



**COMMITTEE OF ADJUSTMENT NOTICE OF PUBLIC HEARING  
APPLICATION NO. A-032-2023**

**TAKE NOTICE** that an application has been received by the Town of Innisfil from **Agostino DiMarsico and Doris Tucci , Owners**, for a minor variance from Zoning By-law 080-13, pursuant to Section 45 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended.

The subject property is described legally as **PLAN 767 LOT 55**, is known municipally as **1041 Fern Road**, and is zoned as **"Residential 1 (R1)"**.

**The applicant is proposing to construct an Accessory Dwelling Unit (ADU) with a gross floor area of 116 m<sup>2</sup>. The applicant is seeking relief from 3.5 (b) of the Zoning By-law which permits a maximum gross floor area coverage of 50% of the gross floor area of the principal dwelling, up to a maximum of 100 m<sup>2</sup>**

The Committee of Adjustment for the Town of Innisfil will consider this application in person at Town Hall and virtually through Zoom on **Thursday, July 20, 2023, at 6:30 PM**.

To participate in the hearing and/or provide comments, you must register by following the link below or scanning the above QR code: <https://innisfil.ca/en/building-and-development/committee-of-adjustment-hearings.aspx>

Requests can also be submitted in writing to: Town of Innisfil Committee of Adjustment, 2101 Innisfil Beach Road, Innisfil, Ontario, L9S 1A1 or by email to [planning@innisfil.ca](mailto:planning@innisfil.ca).

If you wish to receive a copy of the decision of the Committee of Adjustment in respect of the proposed minor variance, you must make a written request to the Secretary-Treasurer of the Committee of Adjustment by way of email or regular mail. The Notice of Decision will also explain the process for appealing a decision to the Local Planning Appeal Tribunal.

Additional information relating to the proposed application is available on the Town of Innisfil website. Accessible formats are available on request, to support participation in all aspects of the feedback process. To request an alternate format please contact Planning Services at [planning@innisfil.ca](mailto:planning@innisfil.ca).



Dated: **July 5, 2023**

Toomaj Haghshenas,  
Secretary-Treasurer  
[thaghsheenas@innisfil.ca](mailto:thaghsheenas@innisfil.ca)  
705-436-3710 ext. 3316



RESIDENCE - EAST ELEVATION



RESIDENCE - NORTH ELEVATION



HEIGHT OF RESIDENCE - GRADE TO UNDERSIDE OF SOFFIT AT REAR  
6.22 m (20'-4 3/4")



# Springwater Engineering Limited

GUS DIMARSICO AND DORIS TUCCI

1041 FERN ROAD  
INNISFIL, ONTARIO

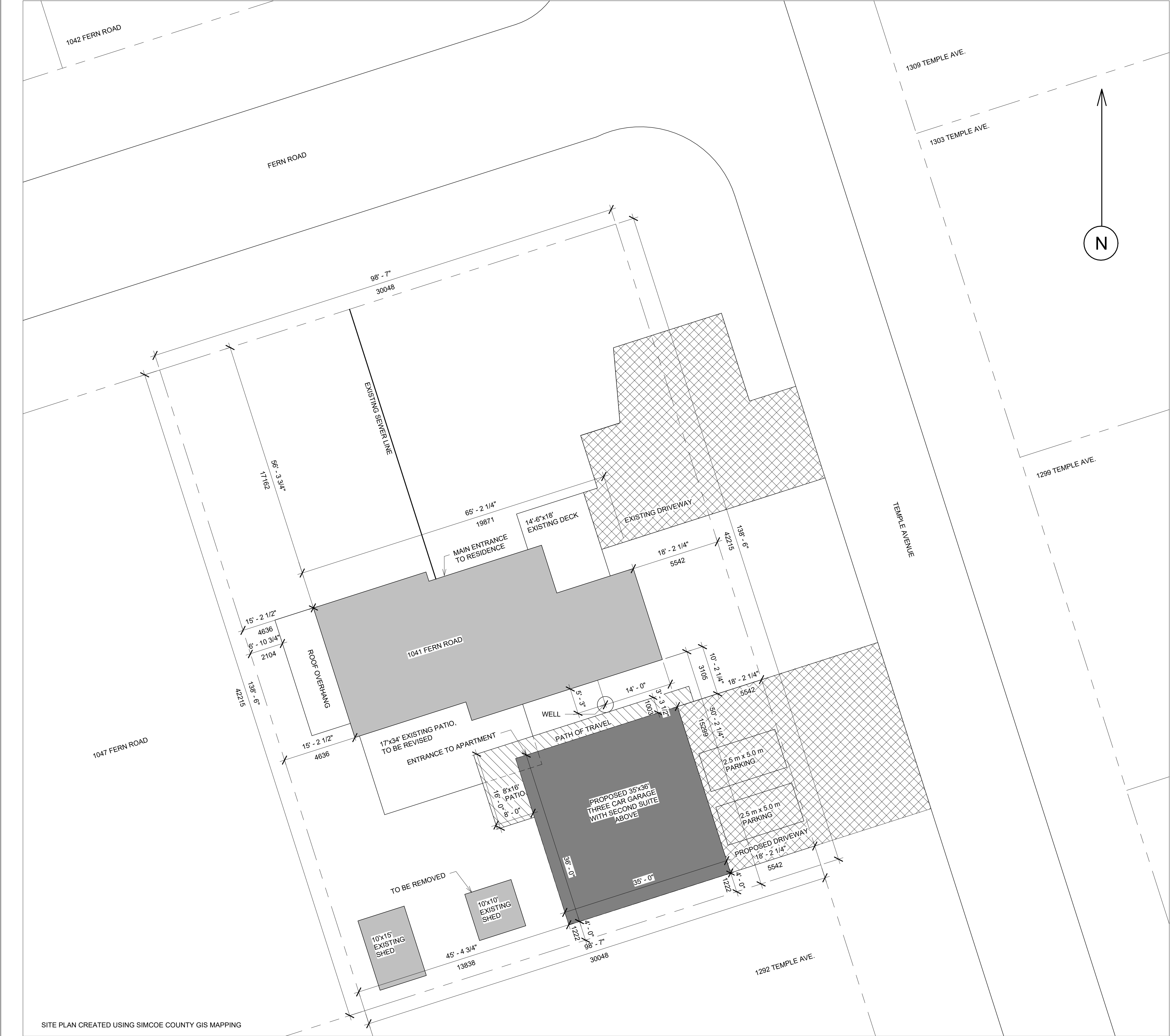
PROJECT 2084  
THREE CAR GARAGE WITH SECOND SUITE ABOVE  
PLANS FOR MINOR VARIANCE , HEIGHT OF EXISTING RESIDENCE - JUNE 16, 2023

CONTACT: WIL EISSES  
705-721-7228 Ext. 104  
wilfredae.sel@gmail.com

LIST OF DRAWINGS

- A100 - SITE PLAN AND ZONING MATRIX
- A101 - FOUNDATION AND FIRST FLOOR PLANS
- A102 - SECOND FLOOR AND ROOF PLANS
- A103 - SECTIONS THROUGH FLOOR BEAM AND RIDGE BEAM
- A104 - SECTIONS THROUGH SHED AND GABLE DORMERS
- A105 - SECTIONS THROUGH ENTRY STAIRS
- A106 - ELEVATIONS
- A107 - RENDERINGS

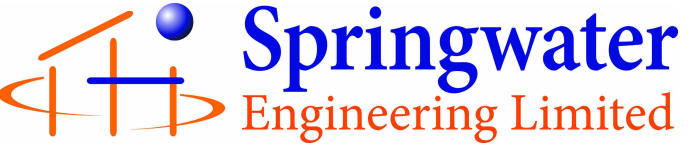
SCOPE OF WORK:  
THE OWNERS REQUEST PLANS FOR A THREE CAR GARAGE WITH  
A SECOND SUITE ABOVE.



ZONING - ACCESSORY DWELLING UNITS (RESIDENTIAL ZONES)	
ACCESSORY DWELLING UNIT MAXIMUM NUMBER	AS AN ACCESSORY TO A SINGLE-DETACHED DWELLING (2) TWO ACCESSORY DWELLING UNITS PERMITTED PER LOT THAT HAS A MIN. LOT AREA OF 1000 m <sup>2</sup> , ON A LOT LESS THAN 1000 m <sup>2</sup> A MAXIMUM OF ONE (1) DETACHED ACCESSORY UNIT SHALL BE PERMITTED
GROSS FLOOR AREA	SHALL NOT BE GREATER THAN 50% OF THE GROSS FLOOR AREA OF THE PRINCIPAL DWELLING ON THE LOT, UP TO A MAX. GROSS FLOOR AREA OF 100 SQUARE METRES
NUMBER OF BEDROOMS SEVERANCE	MAXIMUM OF THREE (3) SHALL NOT BE SEVERED FROM THE LOT THAT CONTAINS THE PRINCIPAL DWELLING
PARKING	A MINIMUM OF 2 OFF-STREET PARKING SPACES MUST BE PROVIDED WHEN A LOT HAS ONE (1) ACCESSORY DWELLING UNIT, TANDEM PARKING IS PERMITTED, EXTERIOR PARKING SPACES SHALL BE A MINIMUM OF 2.5 m x 5 m (8.2 ft x 16.4 ft)
HEIGHT	THE MAX. HEIGHT SHALL NOT EXCEED THE HEIGHT OF THE PRINCIPAL DWELLING OR 6 m (19.69 ft) WHICHEVER IS LESS
BALCONY	SHALL NOT BE PERMITTED ON A DETACHED ACCESSORY DWELLING UNIT
LOCATION	ANY DETACHED ACCESSORY DWELLING UNIT SHALL NOT BE LOCATED WITHIN THE FRONT YARD, AND NOT MORE THAN 60 m (196.85 ft) FROM THE PRINCIPAL DWELLING. ANY DWELLING UNIT LOCATED IN A REAR YARD SHALL BE A COMBINED MAX. OF 50% OF THE REAR YARD, UP TO A MAX. OF 50 m <sup>2</sup> IN FOOTPRINT COVERAGE, WITH A MIN. OF 25% OF THE REAR YARD MAINTAINED AS LANDSCAPED OPEN SPACE
ENTRANCE	ANY UNIT LOCATED IN A REAR YARD SHALL BE ACCESSED BY A CONTINUOUS, UNOBSTRUCTED PATH OF TRAVEL OF AT LEAST 1 m (3.28 ft) WIDE BETWEEN THE MAIN WALL OF THE BUILDING AND THE SIDE LOT LINE
REGISTRATION	THE PROPERTY OWNER MUST REGISTER EACH ACCESSORY DWELLING UNIT WITH THE TOWN AND SHALL BE IN COMPLIANCE WITH ANY APPLICABLE ACCESSORY DWELLING UNITS REGISTRATION BYLAW
GARAGE / HUMAN HABITATION NUMBER OF DRIVEWAYS	NOT UNLESS SPECIFIC PLANNING PERMISSIONS HAVE BEEN GRANTED ONLY ONE (1) DRIVEWAY SHALL BE PERMITTED PER RESIDENTIALLY ZONED LOT IN A SETTLEMENT AREA

ZONING MATRIX - R1 WITH MUNICIPAL SEWER AND PRIVATE WELL			
	REQUIRED	EXISTING	PROPOSED
ZONE	R1	R1	R1
MINIMUM LOT AREA, EXTERIOR LOT	600m <sup>2</sup>	1269 m <sup>2</sup> , 13653.79 ft <sup>2</sup>	NO CHANGE
MINIMUM LOT FRONTAGE	15 m	30.05 m, 98'-7"	NO CHANGE
MIN. FRONT YARD SETBACK	8 m	17.16 m, 56'-3 3/4"	NO CHANGE
MIN. INTERIOR SIDE YARD, WEST	1.2 m	4.64 m, 15'-2 1/2"	NO CHANGE
MIN. EXTERIOR SIDE YARD, EAST	6 m	5.54 m, 18'-2 1/4"	NO CHANGE
MIN. REAR YARD	6 m	15.30 m, 50'-2 1/4"	NO CHANGE
MAX. LOT COVERAGE (ALL STRUCTURES)	35%	20%	23%
MIN. LANDSCAPED OPEN SPACE	30%	75%	
MAX. BUILDING HEIGHT	9 m	6.22 m to underside of soffit at rear of residence 5.12 m to underside of soffit at front of residence	-
DETACHED ACCESSORY DWELLING UNIT			
MIN. SETBACK, FRONT	6 m, 19'-8"	-	N/A
MIN. SETBACK, INTERIOR SIDE	1.2 m, 47.2"	-	13.8 m, 45'-4 3/4"
MIN. SETBACK, EXTERIOR SIDE	3 m, 9'-10"	-	5.54 m, 18'-2 1/4"
MIN. SETBACK, REAR	1.2 m, 47.2"	-	1.2 m, 4'-0"
MAX. HEIGHT (MID POINT) OR PRINCIPAL BUILDING, LEAST	6 m, 19'-8"	-	6.34 m, 20'-9 3/4" MAIN ROOF
MAX. HEIGHT (MID POINT) OR PRINCIPAL BUILDING, LEAST	6 m, 19'-8"	-	7.01 m, 23'-0" DORMER ROOF
LOT COVERAGE	10%	-	9.2%
GROSS FLOOR AREA	50 m <sup>2</sup> , 538.2 ft <sup>2</sup>	-	116 m <sup>2</sup> , 1250 ft <sup>2</sup>
MAX. DISTANCE FROM PRINCIPAL	60 m, 196'-10"	-	3.1 m, 10'-2 1/4"

1 Site Plan  
3/32" = 1'-0"



24 Parkside Drive  
Barrie, ON L4N 1W6  
Tel (705) 721-7228

No:	DATE:	REVISION:
1	Apr 25 2023	Proposed Plans for Review
2	May 3 2023	Plans for Minor Variance
3	Jun 16 2023	Height of Existing Residence

SEAL:

ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR IN THE COURSE OF WORK.  
REPORT ANY DISCREPANCIES OR OMISSIONS PRIOR TO COMMENCEMENT OF WORK  
  
DRAWING WILL PLOT TO SCALE ON "D" (24"x36") PAPER SIZE

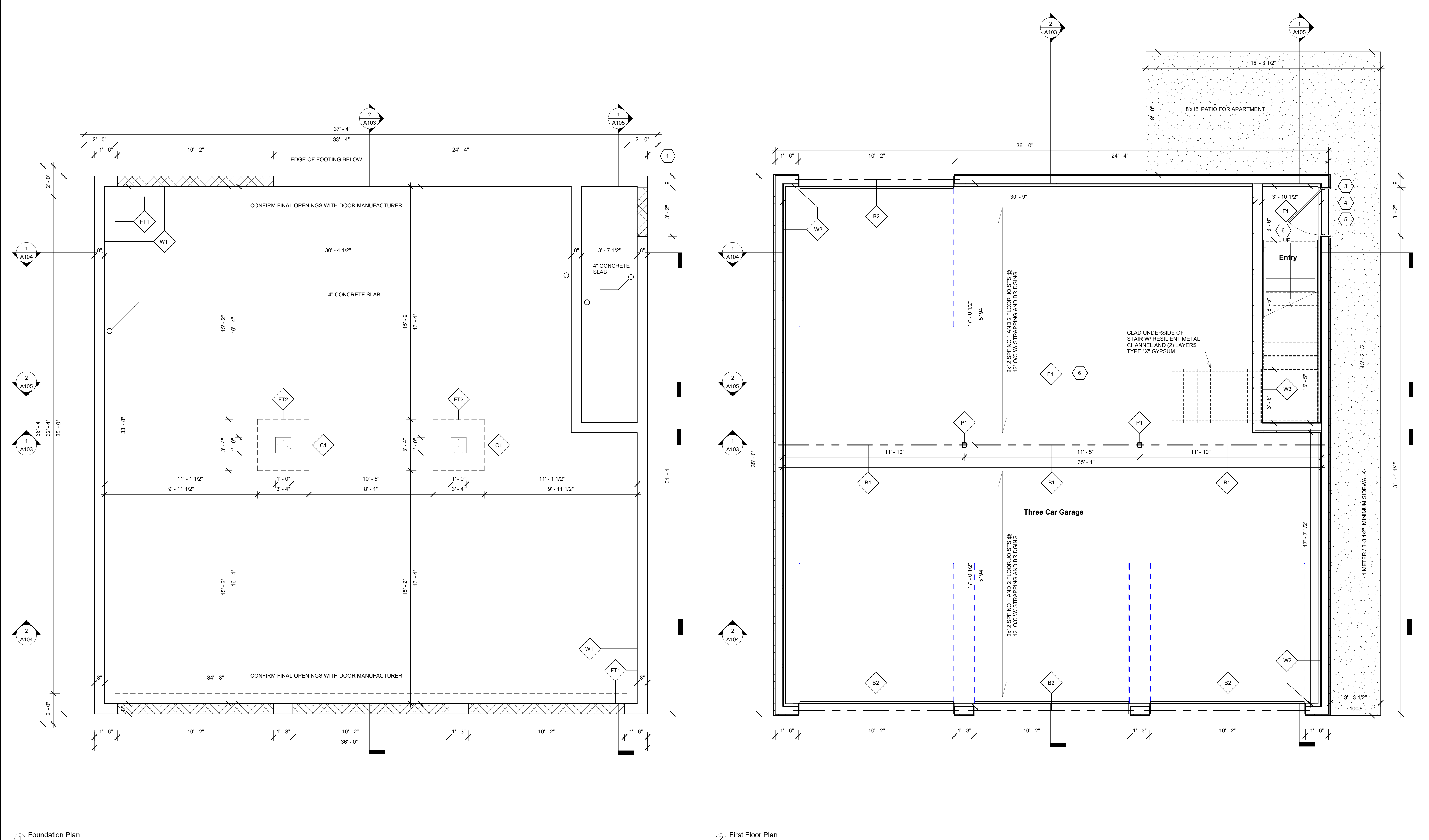
CLIENT:  
Gus DiMarsico & Doris Tucci  
  
PROJECT:  
Three Car Garage with Second Residence Above


LOCATION:  
  
1041 Fern Road  
Innisfil, Ontario

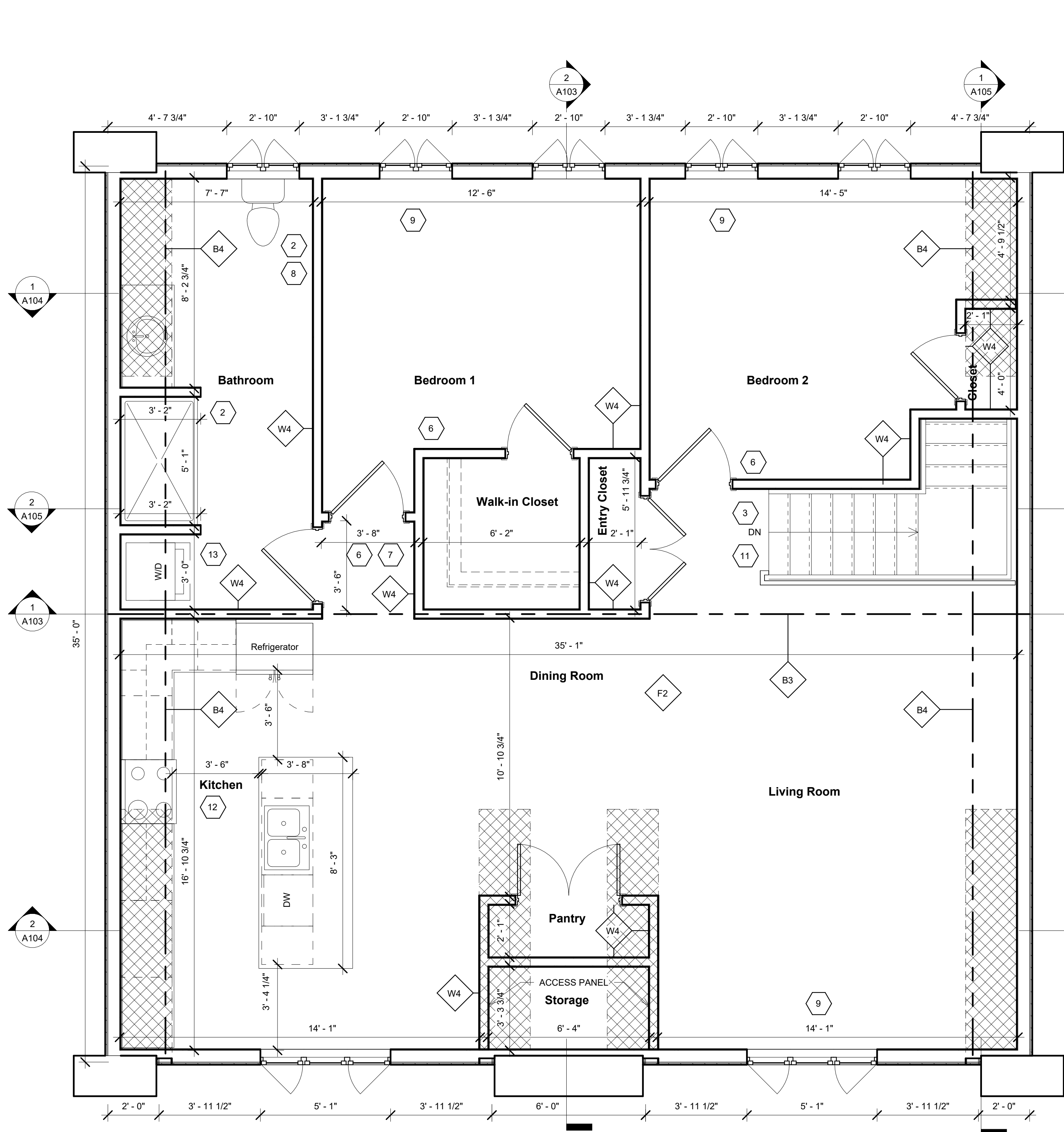
DRAWING:  
  
Site Plan and Zoning Matrix  
  
DWG No:

Drawn by: WJE  
Date: June 16, 2023  
Scale: As indicated  
Job#: 2084

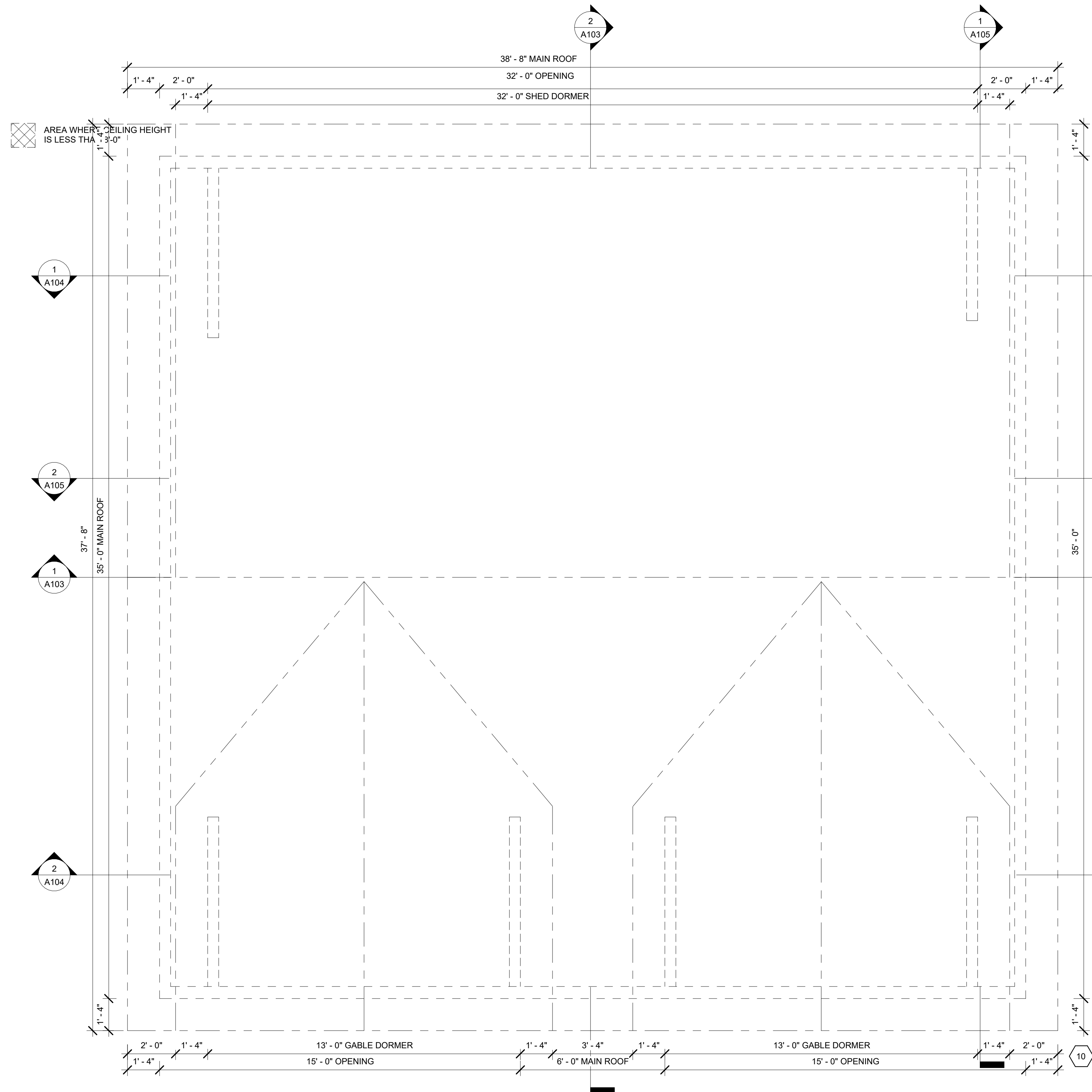
A100



① Foundation Plan 3/8" = 1'-0"		② First Floor Plan 3/8" = 1'-0"								
 <div>24 Parkside Drive Barrie, ON L4N 1W6 Tel (705) 721-7228</div>	No:	DATE:	REVISION:	SEAL:	ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR IN THE COURSE OF WORK. REPORT ANY DISCREPANCIES OR OMISSIONS PRIOR TO COMMENCEMENT OF WORK  DRAWING WILL PLOT TO SCALE ON "D" (24"x36") PAPER SIZE	CLIENT: Gus DiMarsico & Doris Tucci	LOCATION:  1041 Fern Road Innisfil, Ontario	DRAWING:  Foundation and First Floor Plan	DWG No:  A101	<div>Drawn by: WJE</div> <div>Date: June 16, 2023</div> <div>Scale: 3/8" = 1'-0"</div> <div>Job#: 2084</div>
	1	Apr 25 2023	Proposed Plans for Review							
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1 Second Floor Plan  
3/8" = 1'-0"



2 Roof Plan  
3/8" = 1'-0"

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CLIENT:  
**Gus DiMarsico & Doris Tucci**

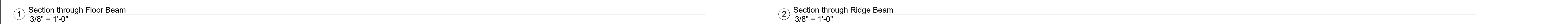
PROJECT:  
**Three Car Garage with Second Residence Above**

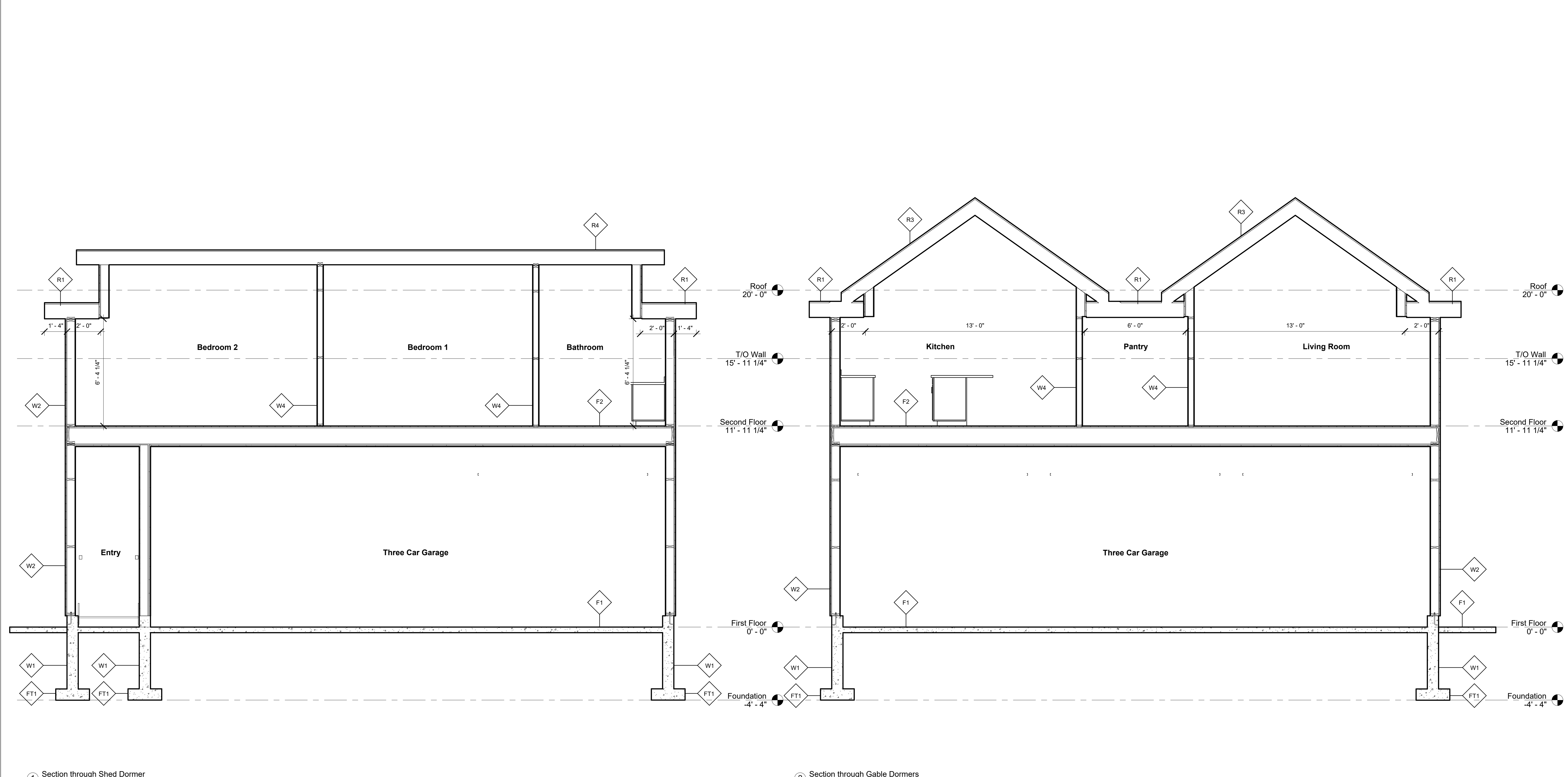
LOCATION:  
**1041 Fern Road  
Innisfil, Ontario**

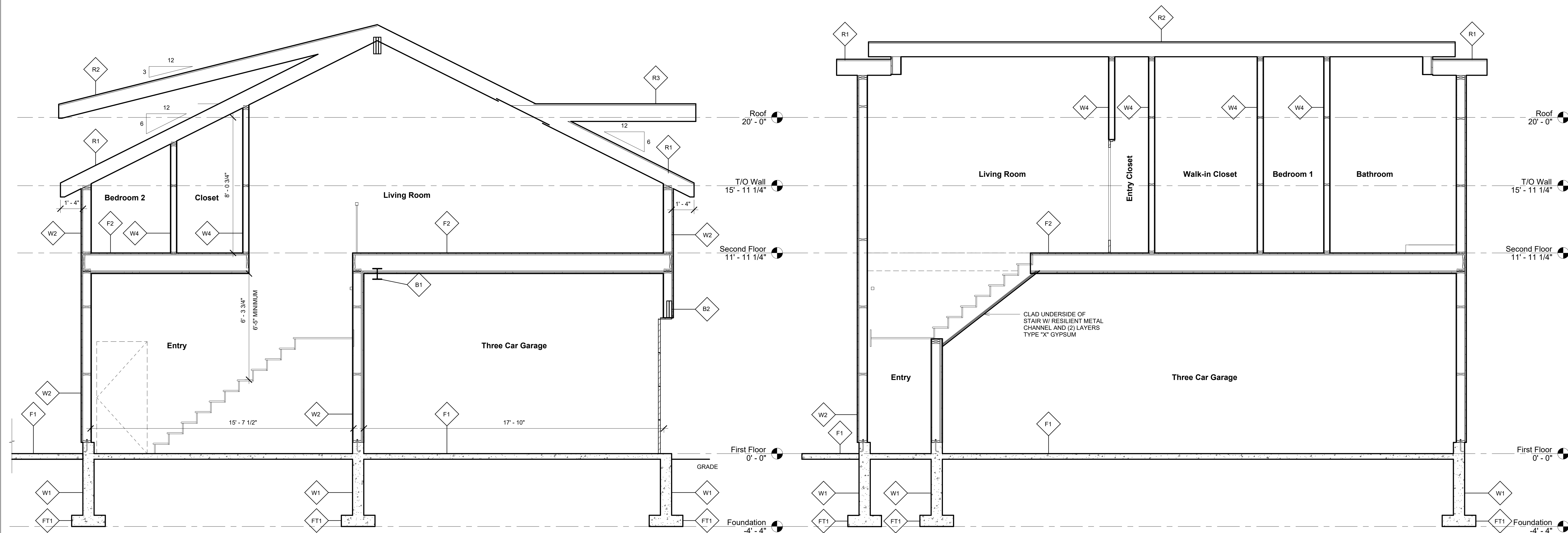
DRAWING:  
**Second Floor and Roof Plan**

DWG No:  
**A102**

Drawn by: WJE  
Date: June 16, 2023  
Scale: 3/8" = 1'-0"  
Job#: 2084







② Section through Entry Stair 2  
3/8" = 1'-0"

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CLIENT:  
Gus DiMarsico & Doris Tucci

## Three Car Garage with Second Residence Above

1041 Fern Road  
Innisfil, Ontario

## Sections through Entry Stairs

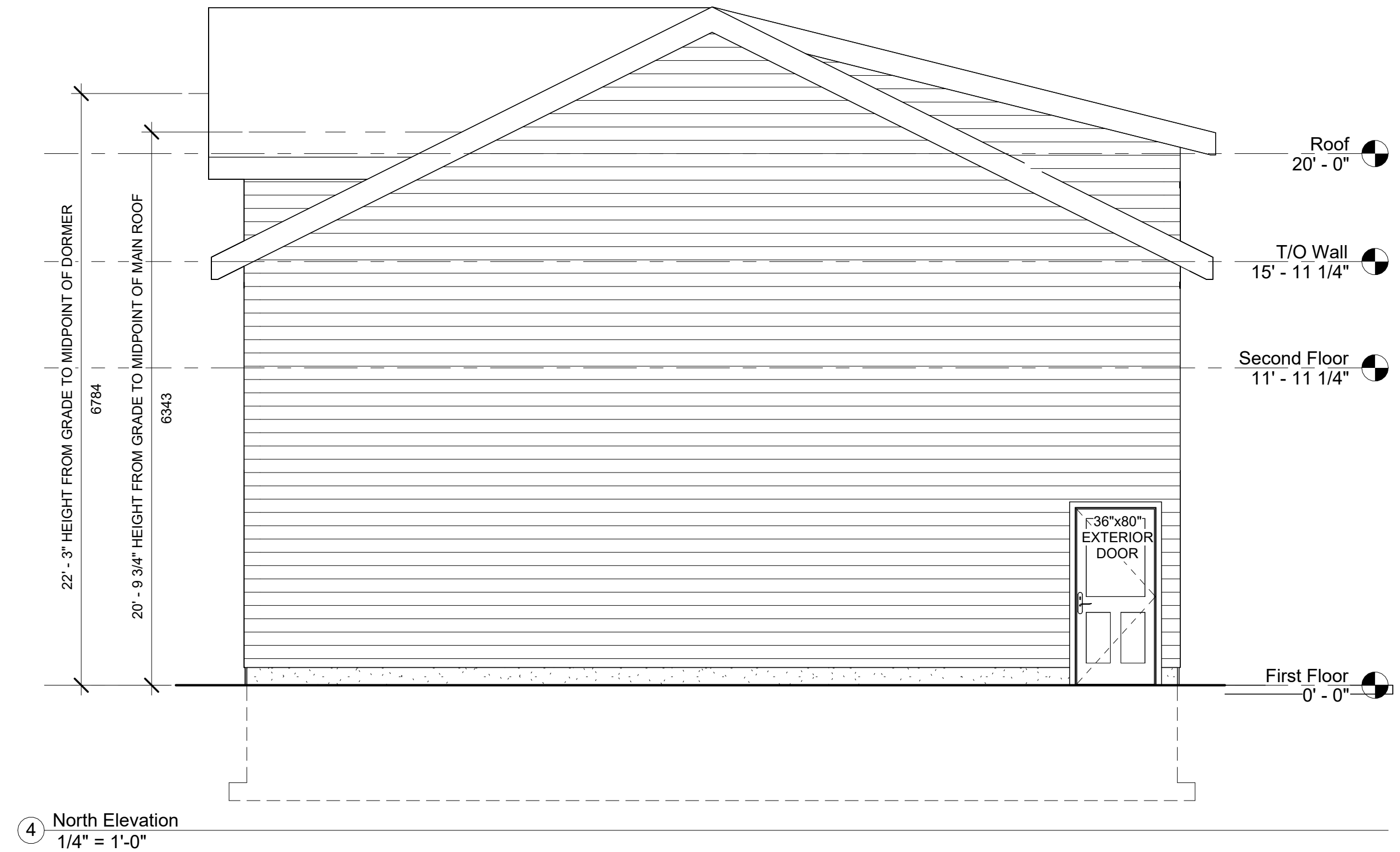
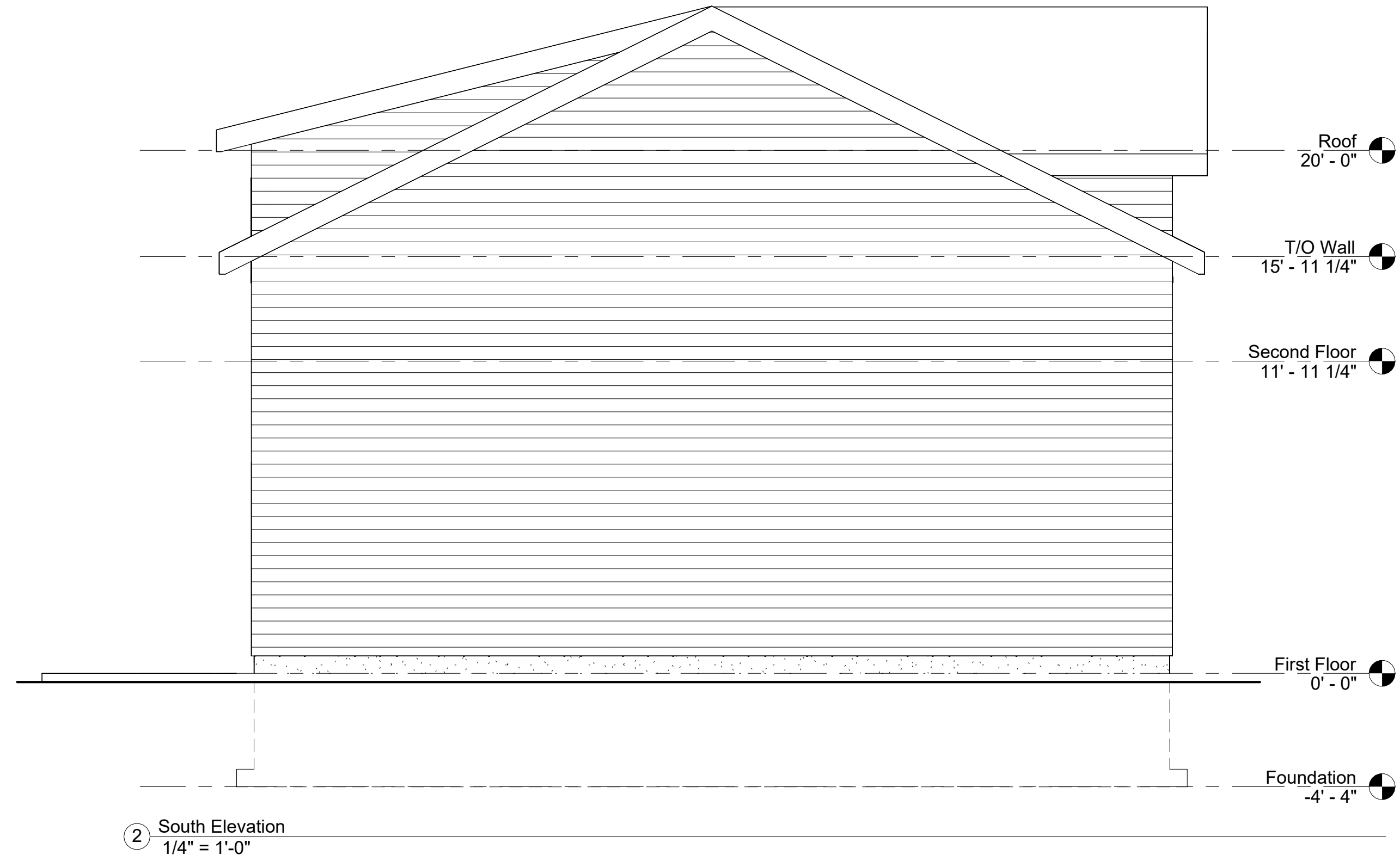
Drawn by: WJE

Date: June 16, 2023

Scale:  $3/8" = 1'-0"$

Job#: 2084

# A105



No:	DATE:	REVISION:
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DRAWING WILL PLOT TO SCALE ON "D" (24"x36") PAPER SIZE

CLIENT:  
**Gus DiMarsico & Doris Tucci**

PROJECT:  
**Three Car Garage with Second Residence Above**

LOCATION:  
**1041 Fern Road  
Innisfil, Ontario**

DRAWING:  
**Elevations**

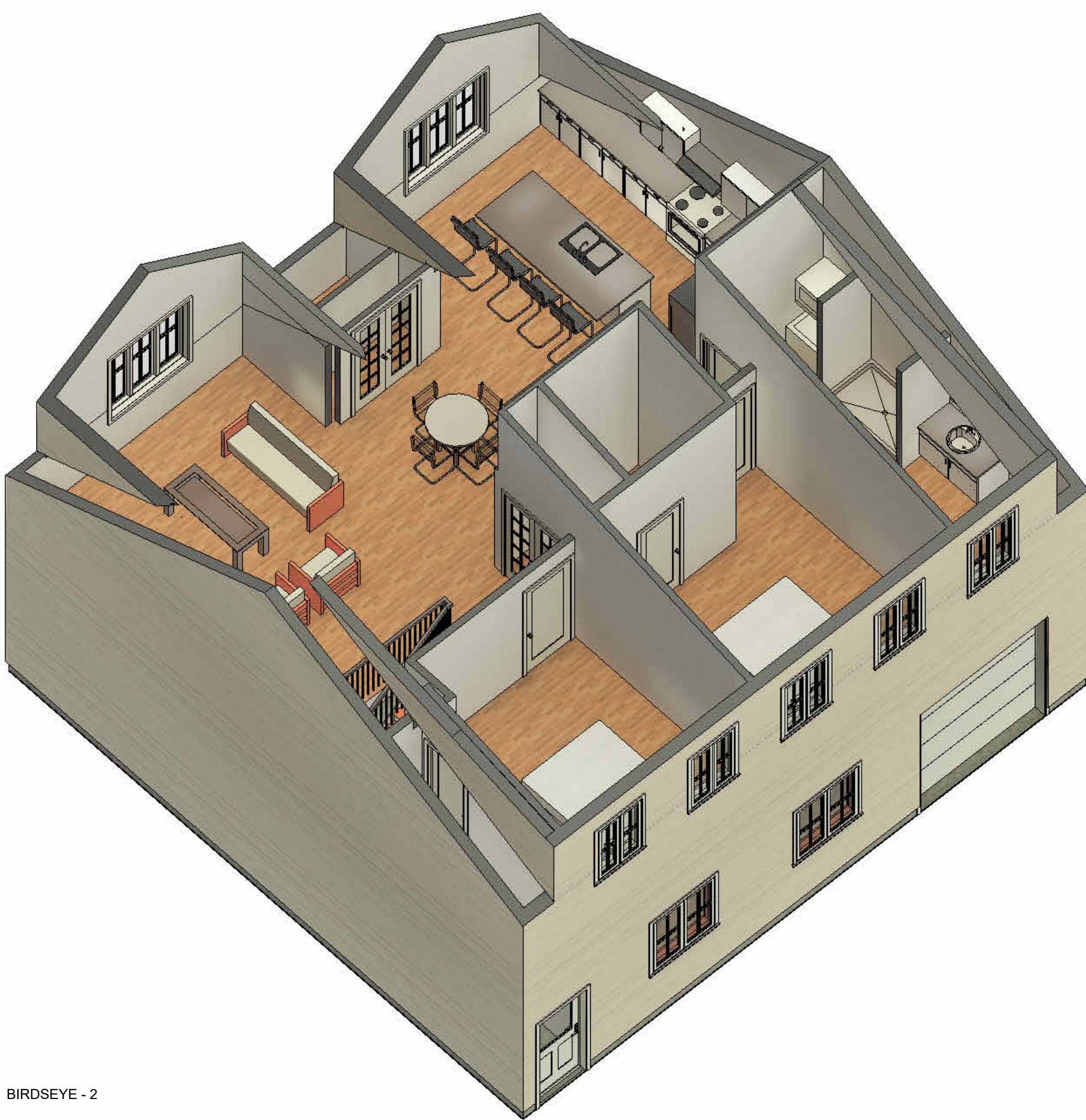
DWG No:

**A106**

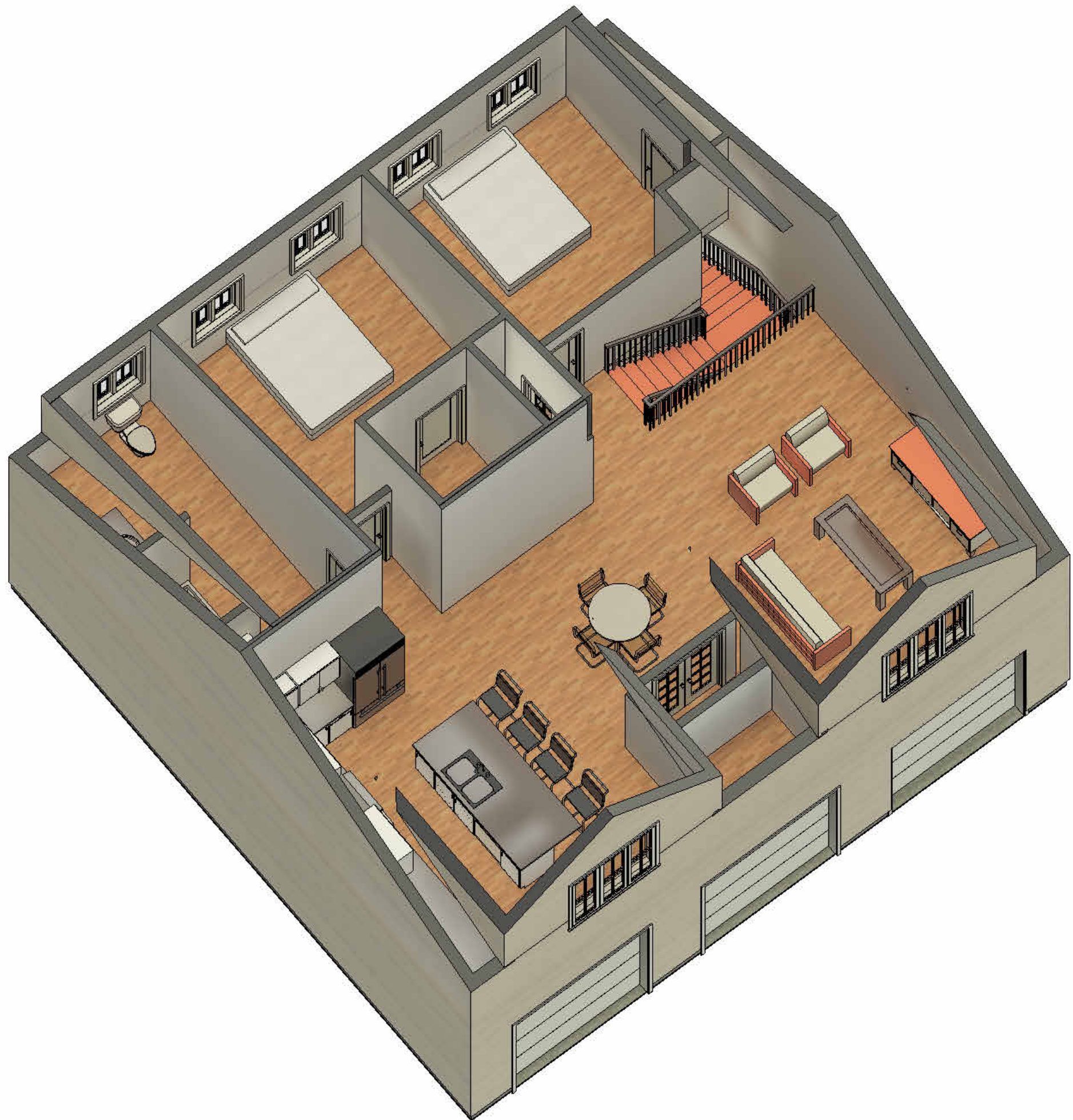
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Date: June 16, 2023  
Scale: 1/4" = 1'-0"  
Job#: 2084



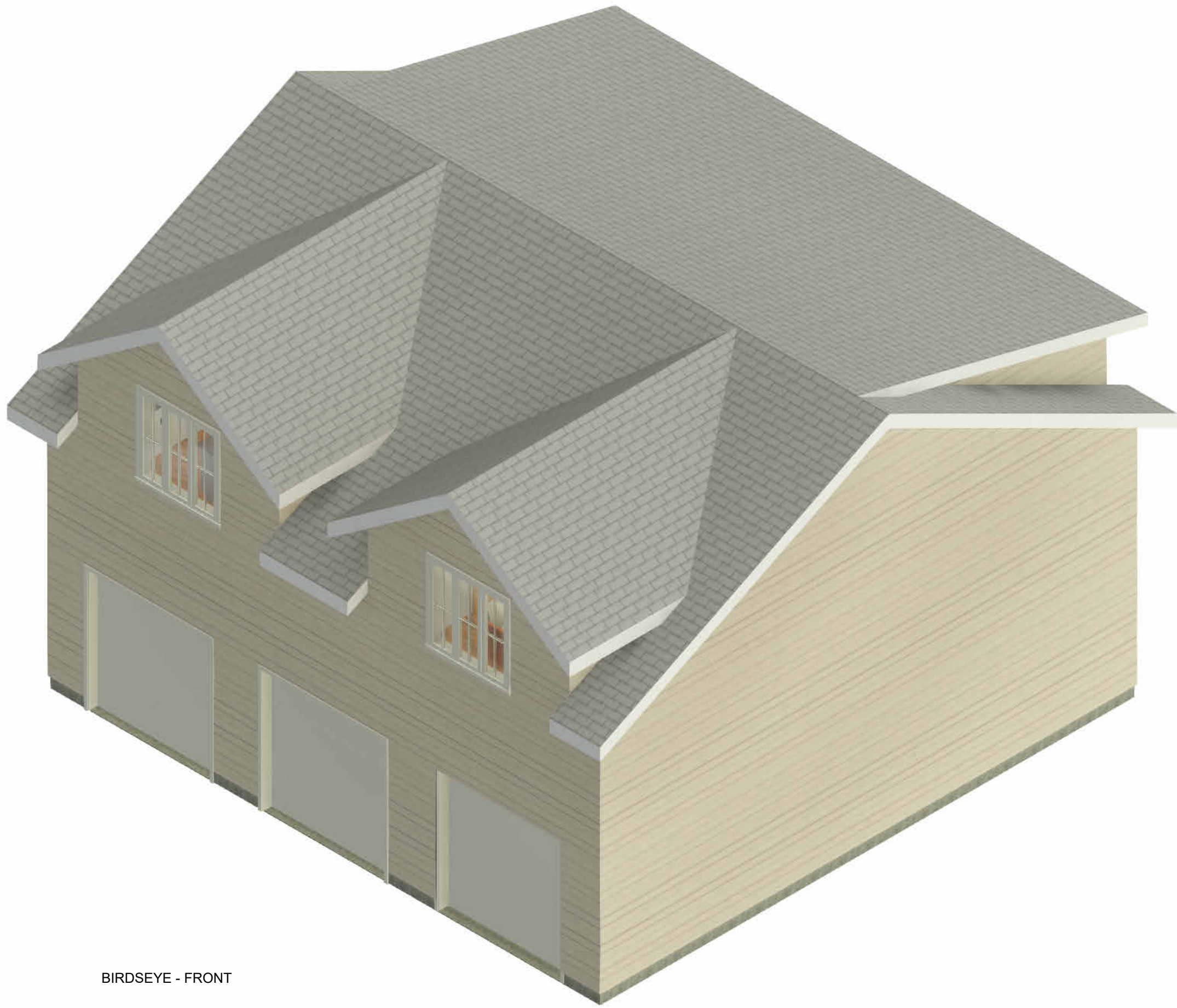
BIRDSEYE - 1



BIRDSEYE - 2



BIRDSEYE - 3



BIRDSEYE - FRONT



BIRDSEYE - REAR

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WORK

**DRAWING WILL PLOT TO SCALE ON "D"  
(24"x36") PAPER SIZE**

CLIENT:  
**Gus DiMarsico & Doris Tucci**

PROJECT:  
**Three Car Garage with  
Second Residence Above**

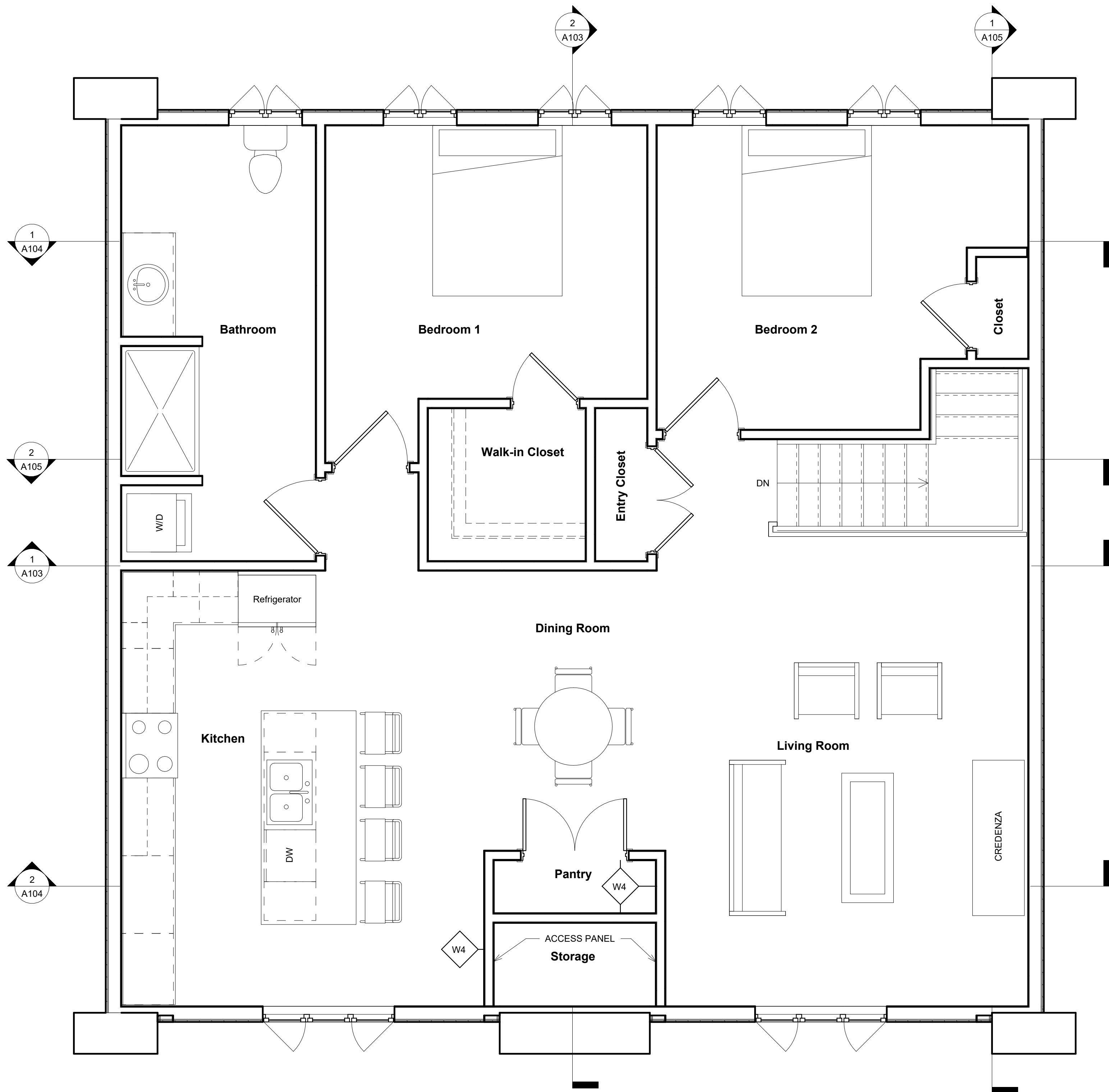
LOCATION:  
**1041 Fern Road  
Innisfil, Ontario**

DRAWING:  
**Renderings**

DWG No:

**A107**

Drawn by: WJE  
Date: June 16, 2023  
Scale:  
Job#: 2084



1 Furniture Plan  
3/8" = 1'-0"

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CLIENT:  
**Gus DiMarsico & Doris Tucci**

PROJECT:  
**Three Car Garage with Second Residence Above**

LOCATION:  
**1041 Fern Road  
Innisfil, Ontario**

DRAWING:  
**Furniture Plan**

DWG No:

**A108**

Drawn by: WJE  
Date: June 16, 2023  
Scale: 3/8" = 1'-0"  
Job#: 2084

