



**COMMITTEE OF ADJUSTMENT NOTICE OF PUBLIC HEARING
APPLICATION NO. A-039-2023**

TAKE NOTICE that an application has been received by the Town of Innisfil from **Yu Chu Su, Applicant**, on behalf of **Mike Burnell, Owner**, for a minor variance from Zoning By-law 080-13, pursuant to Section 45 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended.

The subject property is described legally as **PLAN M16 LOT 32**, is known municipally as **3278 Oak Street** and is zoned as **"Residential 1 (R1)"**.

The applicant is proposing to construct a garage projecting 11.6 m from the main front wall of the dwelling. The applicant is seeking relief from Section 3.18.1 (e) of the Zoning By-law which permits a maximum projection of 1 m on lots with a frontage of less than 20 m.

The Committee of Adjustment for the Town of Innisfil will consider this application in person at Town Hall and virtually through Zoom on **Thursday, July 20, 2023, at 6:30 PM.**

To participate in the hearing and/or provide comments, you must register by following the link below or scanning the above QR code:
<https://innisfil.ca/en/building-and-development/committee-of-adjustment-hearings.aspx>

Requests can also be submitted in writing to: Town of Innisfil Committee of Adjustment, 2101 Innisfil Beach Road, Innisfil, Ontario, L9S 1A1 or by email to planning@innisfil.ca.

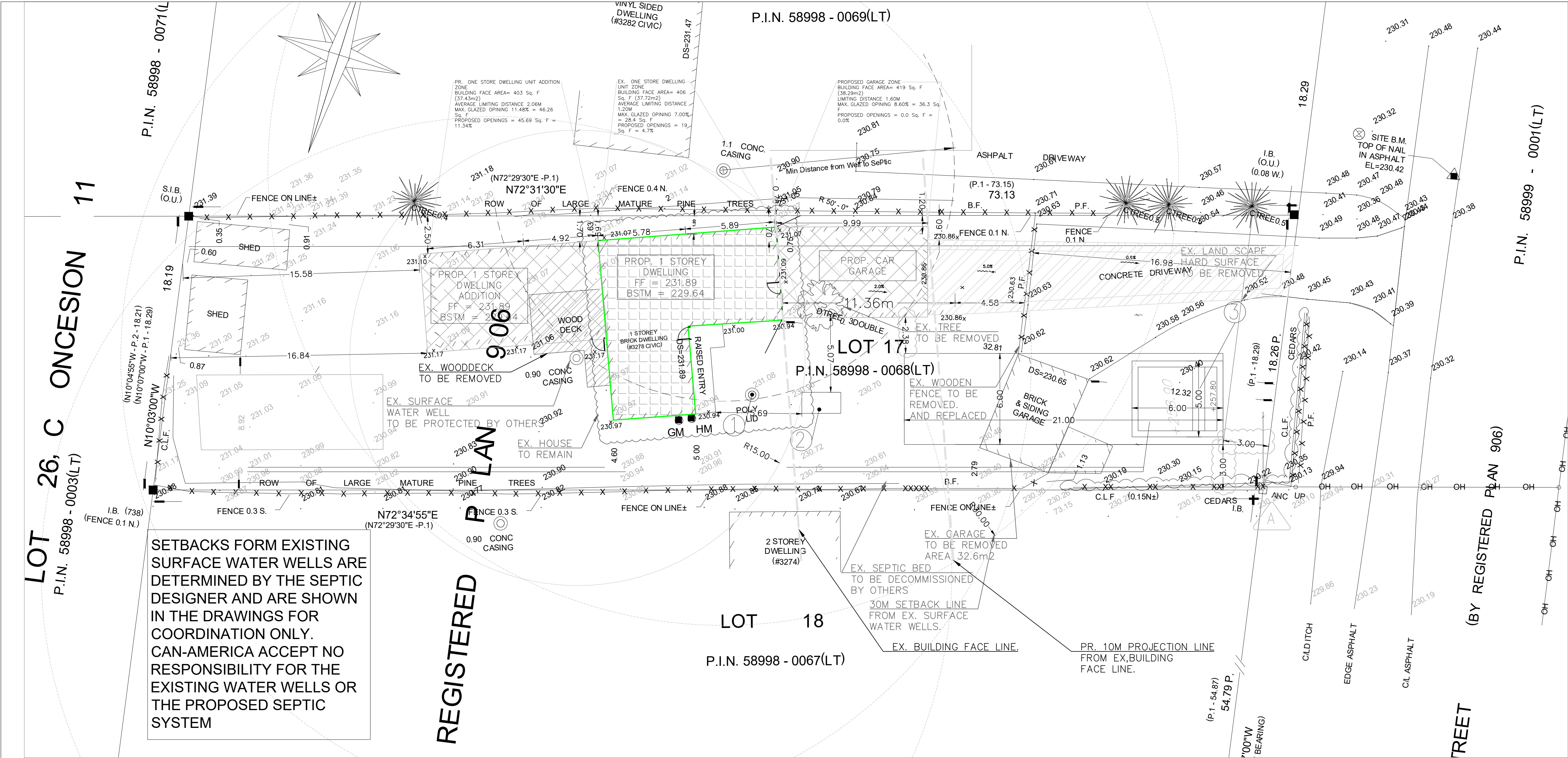
If you wish to receive a copy of the decision of the Committee of Adjustment in respect of the proposed minor variance, you must make a written request to the Secretary-Treasurer of the Committee of Adjustment by way of email or regular mail. The Notice of Decision will also explain the process for appealing a decision to the Local Planning Appeal Tribunal.



Additional information relating to the proposed application is available on the Town of Innisfil website. Accessible formats are available on request, to support participation in all aspects of the feedback process. To request an alternate format please contact Planning Services at planning@innisfil.ca.

Dated: **July 5, 2023**

Toomaj Haghshenas,
Secretary-Treasurer
thaghsheenas@innisfil.ca
705-436-3710 ext. 3316

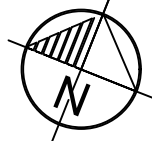


NOTE TO CONTRACTOR:

- DO NOT SCALE DRAWINGS. CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
- ALL DRAWINGS REMAIN THE PROPERTY OF Can-Am. AND SHALL NOT BE REPRODUCED OR REUSED WITHOUT Can-Am's WRITTEN PERMISSION.
- THE OWNER/ARCHITECT/CONTRACTOR IS ADVISED THAT Can-Am. CANNOT CERTIFY ANY COMPONENT OF THE SITE WORKS NOT INSPECTED DURING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO NOTIFY Can-Am. PROPOR TO COMMENCEMENT OF CONSTRUCTION TO ARRANGE FOR INSPECTION.
- IT IS THE CONTRACTOR RESPONSIBILITY TO ENSURE THAT ALL PLANS, ELEVATIONS AND SECTIONS SUBMITTED FOR APPROVAL FULLY COMPLY WITH THE LATEST ARCHITECTURAL GUIDELINES AND ALL APPLICABLE REGULATIONS AND REQUIREMENTS INCLUDING BUT NOT LIMITED TO ZONING PROVISIONS AND ANY PROVISION AS PER THE CITY REQUIREMENTS. THE CONTROL ARCHITECT/ENGINEERS ARE NOT RESPONSIBLE IN ANY WAY FOR EXAMINING OR APPROVING SITE (LOTTING) PLANS, WORKING DRAWINGS WITH RESPECT TO ANY BUILDING CODE OR PERMIT MATTER OR THAT ANY HOUSE CAN BE PROPERLY BUILT OR LOCATED ON ITS LOT

THIS IS TO CERTIFY THAT THESE PLANS COMPLY WITH THE APPLICABLE ARCHITECTURAL DESIGN GUIDELINES APPROVED BY TOWN OF INNISFILE.

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PROJECT NORTH

GENERAL NOTES

- DRAINAGE SHALL BE SELF-CONTAINED ON SITE BY THE CONSTRUCTION OF SWALES OR DRAIN TO A PROTECTED OUTLET. DRAINAGE SHALL NOT IMPACT ADJACENT PROPERTIES.
- SEDIMENT AND EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO PREVENT MIGRATION OF SILT AND SEDIMENT FROM THE SUBJECT LOT TO ANY ADJACENT LOT, INCLUDING MUNICIPAL RIGHT-OF-WAY. SPECIAL CARE SHALL BE TAKEN TO ENSURE THAT SILT AND SEDIMENT LADEN SURFACE WATER DOES NOT ENTER ANY WATERCOURSES OR ENVIRONMENTALLY SENSITIVE AREA, EITHER OVERLAND OR THROUGH THE STORM DRAINAGE SYSTEM. THE OWNER/BUILDER SHALL COMPLY WITH ALL DIRECTIVES ISSUED BY ANY OF THE ENVIRONMENTAL AGENCIES.


- INTERIM GRADING MEASURES MAY BE REQUIRED DURING BUILDING CONSTRUCTION TO ENSURE THAT DRAINAGE DOES NOT ADVERSELY AFFECT THE NEIGHBORING PROPERTIES. ROUGH GRADING OF THE PROPERTY SHALL BE COMPLETED SUCH THAT DRAINAGE IS CONTAINED ON SITE OR CONTROLLED TO A PROTECTED OUTLET.
- ALL DOWNSPOUTS AND OTHER DRAINAGE DISCHARGE POINTS SHALL DISCHARGE ON TO A SPLASH PAD OR APPROVED EQUIVALENT.
- THE OWNER/BUILDER IS RESPONSIBLE FOR OBTAINING UTILITY AND SERVICING LOCATES PRIOR TO ANY WORKS.
- ALL DISTURBED AREAS ARE TO BE SODDED OR SEEDED OVER A MINIMUM OF 150MM OF TOPSOIL OR APPROVED EQUIVALENT.

- THE OWNER/BUILDER MUST OBTAIN A ROAD OCCUPANCY PERMIT FROM PUBLIC WORKS PRIOR TO ANY WORKS WITHIN THE MUNICIPAL ROAD ALLOWANCE.
- A COPY OF THE 'REVIEWED BY ENGINEERING' LOT GRADING AND DRAINAGE PLAN IS TO BE ON SITE FOR REFERENCE AT ALL TIMES DURING CONSTRUCTION.
- ONCE CONSTRUCTION IS COMPLETE, THE ROADSIDE FRONTAGE DITCH WILL BE CLEAN AND WILL MATCH THE DITCH DESIGN ELEVATIONS.
- SUMP PUMPS CANNOT CROSS ONTO ROAD ALLOWANCE. THE DISCHARGE POINT MUST BE ON PRIVATE PROPERTY.
- GRADING OF DITCHES SHOULD BE INSPECTED AND APPROVED BY THE ENGINEER PRIOR TO SEEDING OR PLACING SOD

NOTES:

1-EXISTING ELEVATIONS SHOWN HEREON ARE IN ACCORDANCE WITH THE SURVEY PROVIDED BY THE OWNER.

2- ANY CHANGES OR DEVIATION FROM THE PROPOSED ELEVATIONS OR DIMENSIONS MUST BE REPORTED TO THE ENGINEER IMMEDIATELY PRIOR TO ANY ACTIVITY TAKES PLACE IT IS THE SURVEYOR AND CONTRACTOR RESPONSIBILITIES.

3-  EXISTING CULVERTS LEVELS , ANY FEATURES AND ELEVATIONS WITHIN THE RIGHT OF WAY TO REMAIN UNDISTORTED, ALL PROPOSED GRADS TO MATCH EXISTING GRADES AT THE EASE PROPERTY LINT TO THE R.O.W.

4- THE SEPTIC DESIGN WAS PREPARED BY ESSA BROTHERS EXCAVATION. . AND THE SEPTIC DESIGN AND DATA ARE SHOWN IN THIS DRAWING FOR COORDINATION PURPOSES ONLY.

THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH THE SEPTIC DESIGN .

SEWAGE SYSTEM DESIGN
AS PER THE DESIGN SHEETS CONDUCTED BY Mike Eisses. DATED MARCH 22, 2023 and shown on our drawings for coordination only.

① EX. SEPTIC TANK, FOR FUTHER DETAILS, REFER TO SEPTIC DESIGN.

② ADIPC 5900, FOR FUTHER DETAILS, REFER TO SEPTIC DESIGN.

③ STONE LAYER -FOR FUTHER DETAILS, REFER TO SEPTIC DESIGN.

ELEVATIONS

EX. F.FLR.	231.89	PR.U/FTG.	229.97
EX.PORCH	231.73	G-FLR.	230.86
EX. T/WALL	231.96	G-T/WALL	231.30
PR. T/WALL	231.96	G-U/FTG.	229.65
EX. B/FLR	229.35		
EX./FTG.	N/A		

AREAS

LOT AREA (sq.m)	1318.83
EX. BUILDING AREA (sq.m)	134.72
BUILDING AREA (sq.m)	238.12
PR. COVERAGE (%)	18.06%

LEGEND

- PROP. SWALE
- PROPOSED GRADE
- EXISTING GRADE
- PROP. NO. OF RISERS
- ROAD SIGN
- EXISTING BUSHES
- EXISTING TREES
- LIGHT STANDARD
- HYDRO TRANSFORMER

- EXIT
- FINISHED FIRST FLOOR ELEVATION
- TOP OF FOUNDATION WALL
- BASEMENT FLOOR ELEVATION
- UNDERSIDE OF FOOTING
- PORCH AT ENTRANCE
- GARAGE FLOOR ELEVATION
- UNDERSIDE OF GARAGE FOOTING
- WALK OUT BASEMENT

- EX. TO BE DEMOLISHED
- EX. INTERIOR TO BE ALTERED
- PROPOSED ADDITION

Drawing Title

PR. SITE PLAN FOR APPROVAL

Location

3278 OAK STREET,
INNISFIL, ONTARIO

REVISIONS

No.	REVISION	DATE
1.	ISSUED FOR BUILDING PERMIT	11/18/2022
2.	AS PER CITY COMMENTS	05/17/2023
3.		
4.		
5.		

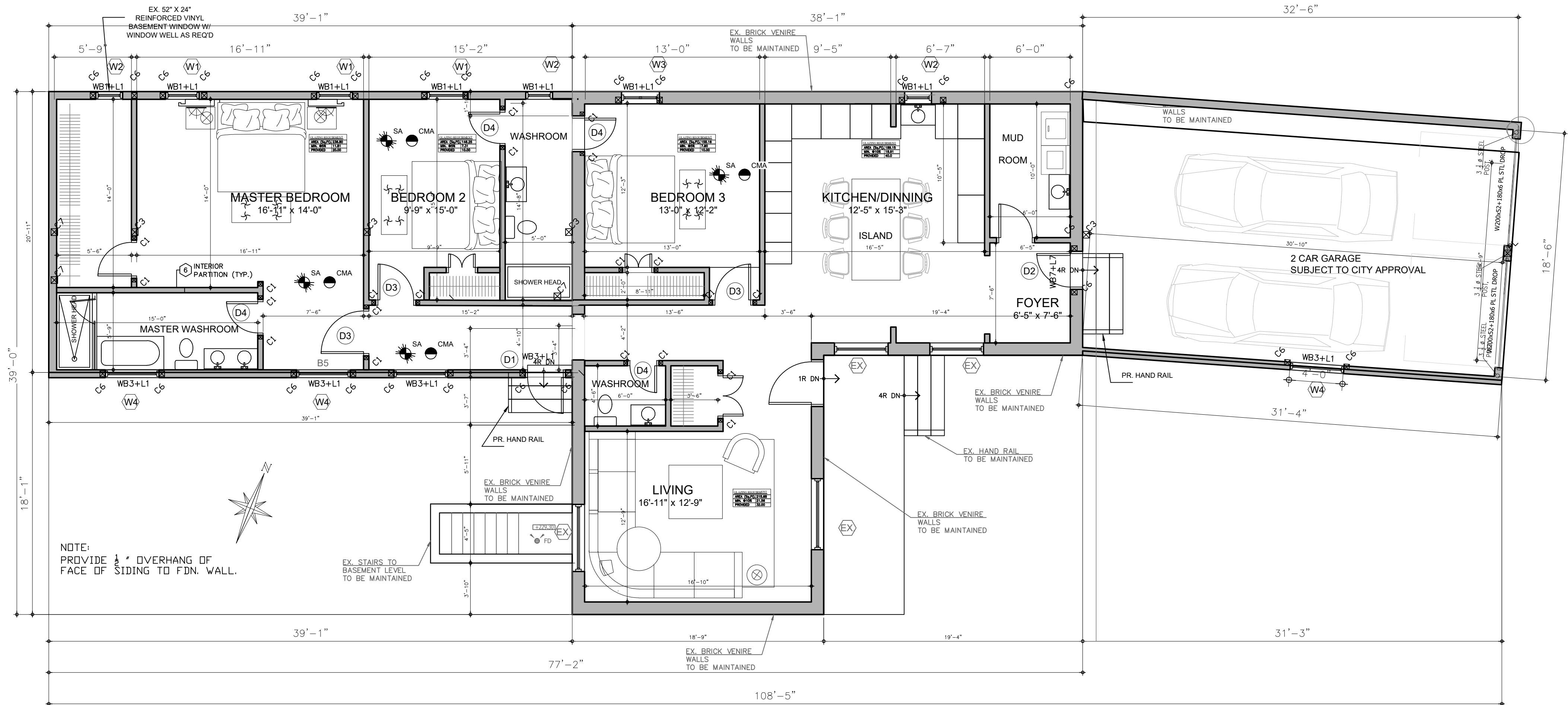
DESIGNED BY:

CAN-AMERICA ENGINEERING INC.
6874 BANSBRIDGE CRES.
MISSISSAUGA, ONT. L5N 6T3
CELL #: 647-871-8681
EMAIL: ibrahim@can-americaeng.ca

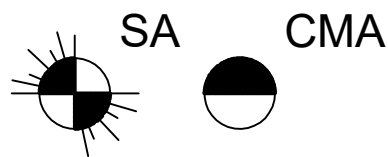


SCALE:	1" = 1'-0"
DRAWN BY :	PROJECT No. 2205
CHECKED BY:	
DATE: MAY.2023	DRAWING No. C-101

22'-4 3/16" [6612.28]



PROPOSED FLOOR PLAN



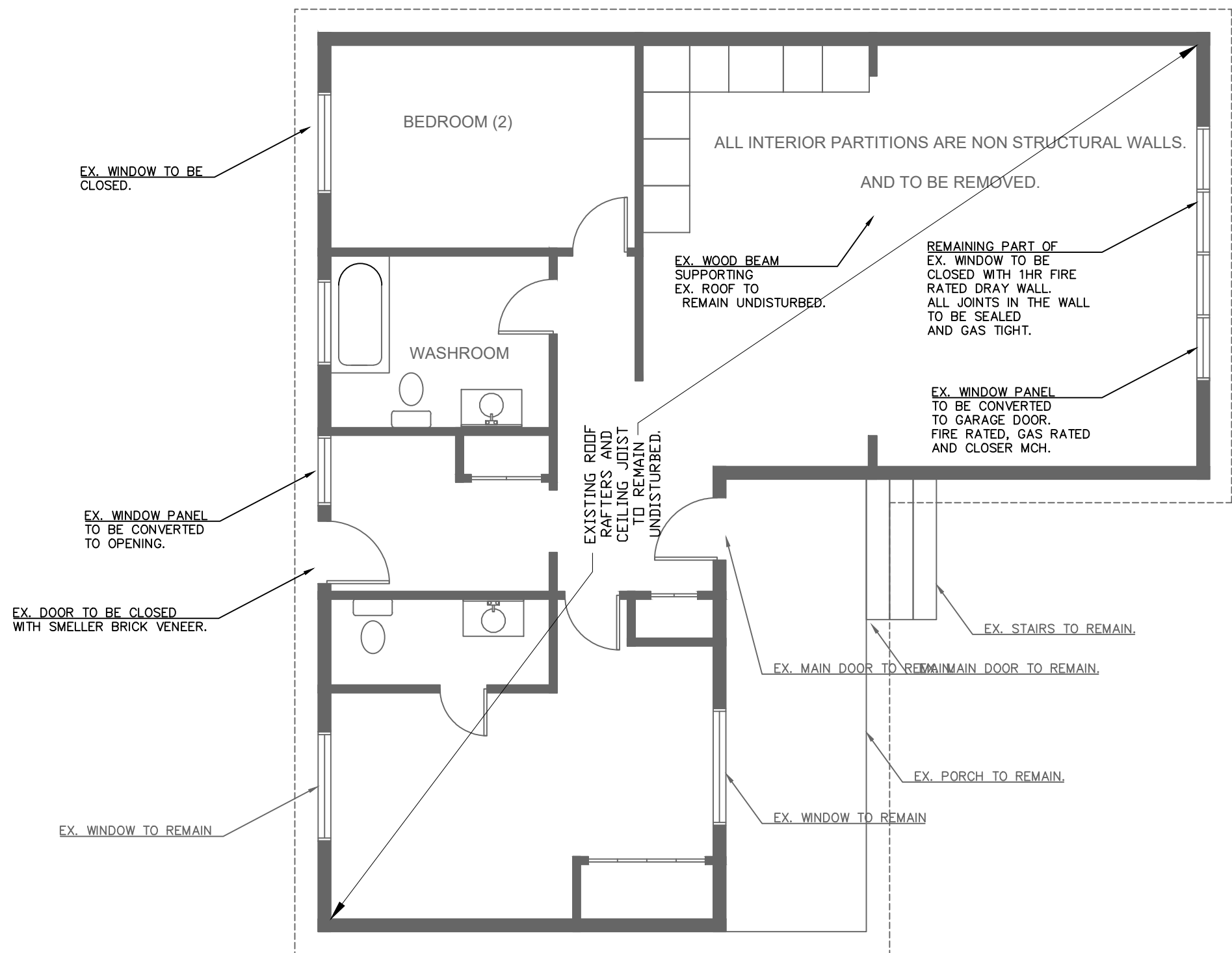
INSTALL CARBON MONOXIDE ALARM AND SMOKE ALARM EITHER COMBINED OR SEPARATED, INTERCONNECTED.

WINDOW NO.	SIZE (NOMINAL) (WIDTH)	SIZE (NOMINAL) (HEIGHT)	HEIGHT OFF FINISHED FLOOR (TO SILL)	QUANTITY	TYPE	COMMENTS
W1	2'-6"	4'-0"	3'-0"	3	CASEMENT/ FIXED	
W2	2'-0"	4'-0"	3'-0"	2	CASEMENT/ FIXED	
W3	3'-0"	4'-0"	3'-0"	1	CASEMENT	
W4	4'-0"	4'-0"	3'-0"	3	CASEMENT	

WINDOW /SLIDING DOOR SCHEDULE
CONFIRM ALL ROUGH OPENINGS WITH WINDOW MANUFACTURER/SUPPLIER
(VERIFY ALL QUANTITIES AND TYPE WITH ELEVATIONS)

DOOR NO.	SIZE (NOMINAL) (WIDTH x HEIGHT)	DOOR TYPE	HARDWARE	COMMENTS
D1	2'-8" x 7'-0"	EXTERIOR DOOR	ENTRANCE SET	
D2	2'-8" x 6'-8"	EXTERIOR DOOR	PRIVACY SET	20 MIN RATED, INSULATED MIN R4, GAS PROOF, WEATHER STRIPPING, ALUMINUM THRESHOLD, SELF CLOSING
D3	2'-8" x 6'-8"	INTERIOR DOOR	PRIVACY SET	
D4	2'-6" x 6'-8"	INTERIOR DOOR	PRIVACY SET	WASHROOM DOOR

DOOR SCHEDULE (FOR SIZES ONLY)
CONFIRM SIZES WITH ROUGH OPENINGS ON SITE PRIOR TO ORDERING



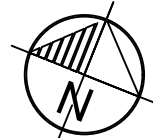
EXISTING FLOOR PLAN

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Drawing Title

FLOOR PLAN MAIN LEVEL

Location

3278 OAK STREET,
INNISFIL, ONTARIO

REVISIONS

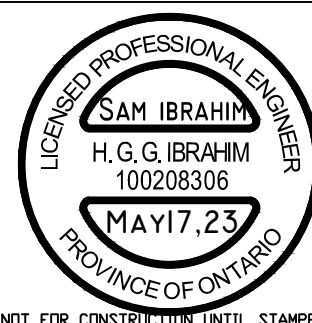
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MISSISSAUGA, ONT. L5N 6T3

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SCALE: 3/16" = 1'-0"

DRAWN BY : PROJECT No.

CHECKED BY: 2205

DATE: MAY 2023

DRAWING No. A-201

NOT FOR CONSTRUCTION UNTIL STAMPED