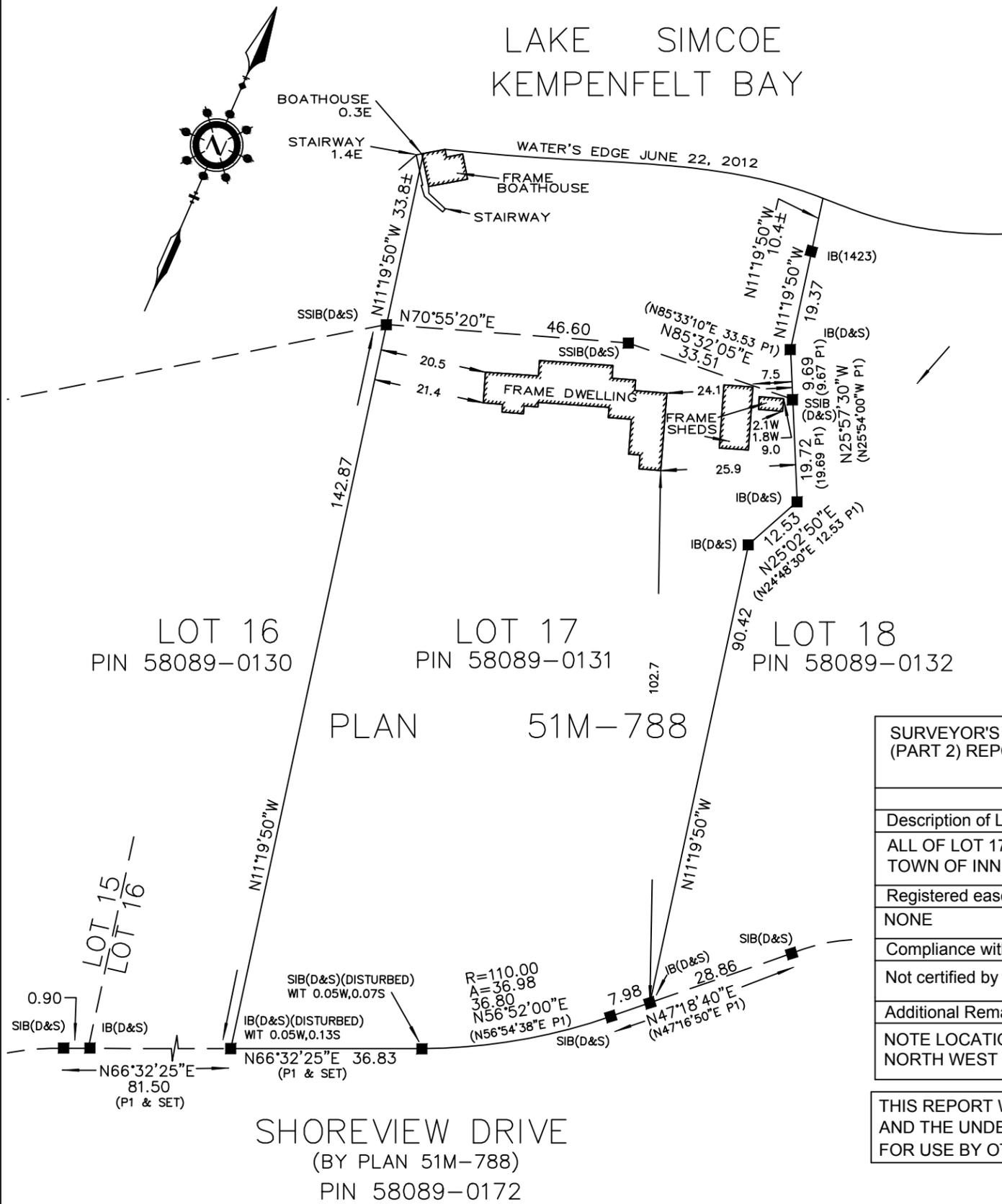
LEGEND

- DENOTES FOUND SURVEY MONUMENT
- SIB DENOTES STANDARD IRON BAR
- SSIB DENOTES SHORT STANDARD IRON BAR
- IB DENOTES IRON BAR
- WIT DENOTES WITNESS
- (D&S) DENOTES DEARDEN & STANTON LTD.
- (1423) DENOTES R. KRUPOWICZ, O.L.S.
- (P1) DENOTES PLAN 51M-788

SURVEYOR'S REAL PROPERTY REPORT
 (PART 1) PLAN OF ALL OF
 LOT 17
 PLAN 51M-788
 TOWN OF INNISFIL
 COUNTY OF SIMCOE



SCALE = 1:1000
 DINO R.S. ASTRI, O.L.S.



**SURVEYOR'S REAL PROPERTY REPORT
 (PART 2) REPORT SUMMARY**

Description of Land
ALL OF LOT 17, PLAN 51M-788 TOWN OF INNISFIL, COUNTY OF SIMCOE
Registered easements and/or Right-of-Ways
NONE
Compliance with Municipal Zoning By-Laws
Not certified by this Report
Additional Remarks
NOTE LOCATION OF BOATHOUSE AND STAIRS AT THE NORTH WEST CORNER OF PARCEL.

THIS REPORT WAS PREPARED FOR STEVE MARTIN AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

BEARING NOTE

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE NORTHERLY LIMIT OF SHOREVIEW DRIVE AS SHOWN ON PLAN 51M-788 AND BEING N66°32'25"E.

METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

ASSOCIATION OF ONTARIO
 LAND SURVEYORS
 PLAN SUBMISSION FORM
 1838904



THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR in accordance with Regulation 1026, Section 29(3).

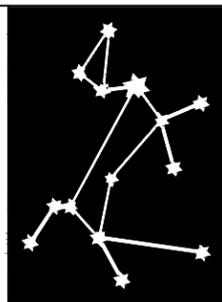
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SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
- 1) THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
 - 2) THE SURVEY WAS COMPLETED ON THE 22ND DAY OF JUNE, 2012.

JUNE 25, 2012
 DATE

DINO R.S. ASTRI
 ONTARIO LAND SURVEYOR



**DINO ASTRI
 SURVEYING LTD.**

1-661 Welham Road, Barrie, Ontario, L4N 0B7
 Phone: 705-792-6780 Fax: 705-792-4164
 www.astrisurveying.com
 Copies available @ www.landsurveyrecords.com

DRAWN BY: LS

CHECKED BY: DRSA

PROJECT No.
 8127_LOT17_SRPR



Soil Engineers Ltd.

CONSULTING ENGINEERS

GEOTECHNICAL • ENVIRONMENTAL • HYDROGEOLOGICAL • BUILDING SCIENCE

90 WEST BEAVER CREEK ROAD, SUITE 100, RICHMOND HILL, ONTARIO L4B 1E7 · TEL: (416) 754-8515 · FAX: (905) 881-8335

BARRIE
TEL: (705) 721-7863
FAX: (705) 721-7864

MISSISSAUGA
TEL: (905) 542-7605
FAX: (905) 542-2769

OSHAWA
TEL: (905) 440-2040
FAX: (905) 725-1315

NEWMARKET
TEL: (905) 853-0647
FAX: (905) 881-8335

GRAVENHURST
TEL: (705) 684-4242
FAX: (705) 684-8522

HAMILTON
TEL: (905) 777-7956
FAX: (905) 542-2769

August 11, 2020

Reference No. 2006-S041

Page 1 of 5

Big East Construction
880 Shoreview Drive
Innisfil, Ontario
L9S 5A7

Attention: Ms. Joanne Banman

**Re: A Geotechnical Assessment for
Proposed Boathouse
940 Shoreview Drive
Town of Innisfil**

Dear Madam:

As requested, we have completed the geotechnical assessment for the proposed boathouse located at the northwest corner of the rear yard of 940 Shoreview Drive in the Town of Innisfil. We provide herewith our findings, the results of the assessment and recommendations for the design and construction of the captioned project.

Background

The investigated area is situated at the northwest corner in the rear yard of the captioned property. The limit of the rear yard backs onto the south shore of Kempenfelt Bay, where an existing boat house is situated. The existing boathouse will be replaced with a new boathouse. The shoreline slope is approximately 8 m high. The proposed boathouse will be a two-storey structure constructed by excavating into the lower section of the slope. Terraced landscape retaining walls will also be construction around the boathouse to make up the grade to the tableland area. The flood line of the lake is at El. 219.15 m, as shown on the site plan, Drawing No. A-100.

Field Work

The field work consisted of one borehole advanced a depth of 12.6 m below the existing ground surface, was compacted on June 29, 2020. The location of the borehole is illustrated on the Borehole Location Plan, Drawing No. 1.



The ground elevation at the borehole location is interpolated from the spot elevations shown on the architectural drawing, Drawing No. A-100.

Subsurface Condition

The investigation revealed that beneath a 15 cm thick topsoil veneer and weathered soil extending to a depth of 1.8 m, the site is underlain by strata of compact to very dense sand, very dense sandy silt till and very dense silt deposits. Details of the subsurface information are summarized in the Borehole Log, Figure 1.

Upon completion of the borehole, both groundwater and cave-in were recorded at a depth of 9.1 m below existing ground surface, or El. 218.4 m.

Slope Stability Assessment

A stability assessment was performed for the slope incorporating the proposed structure. Based on the revealed subsurface information, the following soil strength parameters are used for the stability analysis:

Soil Type	Unit Weight (kN/m³)	Cohesion (kPa)	Internal Friction Angle (degrees)
Sand (Loose/Dense*)	20.5	0	31/35*
Sandy Silt Till	22	3	33
Silt	21	0	31

The cross section used for the analysis was provided on the architectural drawing, Drawing No. A-300, prepared by McIntyre Andrew Design and Drafting. The subsurface information used in the analysis was obtained from the borehole.

A surcharge of 10 kPa is also applied at the foot print of the boathouse to model the building load.

The resulting factor of safety (FOS) of the cross section is 1.79 which exceeds the OMNR guideline requirement with a FOS of 1.5 for 'Active' land use and is considered acceptable. The result is presented on Drawing No. 2.



Discussion and Recommendations

Foundations

Based on the borehole results and the geometry of the slope, conventional spread and strip footings can be used to support the proposed boathouse founded on undisturbed native soil below the scouring depth and the frost depth. Recommended bearing pressures of 250 kPa (SLS) and 400 kPa (ULS) can be used for the design of the foundations founded at an elevation below El. 220.0 m.

One must be aware the recommended bearing pressures are given as a guide for foundation design and must be confirmed by subgrade inspection performed by a geotechnical engineer at the building location.

If groundwater seepage is encountered during excavations, or where the subgrade of the footing is saturated, the subgrade should be protected by a concrete mud-slab immediately after exposure. This will prevent construction disturbance and costly rectification.

Footings exposed to weathering, or in unheated areas, should have at least 1.5 m of earth cover for frost protection.

The building foundation must meet the requirements specified in the latest Ontario Building Code. As a guide, the structure should be designed to resist an earthquake force using Site Classification 'C' (very dense soil).

Slab-On-Grade

The subgrade for slab-on-grade construction should consist of sound natural soil. In preparation of the subgrade, any topsoil and weathered soil detected must be removed.

The subgrade must be inspected and assessed prior to slab construction. Where badly weathered or soft subgrade is detected, it must be subexcavated and replaced with inorganic material, uniformly compacted to 98% or + of its Standard Proctor Dry Density (SPDD) prior to placement of the granular base.

The slab should be constructed on a granular base, 20 cm thick, consisting of 20-mm Crusher-Run Limestone (CRL), or equivalent, compacted to its SPDD. In areas where ground movement cannot be tolerated, the subgrade within a depth of 1.5 m from the underside of the granular base must consist of non-frost susceptible granular fill, compacted to 100% SPDD.



Trench Backfilling

The backfill in excavated areas should be compacted to at least 95% of its SPDD. Where the in-situ soils are too wet for a 95% or + Standard Proctor compaction, they can be aerated by spreading them thinly on the ground during warm weather prior to reusing for structural compaction. Backfill with wet material will result in substandard compaction and soft subgrade leading to ground settlement and may compromise any structure constructed on top of the backfill in the future. Where structures are to be constructed on the backfill, the compaction must be increased to 98%.

Excavation

Excavation should be carried out in accordance with Ontario Regulation 213/91. For excavation purposes, the types of soils are classified in the following table:

Material	Type
Sound Till	2
Weathered soil and drained Sand and Silt	3
Saturated Soils	4

The groundwater yield from sandy silt till is expected to be slow and limited. However, the yield from the sand and silt deposits below the saturated zone is expected to be appreciable and persistent.

Excavation into the water-bearing soils will require the implementation of a dewatering system.



Big East Construction
August 11, 2020

Reference No. 2006-S041
Page 5 of 5

We trust this letter meets your requirement; however, should any queries arise, please feel free to contact this office.

Yours truly,
SOIL ENGINEERS LTD.

Weida (Daric) Yang. B.A.Sc.

Bernard Lee, P.Eng.
DY/BL:dd



ENCLOSURES

- | | |
|--|---------------|
| Borehole Log | Figure 1 |
| Borehole and Cross-Section Location Plan | Drawing No. 1 |
| Slope Stability Analysis..... | Drawing No. 2 |

This letter/report/certification was prepared by Soil Engineers Ltd. for the account of the captioned clients and may be relied upon by regulatory agencies. The material in it reflects the writer's best judgment in light of the information available to it at the time of preparation. Any use which a third party makes of this letter/report/certification, or any reliance on or decisions to be made based upon it, are the responsibility of such third parties. Soil Engineers Ltd. accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on this letter/report/certification.

LIST OF ABBREVIATIONS AND DESCRIPTION OF TERMS

The abbreviations and terms commonly employed on the borehole logs and figures, and in the text of the report, are as follows:

SAMPLE TYPES

AS	Auger sample
CS	Chunk sample
DO	Drive open (split spoon)
DS	Denison type sample
FS	Foil sample
RC	Rock core (with size and percentage recovery)
ST	Slotted tube
TO	Thin-walled, open
TP	Thin-walled, piston
WS	Wash sample

SOIL DESCRIPTION

Cohesionless Soils:

<u>'N'</u> (blows/ft)	<u>Relative Density</u>
0 to 4	very loose
4 to 10	loose
10 to 30	compact
30 to 50	dense
over 50	very dense

Cohesive Soils:

PENETRATION RESISTANCE

Dynamic Cone Penetration Resistance:

A continuous profile showing the number of blows for each foot of penetration of a 2-inch diameter, 90° point cone driven by a 140-pound hammer falling 30 inches.

Plotted as '—●—'

Undrained Shear Strength (ksf)

less than 0.25
0.25 to 0.50
0.50 to 1.0
1.0 to 2.0
2.0 to 4.0
over 4.0

'N' (blows/ft)

0 to 2
2 to 4
4 to 8
8 to 16
16 to 32
over 32

Consistency

very soft
soft
firm
stiff
very stiff
hard

Standard Penetration Resistance or 'N' Value:

The number of blows of a 140-pound hammer falling 30 inches required to advance a 2-inch O.D. drive open sampler one foot into undisturbed soil.

Plotted as '○'

Method of Determination of Undrained Shear Strength of Cohesive Soils:

x 0.0 Field vane test in borehole; the number denotes the sensitivity to remoulding

△ Laboratory vane test

□ Compression test in laboratory

For a saturated cohesive soil, the undrained shear strength is taken as one half of the undrained compressive strength

WH	Sampler advanced by static weight
PH	Sampler advanced by hydraulic pressure
PM	Sampler advanced by manual pressure
NP	No penetration

METRIC CONVERSION FACTORS

1 ft = 0.3048 metres
11b = 0.454 kg

1 inch = 25.4 mm
1ksf = 47.88 kPa



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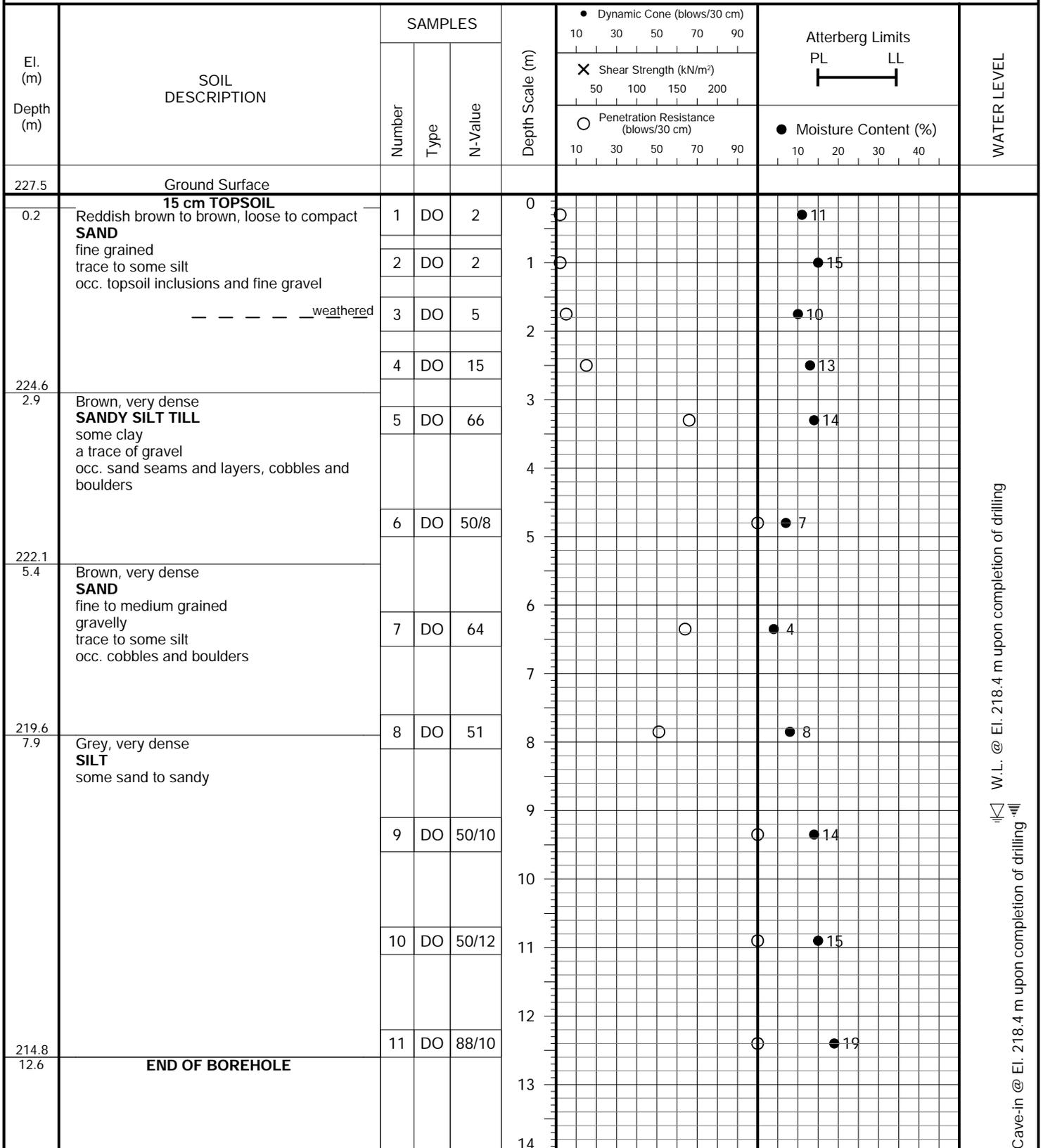
GEOTECHNICAL • ENVIRONMENTAL • HYDROGEOLOGICAL • BUILDING SCIENCE

PROJECT DESCRIPTION: Proposed Boathouse

METHOD OF BORING: Flight Auger

PROJECT LOCATION: 940 Shoreview Drive, Town of Innisfil

DRILLING DATE: June 29, 2020

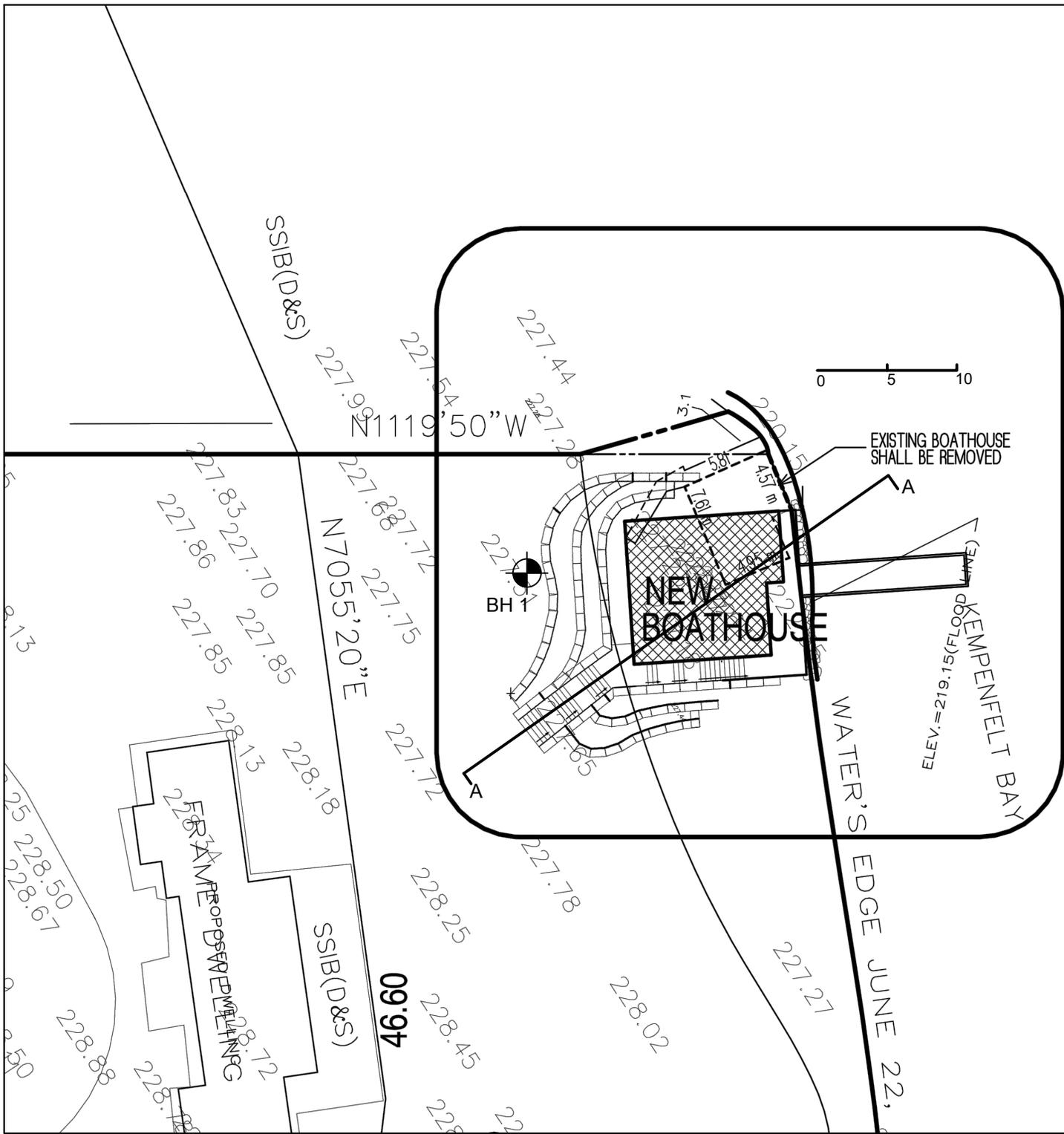


W.L. @ El. 218.4 m upon completion of drilling
 Cave-in @ El. 218.4 m upon completion of drilling



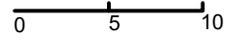
— T —
— E —
— ◇ —
— W —
— ODW —
— SEPTIC TANK —

DRAWING
A-100
A-101
A-210
A-216
A-220
A-300



SEE DWG A-101

LAKE SIMCOE

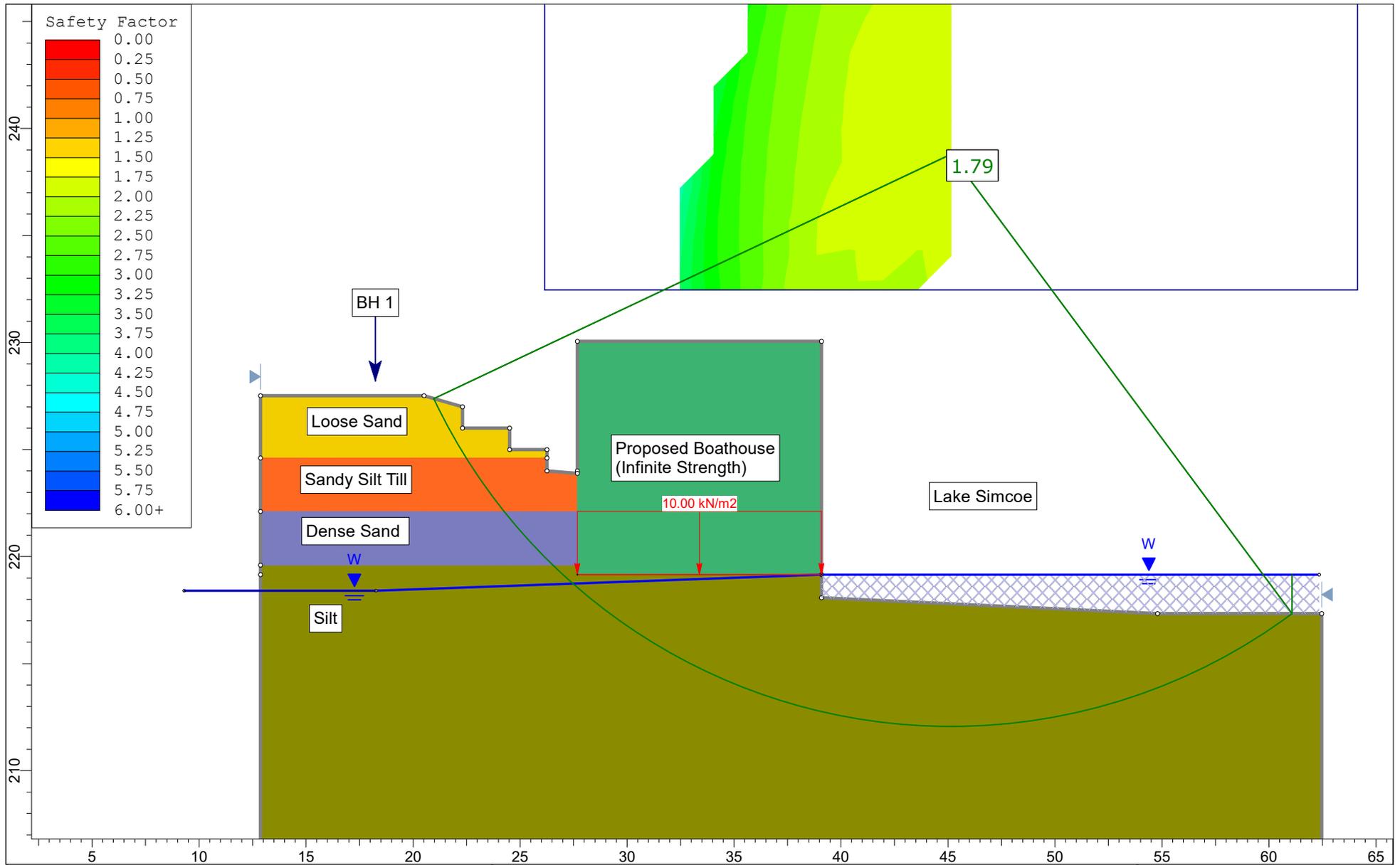


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 GEOTECHNICAL | ENVIRONMENTAL | HYDROGEOLOGICAL | BUILDING SCIENCE
 90 WEST BEAVER CREEK ROAD, SUITE #100, RICHMOND HILL, ONTARIO L4B 1E7 · TEL: (416) 754-8515 · FAX: (905) 881-8335

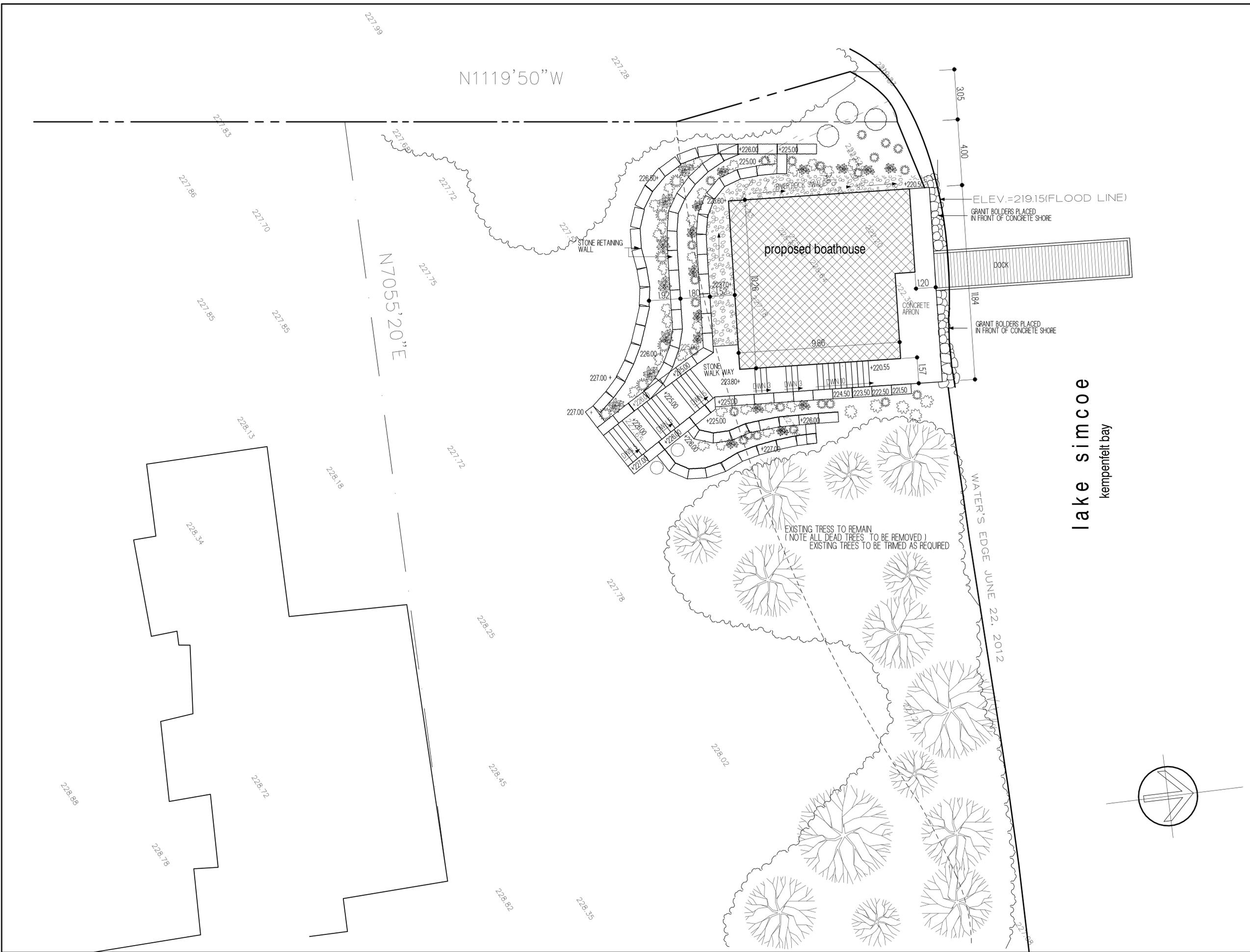
Borehole and Cross-Section Location Plan

SITE: 940 Shoreview Drive, Town of Innisfil

DESIGNED BY: D.Y.	CHECKED BY: B.L.	DWG NO.: 1
SCALE: 1:400	REF. NO.: 2006-S041	DATE: July 2020
		REV



 Soil Engineers Ltd. CONSULTING ENGINEERS GEOTECHNICAL ENVIRONMENTAL HYDROGEOLOGICAL BUILDING SCIENCE <small>90 WEST BEAVER CREEK ROAD, SUITE #100, RICHMOND HILL, ONTARIO L4B 1E7 · TEL: (416) 754-8515 · FAX: (905) 881-8335</small>	Project Title		Slope Stability Analysis		Case Load	Post-Construction Condition	
	Location		940 Shoreview Drive, Town of Innisfil				
	Drawn By	D.Y.	Checked By	B.L.	Scale	1:250	Revision
	Date	August 2020		Reference No.	2006-S041	Drawing No.	2



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NOTES
 THE 'BUILDER' SHALL REVIEW ALL DRAWINGS AND SPECIFICATIONS PRIOR TO THE START OF ANY WORK AND NOTIFY THE DESIGNER IF THE DRAWINGS & SPECIFICATIONS ARE NOT SUFFICIENTLY DETAILED TO ALLOW THE 'BUILDER' TO CARRY OUT THE WORK IN ACCORDANCE TO THE DESIGN, THE BUILDING CODE ACT, AND THE ONTARIO BUILDING CODE. THE 'BUILDER' MUST VERIFY AND CHECK ALL JOB DIMENSIONS, DRAWINGS, DETAILS, AND SPECIFICATIONS ON SITE AND REPORT ANY ERRORS, OMISSIONS AND DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH ANY WORK.
 ROLE OF THE BUILDER SHALL CONFORM TO 11-131 OF THE ONTARIO BUILDING CODE ACT.
 ROLE OF THE MANUFACTURER SHALL CONFORM TO 11-41 OF THE ONTARIO BUILDING CODE ACT.
 THE 'BUILDER' SHALL ONLY MAKE CHANGES WHICH DOES NOT AFFECT COMPLIANCE WITH THE BUILDING PERMIT AND ONTARIO BUILDING CODE. ALL HEATING, ELECTRICAL, PLUMBING AND SERVICES SHALL COMPLY WITH ALL APPLICABLE CODES & REGULATIONS.
 'BUILDER' MEANS THE PERSON OR PERSONS, BUSINESS, OR CORPORATION RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT IN WHICH THE DESIGN, DRAWINGS AND SPECIFICATIONS SUPPORT THE APPLICATION FOR PERMIT UNDER THE BUILDING CODE ACT.

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
 Individual BCIN: 21510
 Firm BCIN: 29008



Andrew McIntyre Date

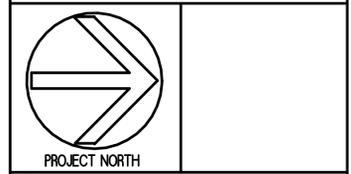
NO	DESCRIPTION	DATE

REVISIONS

ISSUED FOR PERMIT	DATE:	
ISSUED FOR PRICING ONLY	DATE:	
PRELIMINARY DESIGN ONLY	DATE:	

PRELIMINARY SITE PLAN - ISSUED FOR REVIEW
 SITE PLAN APPLICATION NUMBER

McIntyre design
 PH. 705-487-1618 156 Tudhope Blvd
 FAX 705-487-1967 Oro-Medonte
 Ontario, L0L 1T0
 mcintyre.design@rogers.com



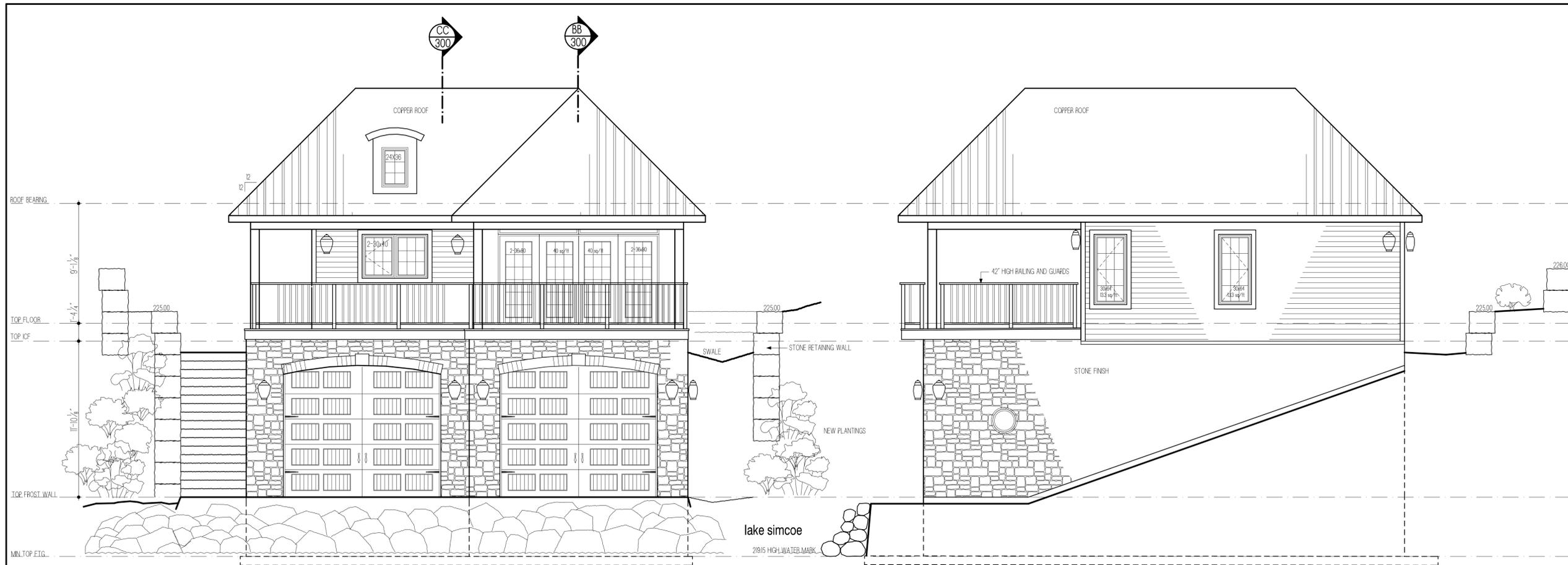
CLIENT:
BIG EAST
 CONSTRUCTION

PROJECT:
 proposed boathouse
 940 shoreview drive
 innisfil, ontario

DRAWING:
site plan

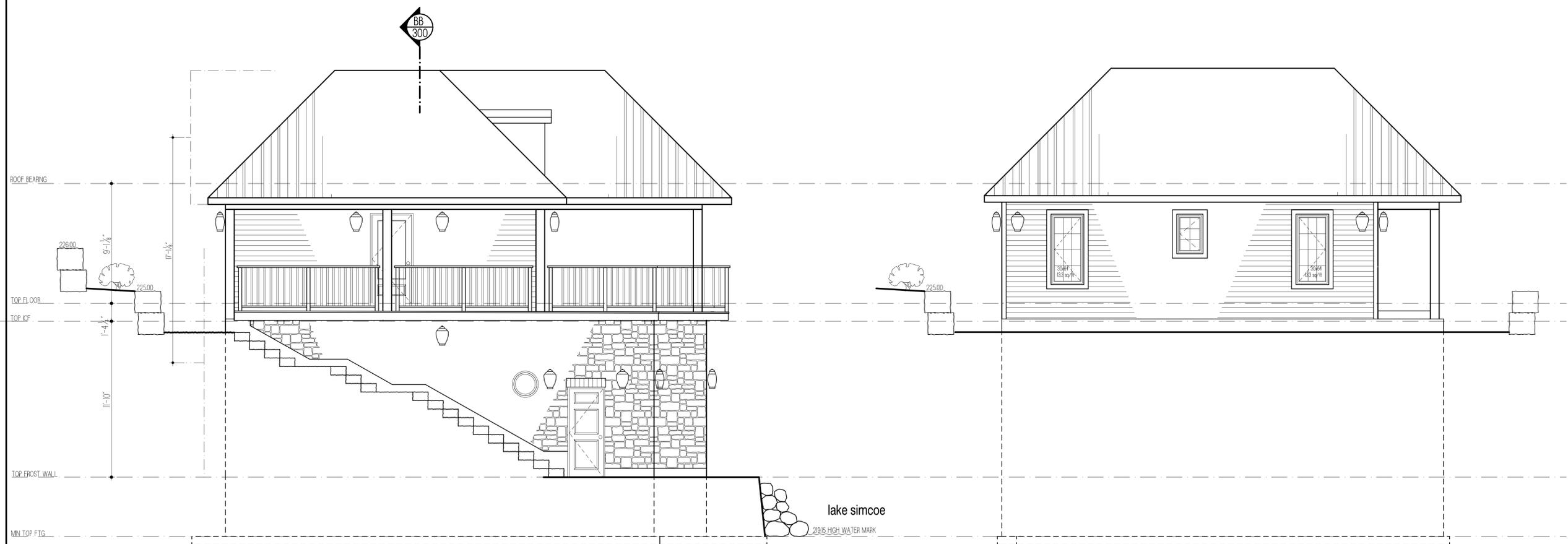
DRAWN BY: A MCINTYRE	APPROVED BY:
SCALE: 1 : 100	DATE: NOV. 2018

DRAWING NO. A-101	PROJECT NO. 1818
-----------------------------	----------------------------



front elevation

right elevation



left elevation

rear elevation

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 ROLE OF THE MANUFACTURERS SHALL CONFORM TO U-1(4) OF THE ONTARIO BUILDING CODE ACT.
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 Individual BCIN: 21510
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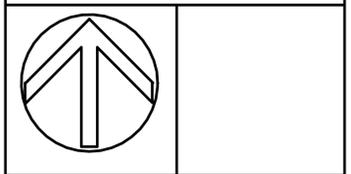
Andrew McIntyre Date

BUILDING AREA	
BOATHOUSE AREA	1155.2 sq/ft
SUMMER ROOM AREA	707 sq/ft
DECK AREA	164.5sq/ft
COVERED DECK AREA	227.6 sq/ft
COVERED PORCH AREA	127.4 sq/ft

NO.	DESCRIPTION	DATE
1	REVISED ROOF HEIGHT	6/03/19

REVISIONS
 ISSUED FOR PERMIT DATE:
 ISSUED FOR PRICING ONLY DATE:
 PRELIMINARY DESIGN ONLY DATE:

McIntyre design
 PH. 705-487-1618
 FAX 705-487-1967
 156 Tudhope Blvd
 Oro-Medonte
 Ontario, L0L 1T0
 mcintyre.design@rogers.com

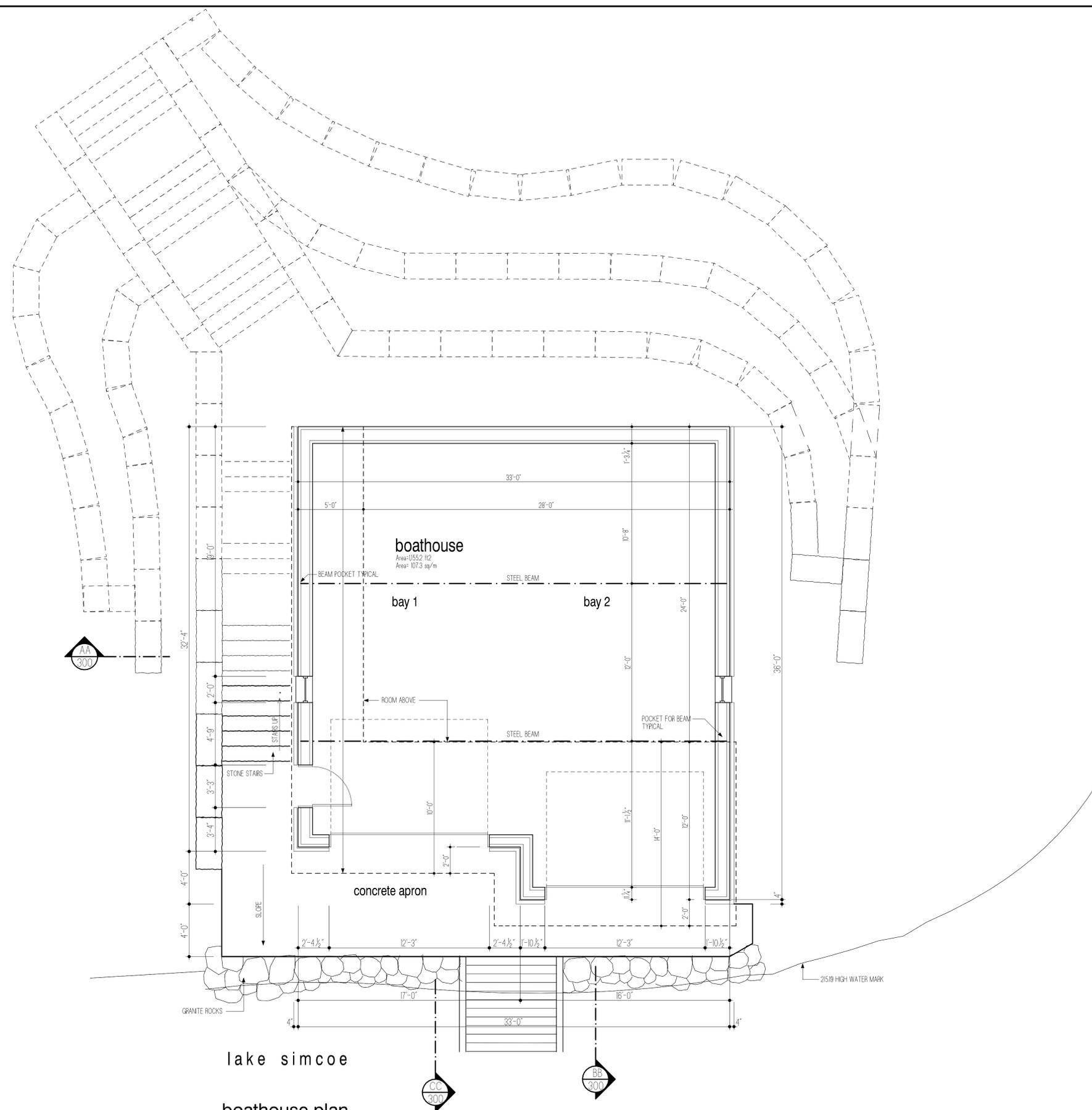


CLIENT:
BIGEAST
 CONSTRUCTION

PROJECT:
new boathouse
 940 shoreview drive
 innisfil, ontario
 DRAWING:
elevations

DRAWN BY:
A MCINTYRE
 SCALE: 1/4"=1'-0"

DRAWING NO. **A-210**
 PROJECT NO. **1818**



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NOTES
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 ROLE OF THE BUILDER SHALL CONFORM TO 11-131 OF THE ONTARIO BUILDING CODE ACT.
 ROLE OF THE MANUFACTURERS SHALL CONFORM TO 11-141 OF THE ONTARIO BUILDING CODE ACT.
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The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
 Individual BCN: 2150
 Firm BCN: 29008



Andrew McIntyre Date

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1	REVISED ROOF HEIGHT	6/03/19

REVISIONS
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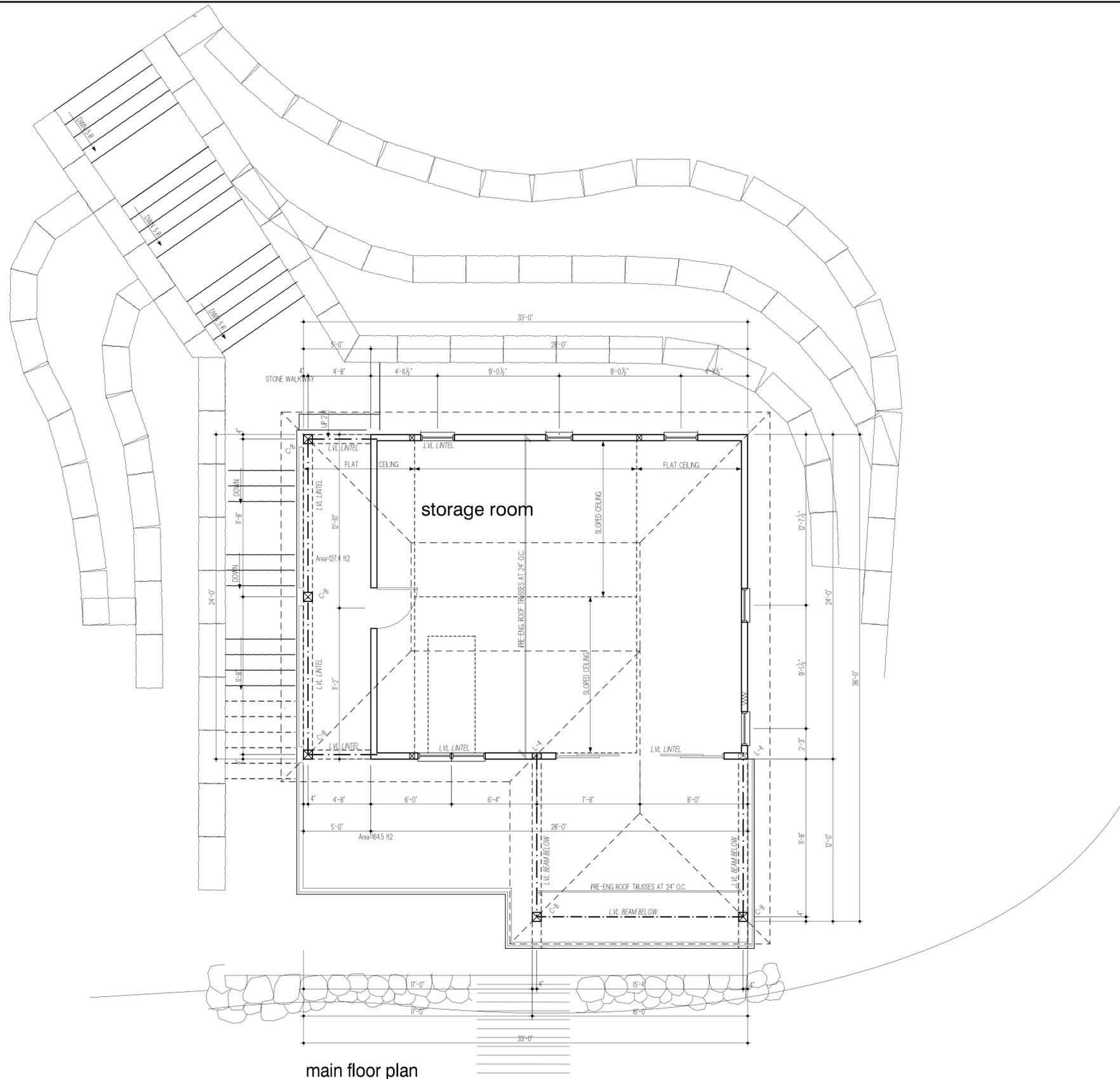
CLIENT:
BIGEAST
 CONSTRUCTION

PROJECT:
new boathouse
 940 shoreview drive
 innisfil, ontario

DRAWING:
boathouse plan

DRAWN BY:
A MCINTYRE
 SCALE: 1/4" = 1'-0"
 APPROVED BY:
 DATE:

DRAWING NO.
A-216
 PROJECT NO.
1818



main floor plan

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 ROLE OF THE BUILDER SHALL CONFORM TO 11-31 OF THE ONTARIO BUILDING CODE ACT.
 ROLE OF THE MANUFACTURERS SHALL CONFORM TO 11-41 OF THE ONTARIO BUILDING CODE ACT.
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Individual BCIN: 21510
 Firm BCIN: 29008



Andrew McIntyre Date

BUILDING AREA

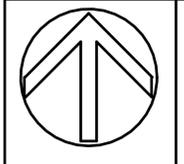
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1	REVISED ROOF HEIGHT	6/03/19
NO.	DESCRIPTION	DATE

REVISIONS

ISSUED FOR PERMIT	DATE:
ISSUED FOR PRICING ONLY	DATE:
PRELIMINARY DESIGN ONLY	DATE:

Mcintyre design
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 FAX: 705-487-1967
 156 Tudhope Blvd
 Oro-Medonte
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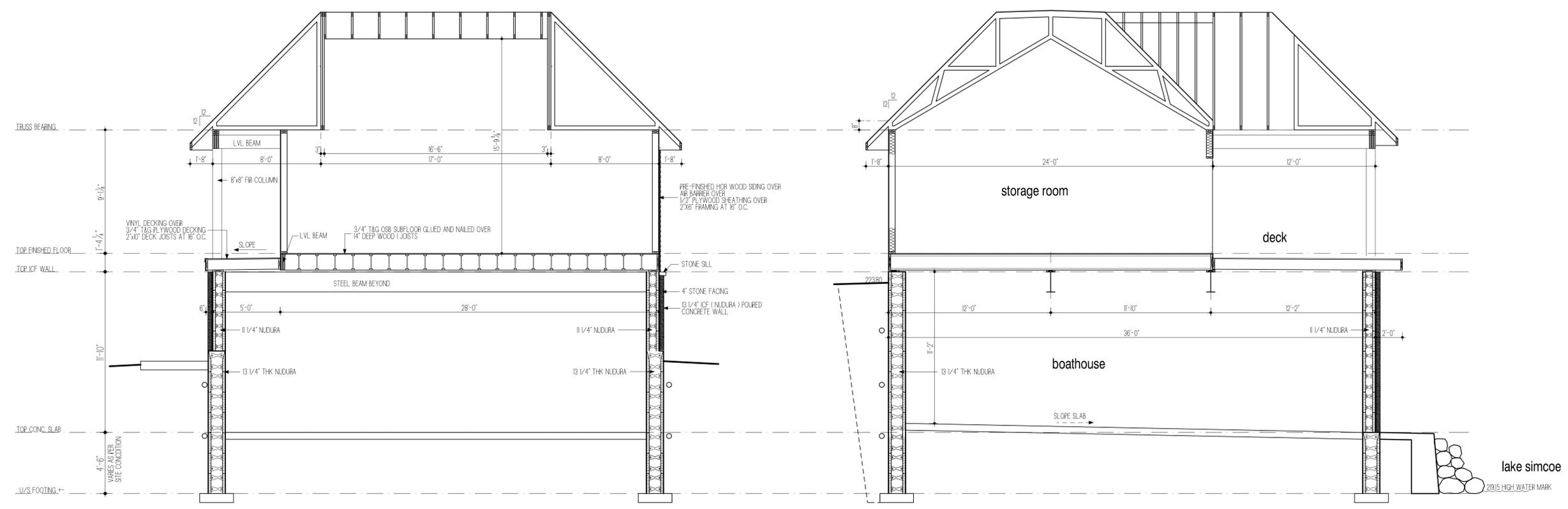


CLIENT:
BIGEAST
 CONSTRUCTION

PROJECT:
new boathouse
 940 shoreview drive
 innisfil, ontario

DRAWING:
storage room plan

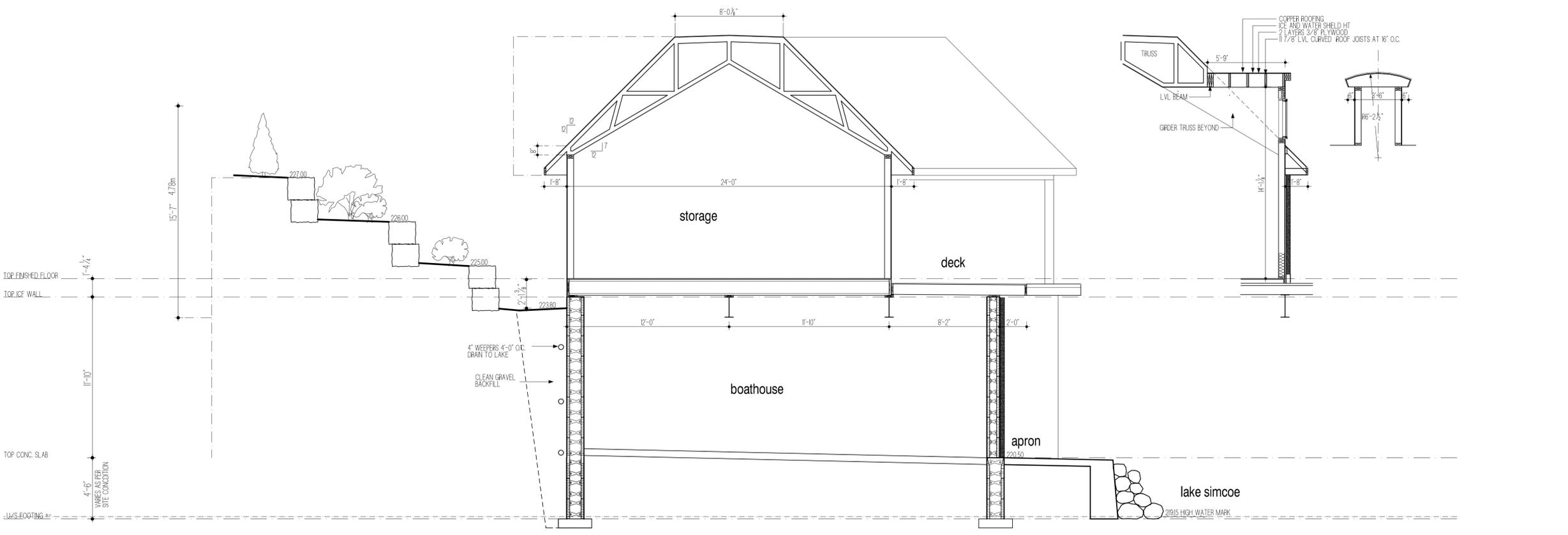
DRAWN BY: A MCINTYRE	APPROVED BY:
SCALE: 1/4"=1'-0"	DATE:
DRAWING NO. A-220	PROJECT NO. 1818



section AA
SCALE: 1/4"=1'-0"

section BB
SCALE: 1/4"=1'-0"

section CC
SCALE: 1/4"=1'-0"



section CC
SCALE: 1/4"=1'-0"

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ROLE OF THE BUILDER SHALL CONFORM TO 11-3(1) OF THE ONTARIO BUILDING CODE ACT.
ROLE OF THE MANUFACTURERS SHALL CONFORM TO 11-4(1) OF THE ONTARIO BUILDING CODE ACT.
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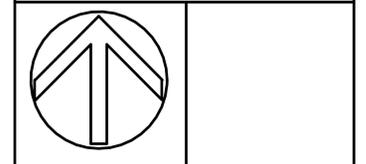
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
Individual BCIN: 21510
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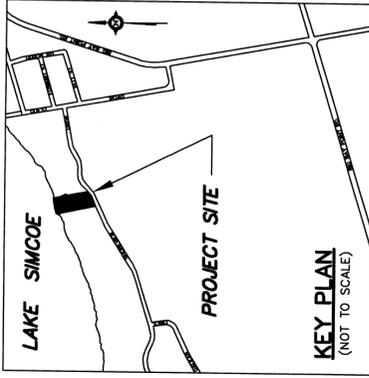
CLIENT:
BICEAST
CONSTRUCTION

PROJECT:
new boathouse
940 shoreview drive
innisfil, ontario

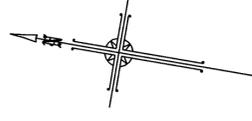
DRAWING:
sections

DRAWN BY: A MCINTYRE	APPROVED BY:
SCALE: 1/4"=1'-0"	DATE:

DRAWING NO. A-300	PROJECT NO. 1818
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BOATHOUSE ELEVATIONS	
FINISHED FIRST FLOOR	224.55
TOP OF FOUNDATION WALL	224.19
FINISHED BASEMENT FLOOR	220.54
UNDERSIDE OF FOOTING (FRONT)	219.16
UNDERSIDE OF FOOTING (REAR)	219.16



SITE GRADING PLAN OF PART OF
LOT 17
REGISTERED PLAN 51M - 788
 GEOGRAPHIC TOWNSHIP OF INNISFIL
 TOWN OF INNISFIL
 COUNTY OF SIMCOE

SCALE 1 : 300

 RUDY MAK SURVEYING LTD.

NOTES:

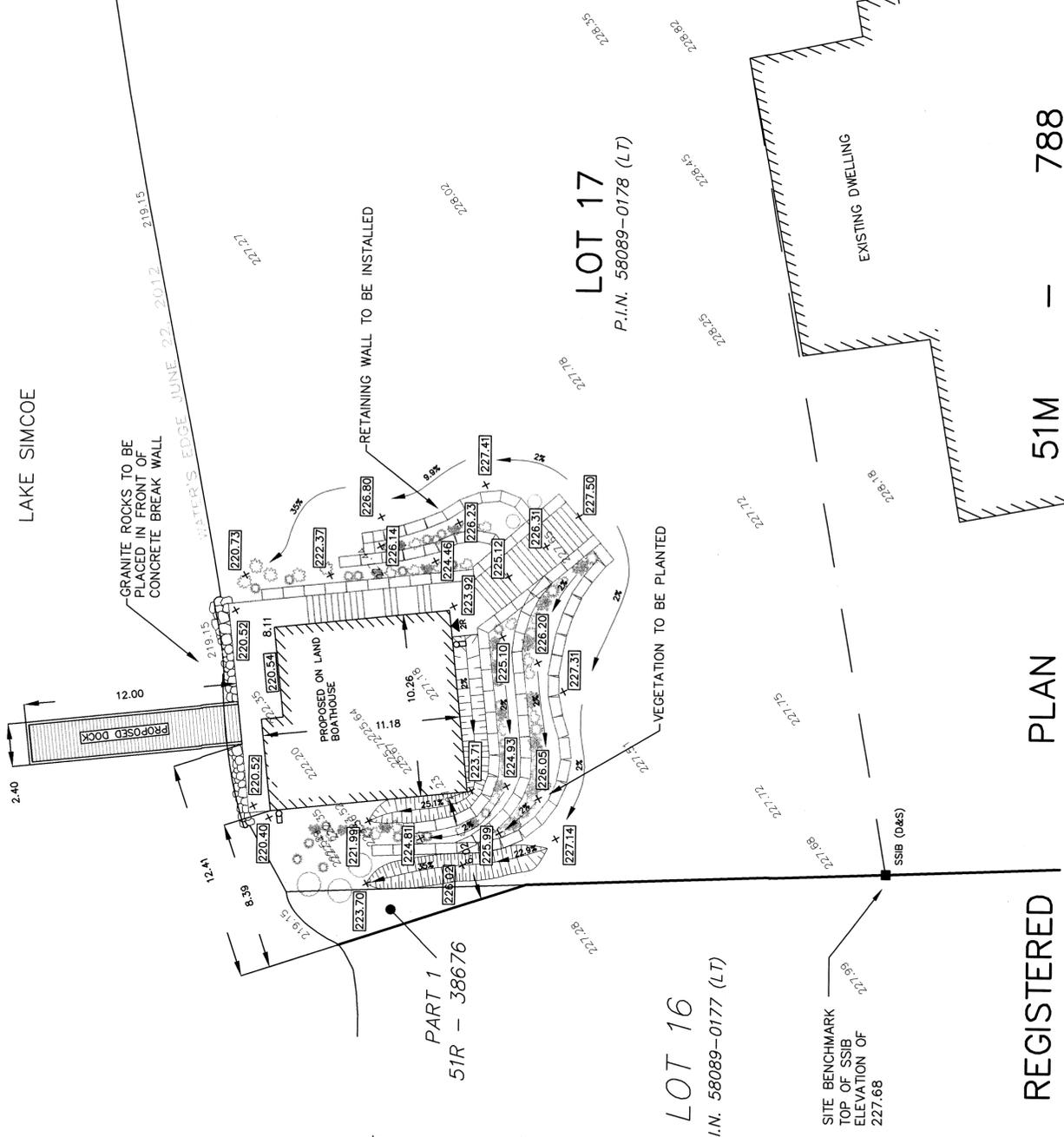
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT ONTARIO PROVINCIAL STANDARD DRAWINGS AND SPECIFICATION UNLESS NOTED.
2. MAXIMUM CONTINUOUS LANDSCAPED SIDE SLOPES NOT TO EXCEED 3:1.
3. ALL SWALES TOPSOILED AND SODDED.
4. ALL DISTURBED AREAS TO BE STABILIZED.
5. ALL DISTURBED AREAS TO BE SODDED OR SEEDD OVER 100mm OF TOPSOIL.
6. ALL RAIN LEADERS AND DOWNSPOUTS TO DRAIN TO PROPOSED SWALES.
7. SILT FENCE SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION AND MAINTAINED UNTIL SITE STABILIZATION HAS OCCURRED.
8. DRAINAGE WILL BE CONTAINED ON SITE BY THE CONSTRUCTION OF SWALES AND BERMS AND SHALL NOT IMPACT ADJUTING PROPERTIES.

NOTES:

1. THIS LOT GRADING PLAN IS DESIGNED SUCH THAT SURFACE DRAINAGE (WATER) FROM THE LOT WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES.
2. THE LOT GRADING HAS BEEN DESIGNED TO PREVENT DRAINAGE TOWARDS THE FOUNDATION AFTER SETTLING.

LEGEND:

- DENOTES FLOW DIRECTION & SLOPE GRADE
- DENOTES EXISTING GRADE ELEVATION
- DENOTES PROPOSED GRADE ELEVATION
- DENOTES DOWNSPOUT AND SPLASH PAD
- DENOTES RISERS / STEPS



SITE DEVELOPMENT
 940 SHOREVIEW DRIVE, INNISFIL
 ZONING (BY-LAW 080-13)
 R1 - RESIDENTIAL 1 ZONE (SECTION 4)
 COMMUNITY PLANNING PERMIT (C.P.P.) BY-LAW 062-17, SECTION 5
BUILDING USE
 ON LAND BOATHOUSE AND DOCK
CALCULATIONS:
 BOATHOUSE SETBACKS (C.P.P. SEC 5.2.2):
 WATER FRONTAGE: > 61 M
 WEST SIDE YARD:
 BUILDING HEIGHT: PROPOSED 6.00 M, REQUIRED MIN. 6.02 M, REQUIRED MAX. 4.00 M
 BUILDING WIDTH: PROPOSED 14.00 M, REQUIRED MIN. 14.00 M, REQUIRED MAX. 10.26 M
 BUILDING LENGTH: PROPOSED 14.00 M, REQUIRED MIN. 11.18 M, REQUIRED MAX. 1.00 M
 DOCK SETBACKS (C.P.P. SEC 5.2.3):
 REQUIRED MIN. 5.00 M, PROPOSED 5.00 M
 REQUIRED MAX. 20.00 M, PROPOSED 12.41 M
 PROJECTION INTO LAKE SIMCOE: 20.00 M, PROPOSED 12.00 M
 CUMULATIVE DOCK AREA: 50.00 SQ.M., PROPOSED 28.80 SQ.M.
AREA CALCULATIONS:
 LOT AREA: 14264.9 SQ.M.
 BUILDING: 108.5 SQ.M.
 LOT COVERAGE (C.P.P. 5.2.1.c): (0.01 %)
 (10.0% MAX OR 120 SQ.M.)

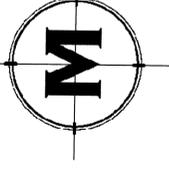
ELEVATION AND BOUNDARY INFORMATION
 ELEVATIONS AND BOUNDARY INFORMATION WAS SUPPLIED BY DINO ASTRIS SURVEYING LTD.

BENCHMARK

SITE BENCHMARK IS THE TOP OF THE SIP AT THE WEST SIDE OF THE PROPERTY ALONG THE SHORE TRVERSE LINE AND HAS THE ELEVATION OF 227.68.

DATE: MAR 20, 2020
 RUDY MAK
 ONTARIO LAND SURVEYOR

FIRST ISSUE	REVISION	BY	DATE
		AD	MAR/20/2020



RUDY MAK SURVEYING LTD.
 ONTARIO LAND SURVEYORS

89 BIG BAY POINT ROAD
 BARRIE, ONTARIO L4N 8M5 (705) 722-3845
 E-MAIL MAIL@MAKSURVEYING.COM