



COMMITTEE OF ADJUSTMENT NOTICE OF PUBLIC HEARING APPLICATION NO. A-032-2023

TAKE NOTICE that an application has been received by the Town of Innisfil from **Agostino DiMarsico** and **Doris Tucci**, **Owners**, for a minor variance from Zoning By-law 080-13, pursuant to Section 45 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended.

The subject property is described legally as **PLAN 767 LOT 55**, is known municipally as **1041 Fern Road**, and is zoned as "**Residential 1 (R1)**.

The applicant is proposing to construct an Accessory Dwelling Unit (ADU) with a gross floor area of 116 $\rm m^2$. The applicant is seeking relief from 3.5 (b) of the Zoning By-law which permits a maximum gross floor area coverage of 50% of the gross floor area of the principal dwelling, up to a maximum of 100 $\rm m^2$

The Committee of Adjustment for the Town of Innisfil will consider this application in person at Town Hall and virtually through Zoom on **Thursday**, **July 20**, **2023**, **at 6:30 PM**.

To participate in the hearing and/or provide comments, you must register by following the link below or scanning the above QR code: https://innisfil.ca/en/building-and-development/committee-of-adjustment-hearings.aspx

Requests can also be submitted in writing to: Town of Innisfil Committee of Adjustment, 2101 Innisfil Beach Road, Innisfil, Ontario, L9S 1A1 or by email to planning@innisfil.ca.

If you wish to receive a copy of the decision of the Committee of Adjustment in respect of the proposed minor variance, you must make a written request to the Secretary-Treasurer of the Committee of Adjustment by way of email or regular mail. The Notice of Decision will also explain the process for appealing a decision to the Local Planning Appeal Tribunal.

Additional information relating to the proposed application is available on the Town of Innisfil website. Accessible formats are available on request, to support participation in all aspects of the feedback process. To request an alternate format please contact Planning Services at planning@innisfil.ca.

PENN ROAD

BROONERS R

Toomaj Haghshenas, Secretary-Treasurer thaghshenas@innisfil.ca 705-436-3710 ext. 3316

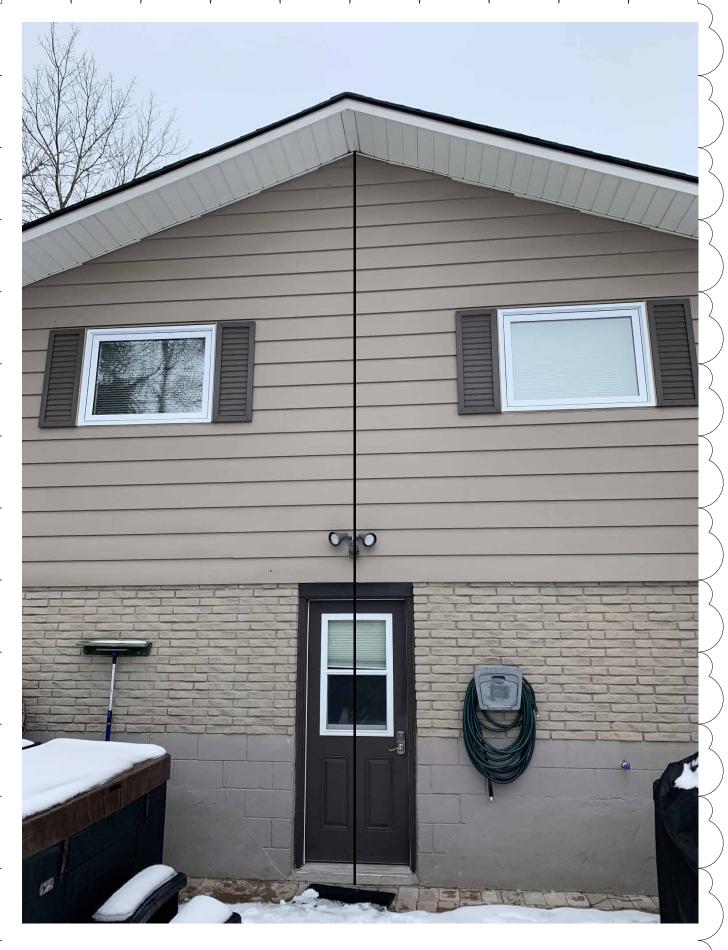
Dated: **July 5, 2023**



RESIDENCE - EAST ELEVATION



RESIDENCE NORTH FLEVATION



HEIGHT OF RESIDENCE - GRADE TO UNDERSIDE OF SOFFIT AT REAR 6.22 m (20'-4 3/4")



GUS DIMARSICO AND DORIS TUCCI

1041 FERN ROAD INNISFIL, ONTARIO

PROJECT 2084

THREE CAR GARAGE WITH SECOND SUITE ABOVE
PLANS FOR MINOR VARIANCE, HEIGHT OF EXISTING RESIDENCE - JUNE 16, 2023

CONTACT: WIL EISSES 705-721-7228 Ext. 104 wilfredae.sel@gmail.com

LIST OF DRAWINGS

A100 - SITE PLAN AND ZONING MATRIX

A101 - FOUNDATION AND FIRST FLOOR PLANS

A102 - SECOND FLOOR AND ROOF PLANS

A103 - SECTIONS THROUGH FLOOR BEAM AND RIDGE BEAM

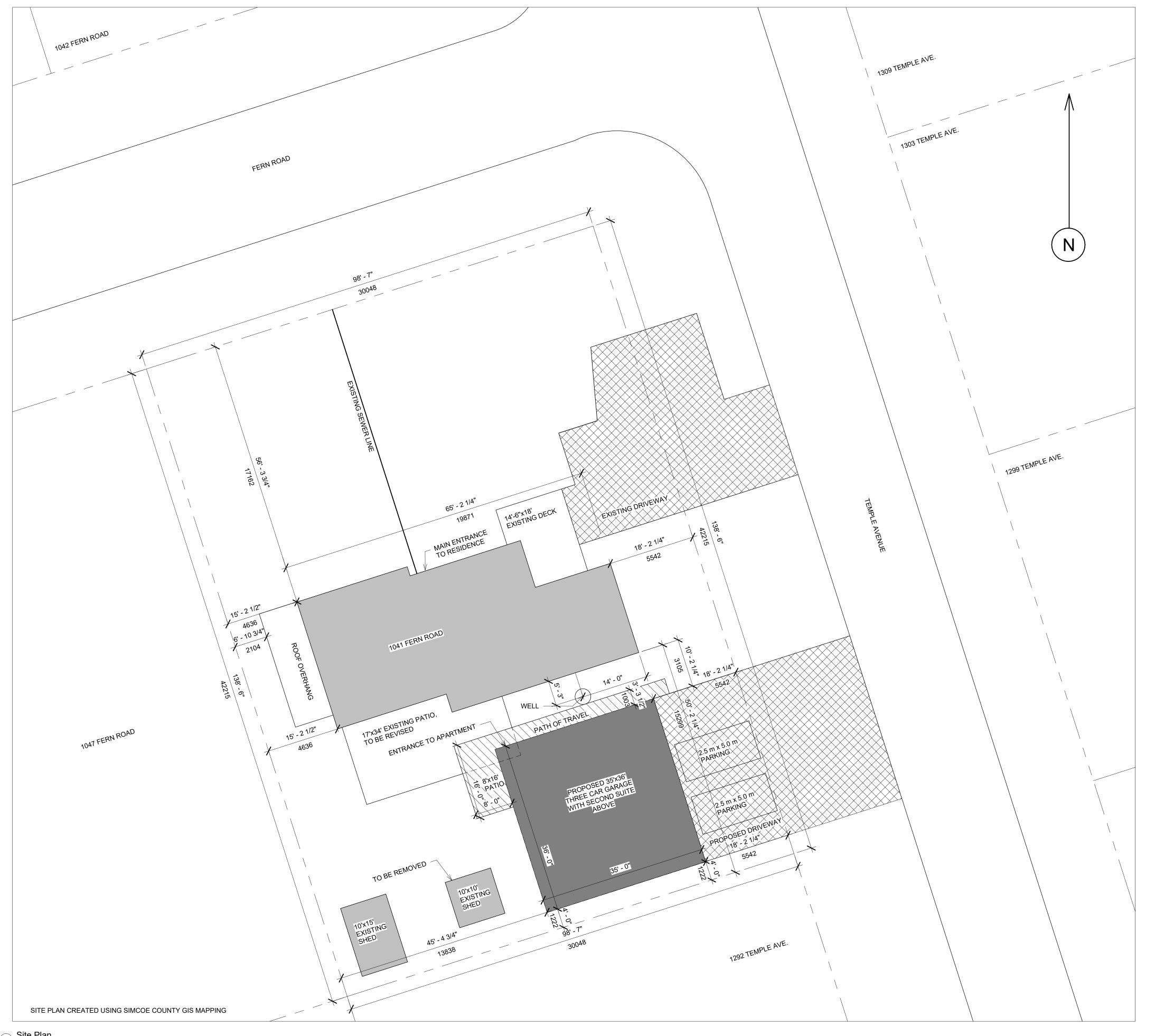
A104 - SECTIONS THROUGH SHED AND GABLE DORMERS

A105 - SECTIONS THROUGH ENTRY STAIRS

A106 - ELEVATIONS

A107 - RENDERINGS

SCOPE OF WORK: THE OWNERS REQUEST PLANS FOR A THREE CAR GARAGE WITH A SECOND SUITE ABOVE.



ZONING - ACCESSORY DWELLING UNITS (RESIDENTIAL ZONES)

GROSS FLOOR AREA

SEVERANCE

ENTRANCE

ACCESSORY DWELLING UNIT AS AN ACCESSORY TO A SINGLE-DETACHED DWELLING MAXIMUM NUMBER (2) TWO ACCESSORY DWELLING UNITS PERMITTED PER LOT THAT HÁS A MIN. LOT AREA OF 1000 m², ON A LOT LESS THAN 1000 m² A MAXIMUM OF ONE (1) DETACHED ACCESSORY UNIT SHALL BE

SHALL NOT BE GREATER THAN 50% OF THE GROSS FLOOR AREA

OF THE PRINCIPAL DWELLING ON THE LOT, UP TO A MAX. GROSS

FLOOR AREA OF 100 SQUARE METRES NUMBER OF BEDROOMS MAXIMUM OF THREE (3)

SHALL NOT BE SEVERED FROM THE LOT THAT CONTAINS THE PRINCIPAL DWELLING

PARKING A MINIMUM OF 2 OFF-STREET PARKING SPACES MUST BE PROVIDED WHEN A LOT HAS ONE (1) ACCESSORY DWELLING UNIT, TANDEM PARKING IS PERMITTED, EXTERIOR PARKING SPACES SHAL BE A MINIMUM OF 2.5 m x 5 m (8.2 ft x 16.4 ft)

HEIGHT THE MAX. HEIGHT SHALL NOT EXCEED THE HEIGHT OF THE PRINICIPAL DWELLING OR 6 m (19.69 ft) WHICHEVER IS LESS SHALL NOT BE PERMITTED ON A DETACHED ACCESSORY **BALCONY**

ANY DETACHED ACCESSORY DWELLING UNIT SHALL NOT BE LOCATION LOCATED WITHIN THE FRONT YARD, AND NOT MORE THAN 60 m (196.85 ft) FROM THE PRINCIPAL DWELLING. ANY DWELLING

UNIT LOCATED IN A REAR YARD SHALL BE A COMBINED MAX. OF 50% OF THE REAR YARD, UP TO A MAX. OF 50 m² IN FOOTPRINT COVERAGE, WITH A MIN. OF 25% OF THE REAR YARD MAINTAINED AS LANDSCAPED OPEN SPACE

ANY UNIT LOCATED IN A REAR YARD SHALL BE ACCESSED BY A CONTINUOUS, UNOBSTRUCTED PATH OF TRAVEL OF AT LEAST 1 m (3.28 ft) WIDE BETWEEN THE MAIN WALL OF THE BUILDING AND

REGISTRATION THE PROPERTY OWNER MUST REGISTER EACH ACCESSORY DWELLING UNIT WITH THE TOWN AND SHALL BE IN COMPLIANCE

WITH ANY APPLICABLE ACCESSORY DWELLING UNITS REGISTRATION

GARAGE / HUMAN HABITATION NOT UNLESS SPECIFIC PLANNING PERMISSIONS HAVE BEEN GRANTED NUMBER OF DRIVEWAYS ONLY ONE (1) DRIVEWAY SHALL BE PERMITTED PER RESIDENTIALLY

ZONED LOT IN A SETTLEMENT AREA

	REQUIRED	EXISTING	PROPOSED
ZONE	R1	R1	R1
MINIMUM LOT AREA, EXTERIOR LOT	600m ²	1269 m², 13653.79 ft²	NO CHANGE
MINIMUM LOT FRONTAGE	15 m	30.05 m, 98'-7"	NO CHANGE
MIN. FRONT YARD SETBACK	8 m	17.16 m, 56'-3 3/4"	NO CHANGE
MIN. INTERIOR SIDE YARD, WEST	1.2 m	4.64 m, 15'-2 1/2"	NO CHANGE
MIN. EXTERIOR SIDE YARD, EAST	6 m	5.54 m, 18'-2 1/4"	NO CHANGE
MIN. REAR YARD	6 m	15.30 m, 50'-2 1/4"	NO CHANGE
MAX. LOT COVERAGE (ALL STRUCTURES)	35%	20%	23%
MIN. LANDSCAPED OPEN SPACE	30%	75%	62%
MAX. BUILDING HEIGHT	9 m	6.22 m to underside of soffit at rear of residence 5.12 m to underside of soffit at front of residence	} -
DETACHED ACCESSORY DWELLING UN	NIT		
MIN. SETBACK, FRONT	6 m, 19'-8"	-	N/A
MIN. SETBACK, INTERIOR SIDE	1.2 m, 47.2"	-	13.8 m, 45'-4 3/4'
MIN. SETBACK, EXTERIOR SIDE	3 m, 9'-10"	-	5.54 m, 18'-2 1/4"
MIN. SETBACK, REAR	1.2 m, 47.2"	-	1.2 m, 4'-0"
MAX. HEIGHT (MID POINT) OR PRINCIPAL BUILDING, LEAST	6 m, 19'-8"	-	6.34 m, 20'-9 3/4' MAIN ROOF
MAX. HEIGHT (MID POINT) OR PRINCIPAL BUILDING, LEAST	6 m, 19'-8"	-	7.01 m, 23'-0" DORMER ROOF
LOT COVERAGE	10%	-	9.2%
GROSS FLOOR AREA	50 m ² , 538.2 ft ²	-	116 m², 1250 ft²
MAY DIOTANIOE EDOM DDINIOIDAL	60 m, 196'-10"		3.1 m, 10'-2 1/4"
MAX. DISTANCE FROM PRINCIPAL	00 111, 190 - 10	_	3.1111, 10-2 1/4

Site Plan
3/32" = 1'-0"

Springwater
Engineering Limited 24 Parkside Drive Barrie, ON L4N 1W6 Tel (705) 721-7228

REVISION: No: DATE: SEAL: Apr 25 2023 Proposed Plans for Review

May 3 2023 Plans for Minor Variance

Jun 16 2023 Height of Existing Residence

ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR IN THE COURSE OF REPORT ANY DISCREPANCIES OR OMISSIONS PRIOR TO COMMENCEMENT OF

DRAWING WILL PLOT TO SCALE ON "D" (24"x36") PAPER SIZE

Gus DiMarsico & Doris Tucci

Three Car Garage with Second Residence Above 1041 Fern Road Innisfil, Ontario

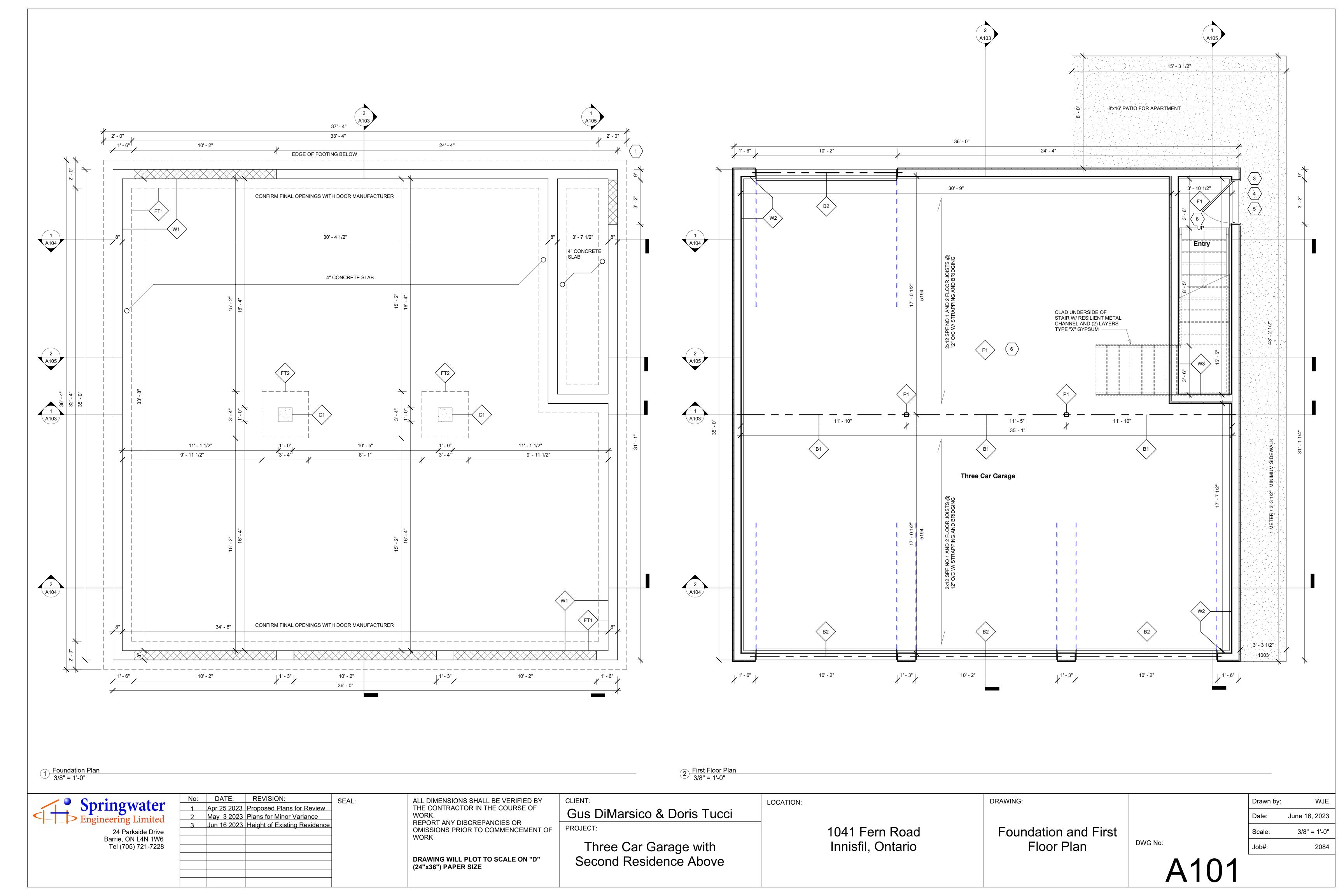
LOCATION:

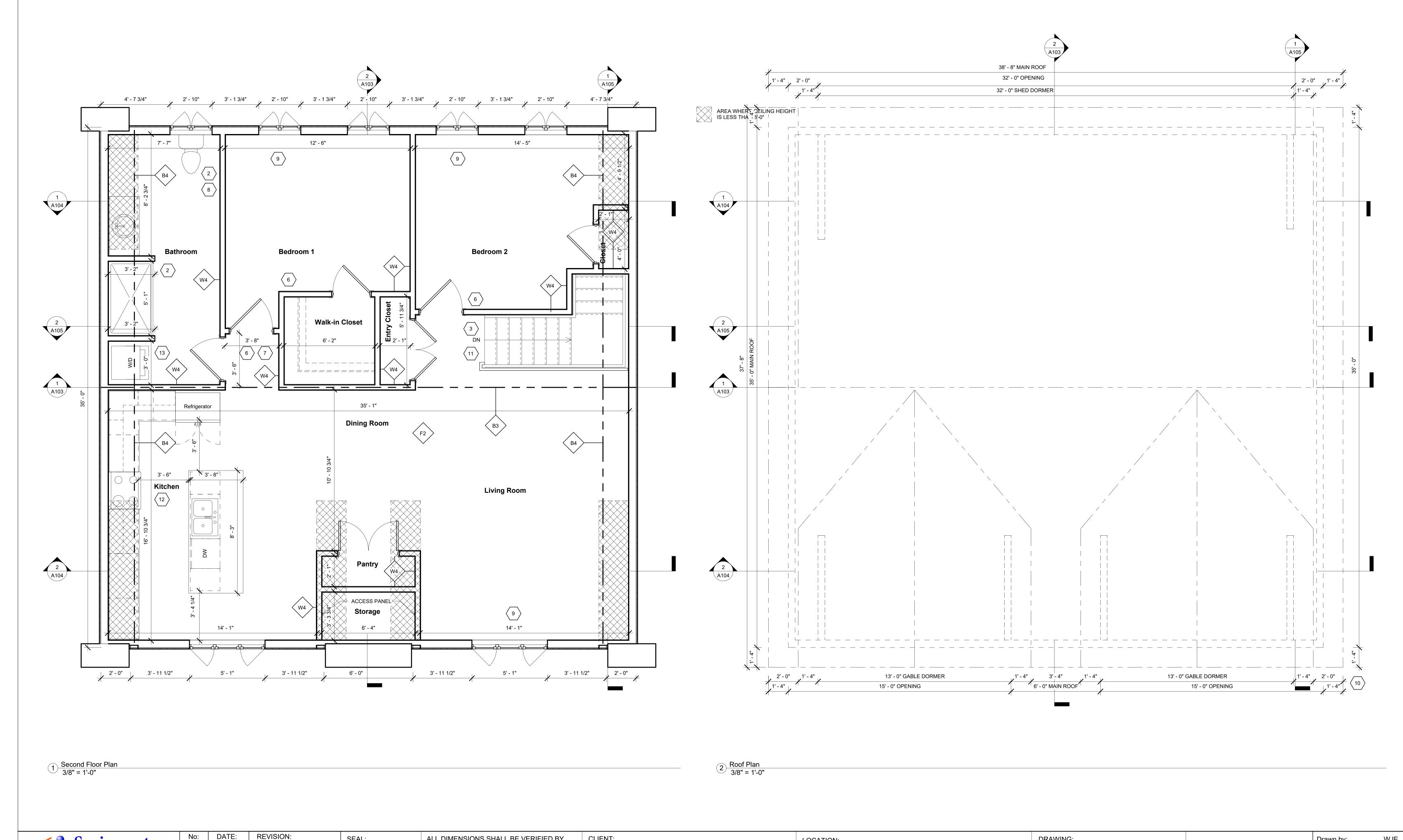
Site Plan and Zoning Matrix

DRAWING:

DWG No:

Drawn by: June 16, 2023 As indicated





4	Springwater Engineering Limited
	24 Parkside Drive Barrie, ON L4N 1W6 Tel (705) 721-7228

No:	DATE:	REVISION:	SEAL:
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Gus DiMarsico & Doris Tucci Three Car Garage with Second Residence Above

1041 Fern Road Innisfil, Ontario

LOCATION:

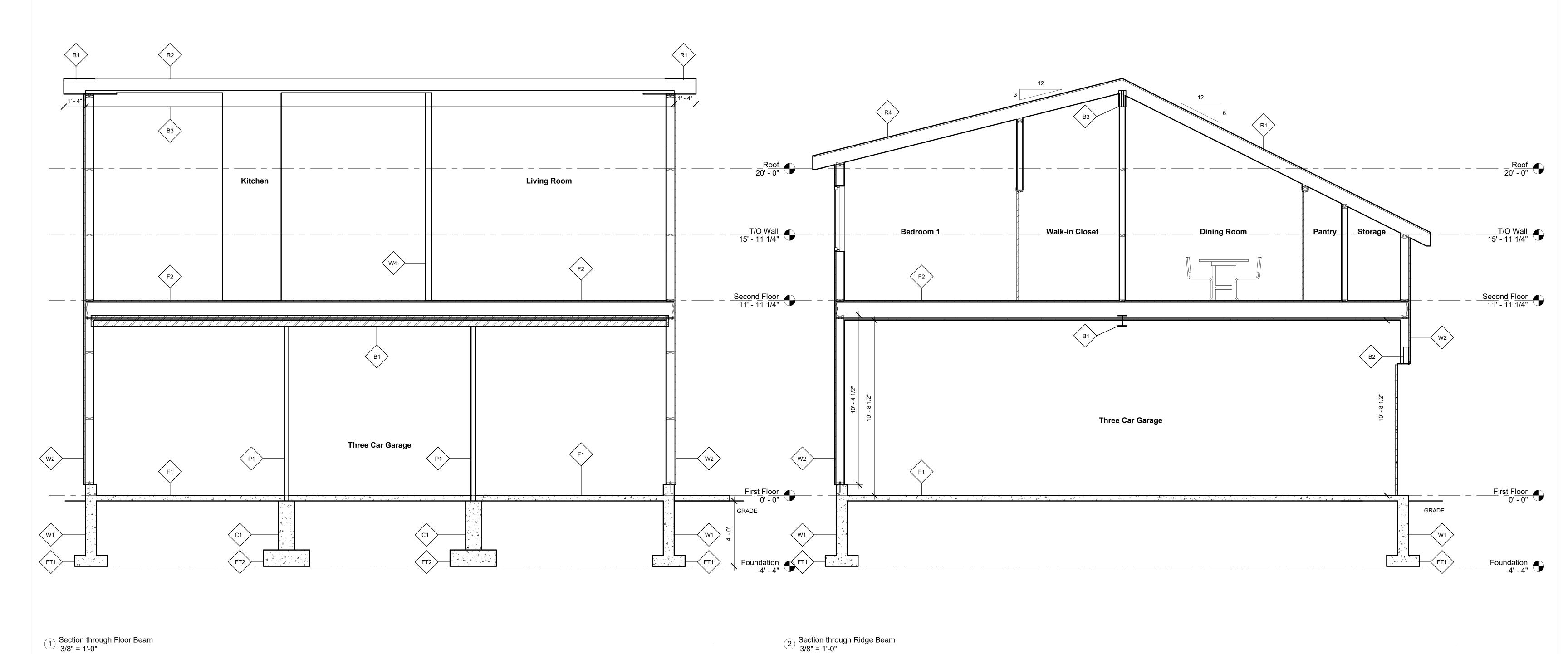
Second Floor and Roof Plan

DRAWING:

Drawn by: DWG No:

June 16, 2023

3/8" = 1'-0"



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Gus DiMarsico & Doris Tucci PROJECT:

Three Car Garage with Second Residence Above

1041 Fern Road Innisfil, Ontario

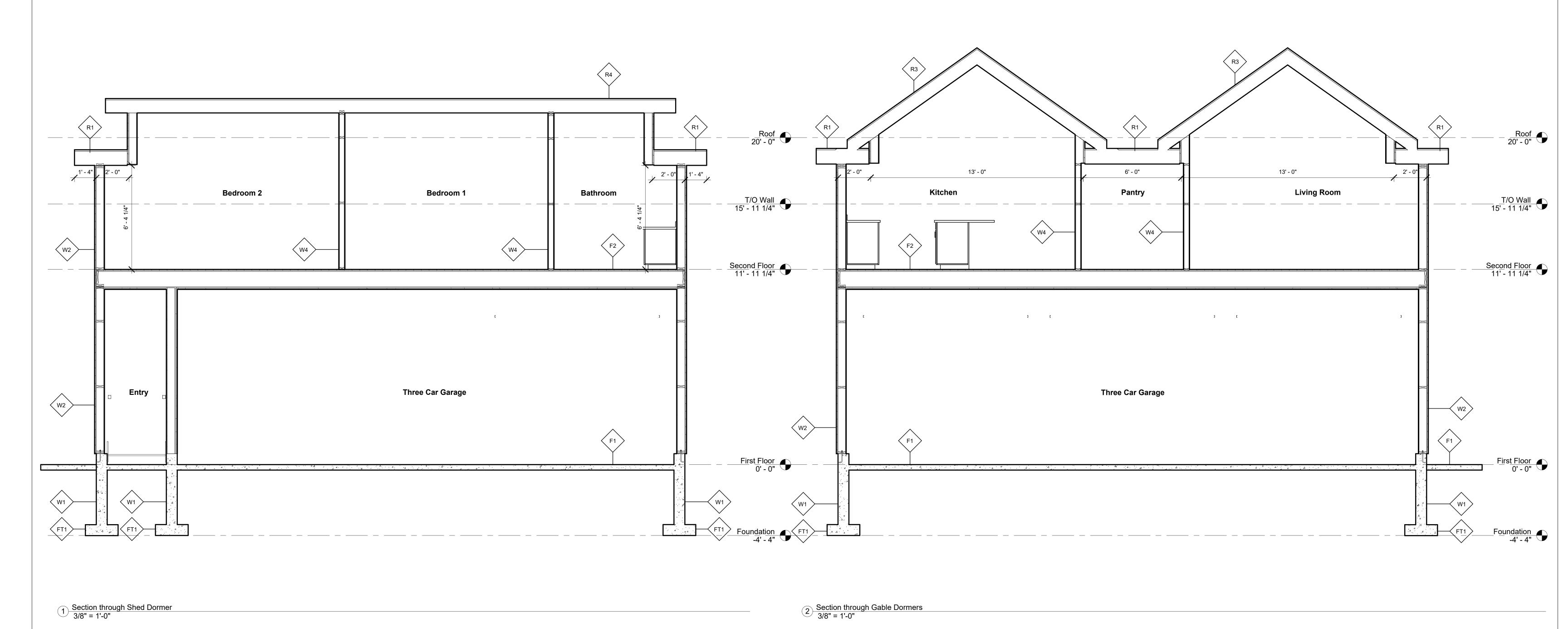
LOCATION:

Sections through Floor Beam and Ridge Beam

DRAWING:

Drawn by: June 16, 2023 3/8" = 1'-0" DWG No:

2084



	Springwater
4	Engineering Limited
	24 Parkside Drive Barrie, ON L4N 1W6 Tel (705) 721-7228

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Gus DiMarsico & Doris Tucci PROJECT:

Three Car Garage with Second Residence Above

1041 Fern Road Innisfil, Ontario

LOCATION:

Sections through Shed and Gable Dormers

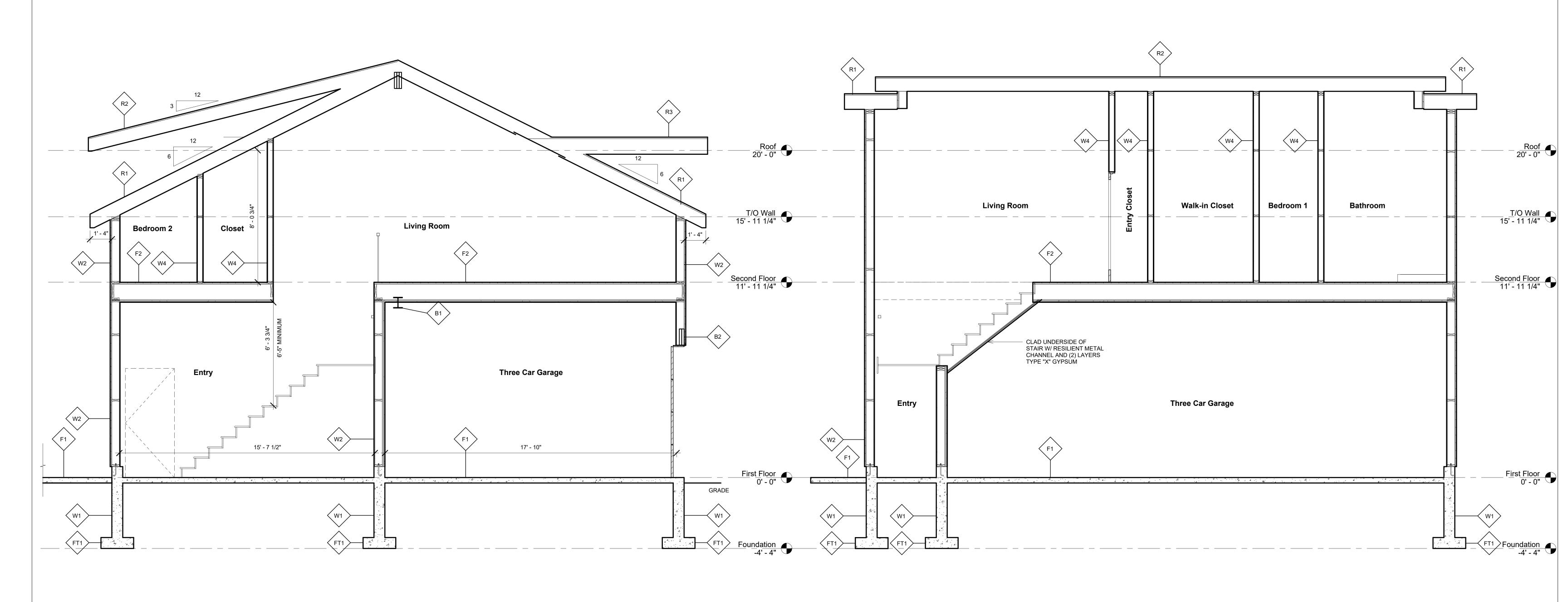
DRAWING:

Drawn by: DWG No:

June 16, 2023

3/8" = 1'-0"

2084



2 Section through Entry Stair 2
3/8" = 1'-0"

4	Springwater Engineering Limited
	24 Parkside Drive Barrie, ON L4N 1W6 Tel (705) 721-7228

Section through Entry Stair
3/8" = 1'-0"

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ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR IN THE COURSE OF WORK.
REPORT ANY DISCREPANCIES OR OMISSIONS PRIOR TO COMMENCEMENT OF WORK

DRAWING WILL PLOT TO SCALE ON "D" (24"x36") PAPER SIZE

Gus DiMarsico & Doris Tucci

PROJECT:

Three Car Garage with
Second Residence Above

1041 Fern Road Innisfil, Ontario

LOCATION:

Sections through Entry Stairs

DRAWING:

Drawn by: WJE

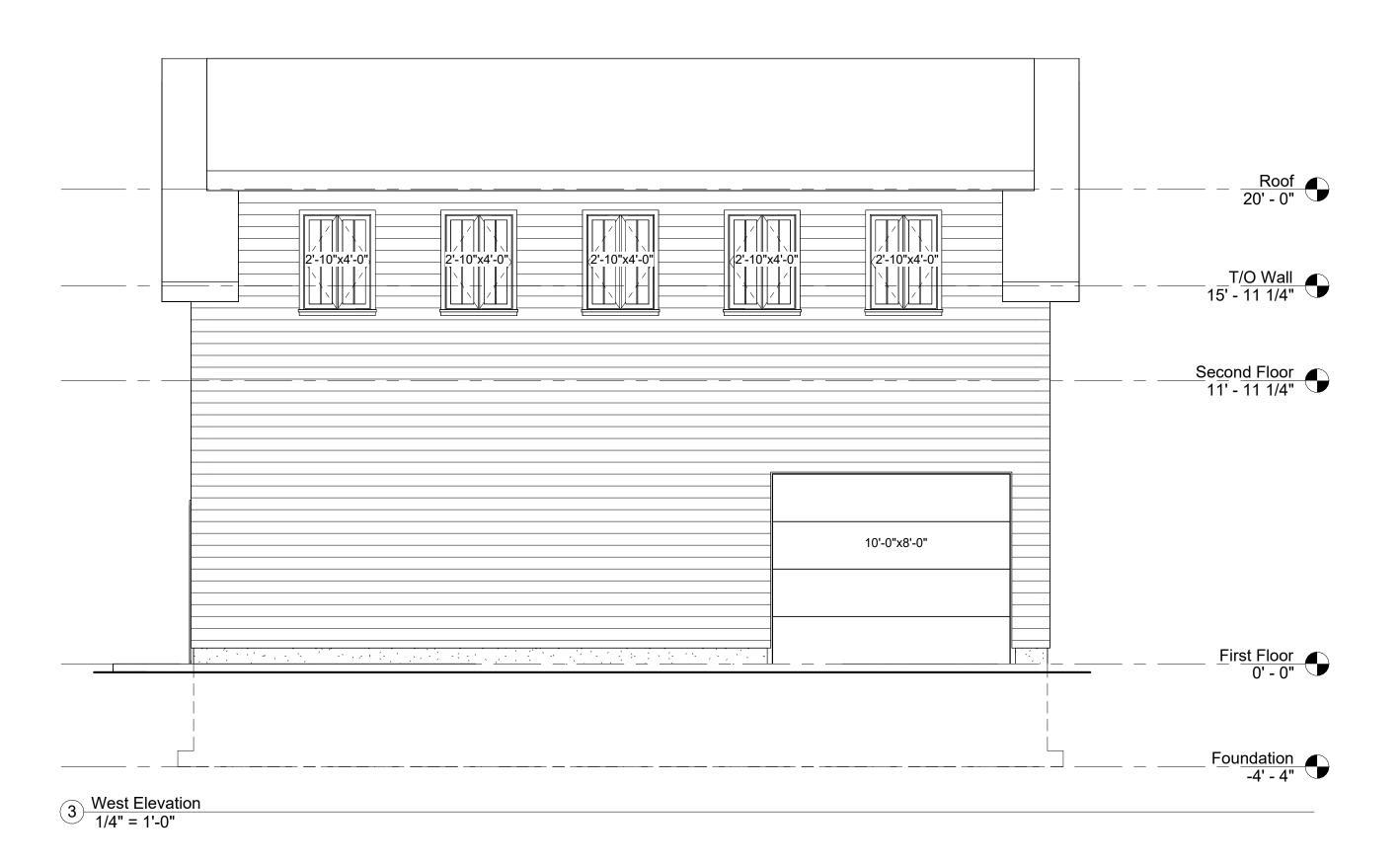
Date: June 16, 2023

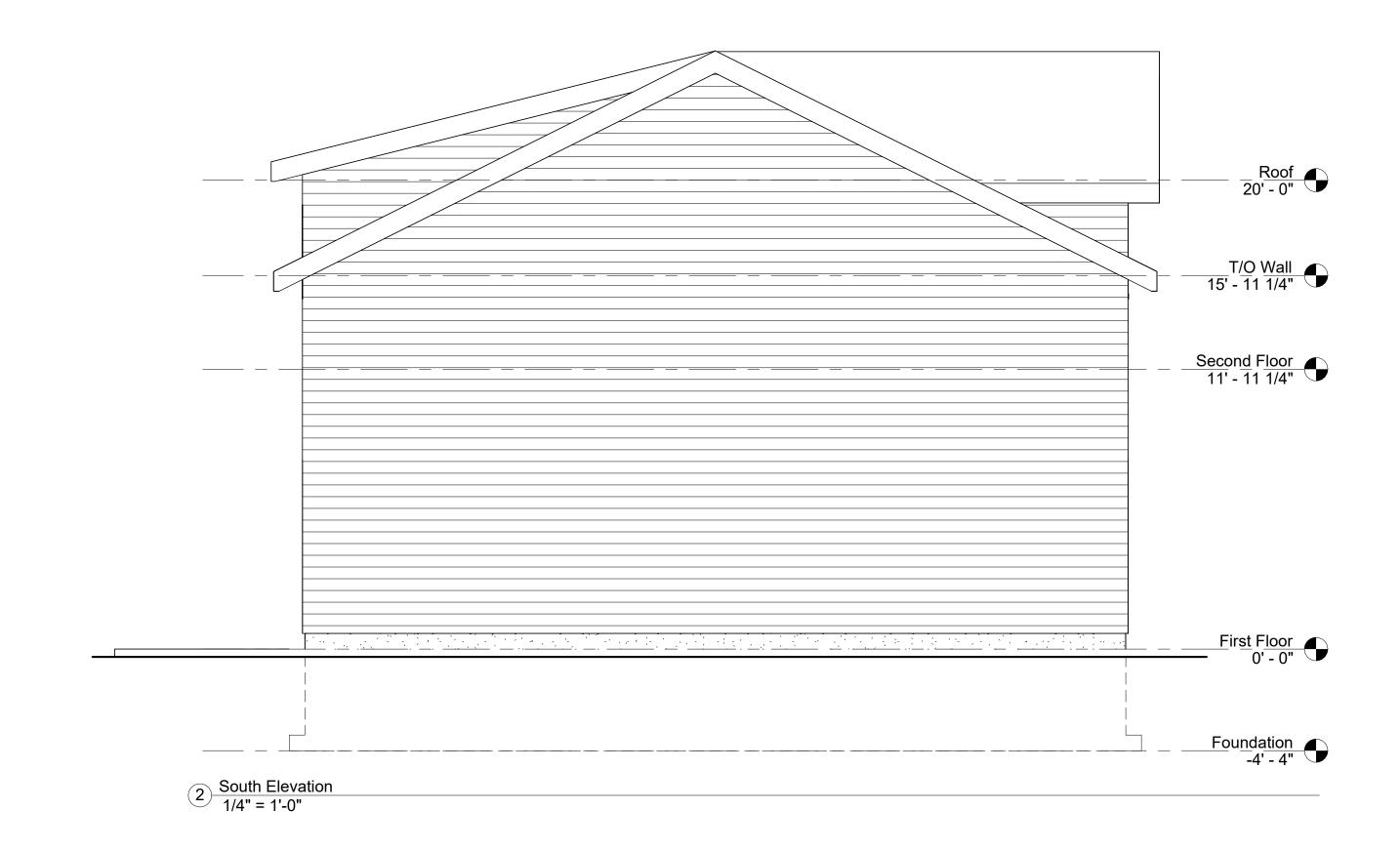
Scale: 3/8" = 1'-0"

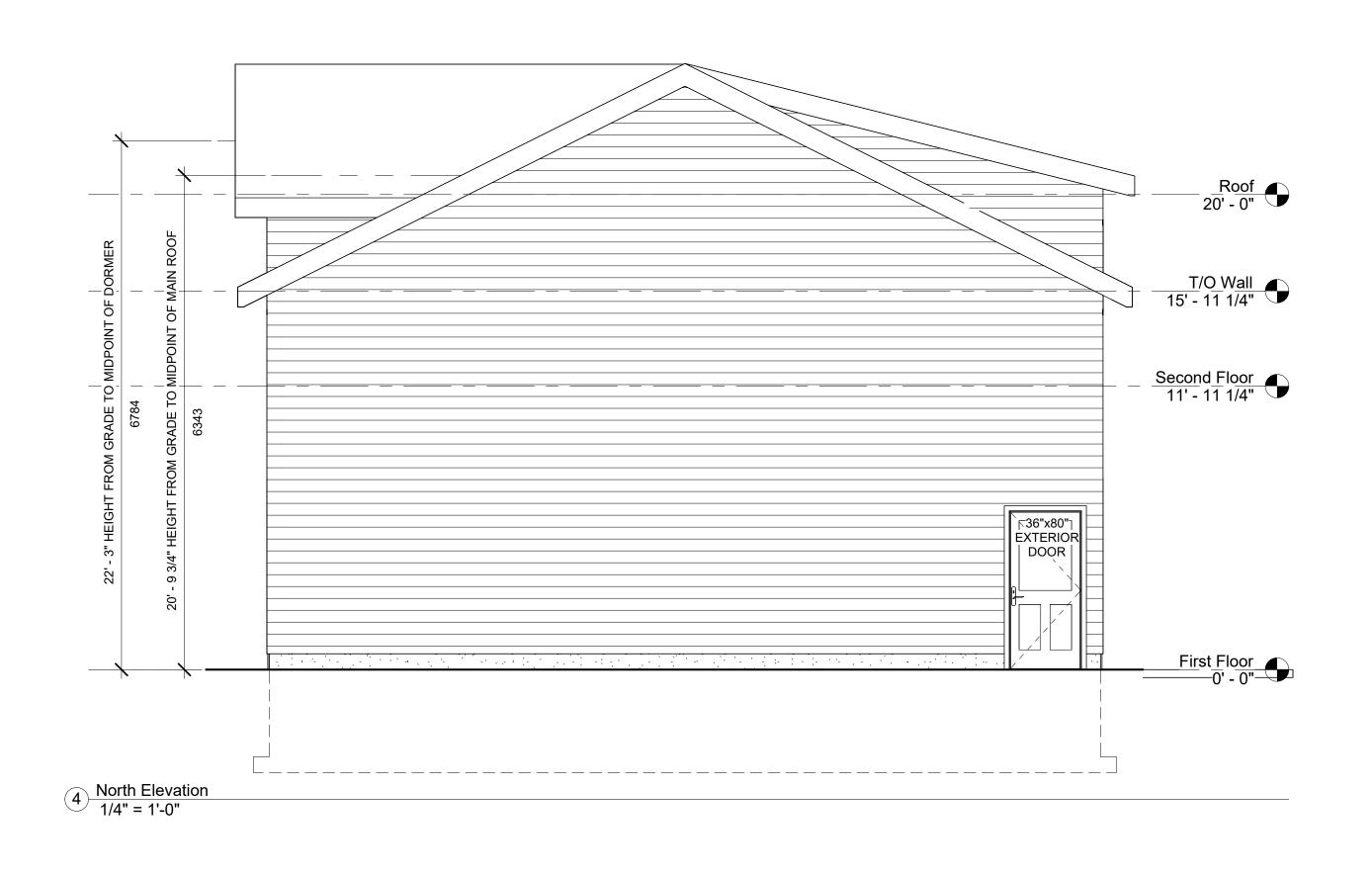
DWG No: Job#: 2084

A105









Springwater Engineering Limited
24 Parkside Drive Barrie, ON L4N 1W6 Tel (705) 721-7228

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Three Car Garage with Second Residence Above

Gus DiMarsico & Doris Tucci

1041 Fern Road Innisfil, Ontario

LOCATION:

Elevations

DRAWING:

DWG No:

Drawn by: June 16, 2023 1/4" = 1'-0"



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No: DATE: REVISION:

1 Apr 25 2023 Proposed Plans for Review
2 May 3 2023 Plans for Minor Variance
3 Jun 16 2023 Height of Existing Residence

DRAWING WILL PLOT TO SCALE ON "D" (24"x36") PAPER SIZE

PROJECT:

Three Car Garage with Second Residence Above

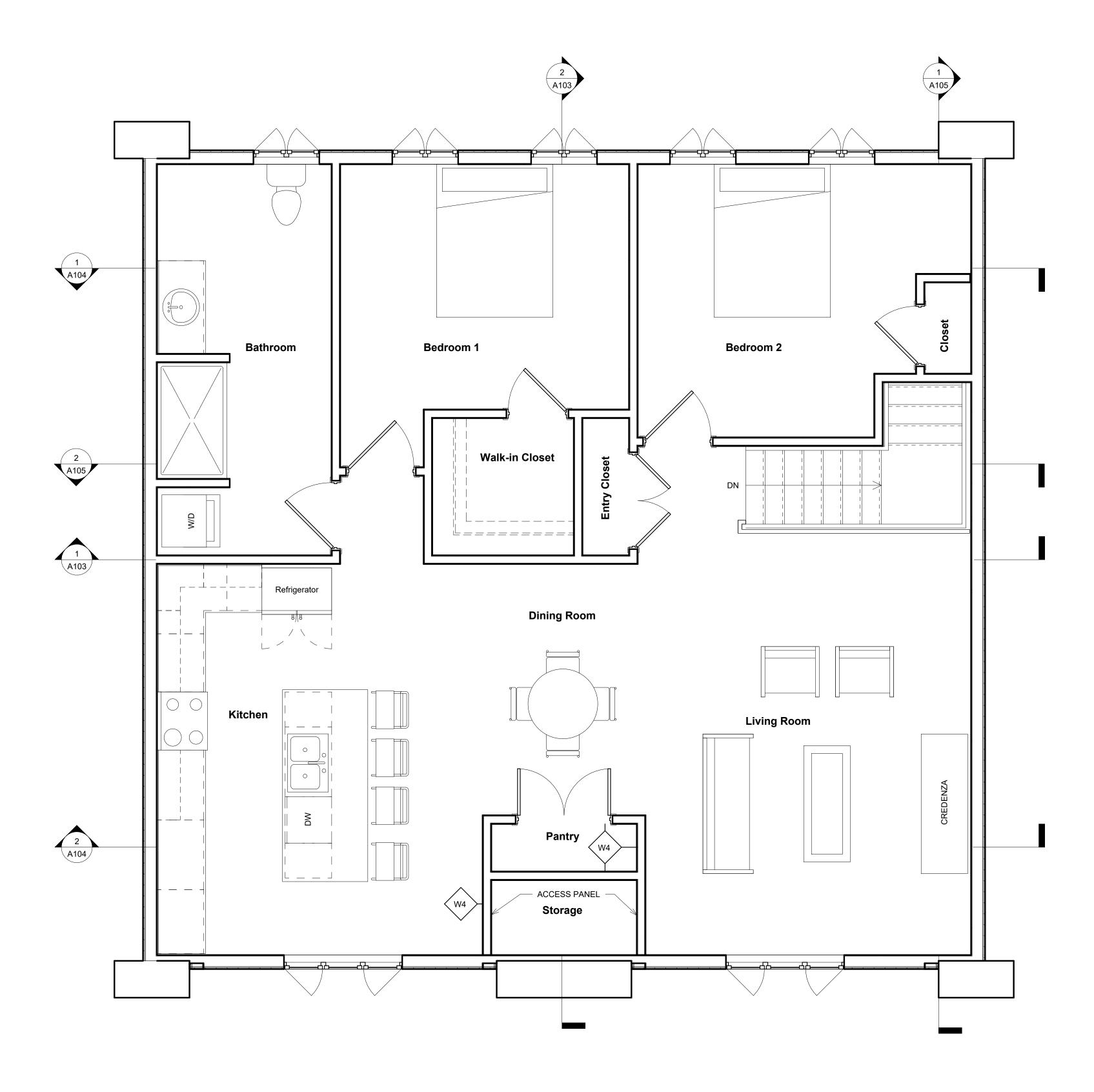
1041 Fern Road Innisfil, Ontario

Renderings

DWG No:

June 16, 2023 2084

A107



1 Furniture Plan 3/8" = 1'-0"

Springwater
Engineering Limited 24 Parkside Drive Barrie, ON L4N 1W6 Tel (705) 721-7228

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DRAWING WILL PLOT TO SCALE ON "D" (24"x36") PAPER SIZE

Gus DiMarsico & Doris Tucci Three Car Garage with Second Residence Above

1041 Fern Road Innisfil, Ontario

LOCATION:

Furniture Plan

DRAWING:

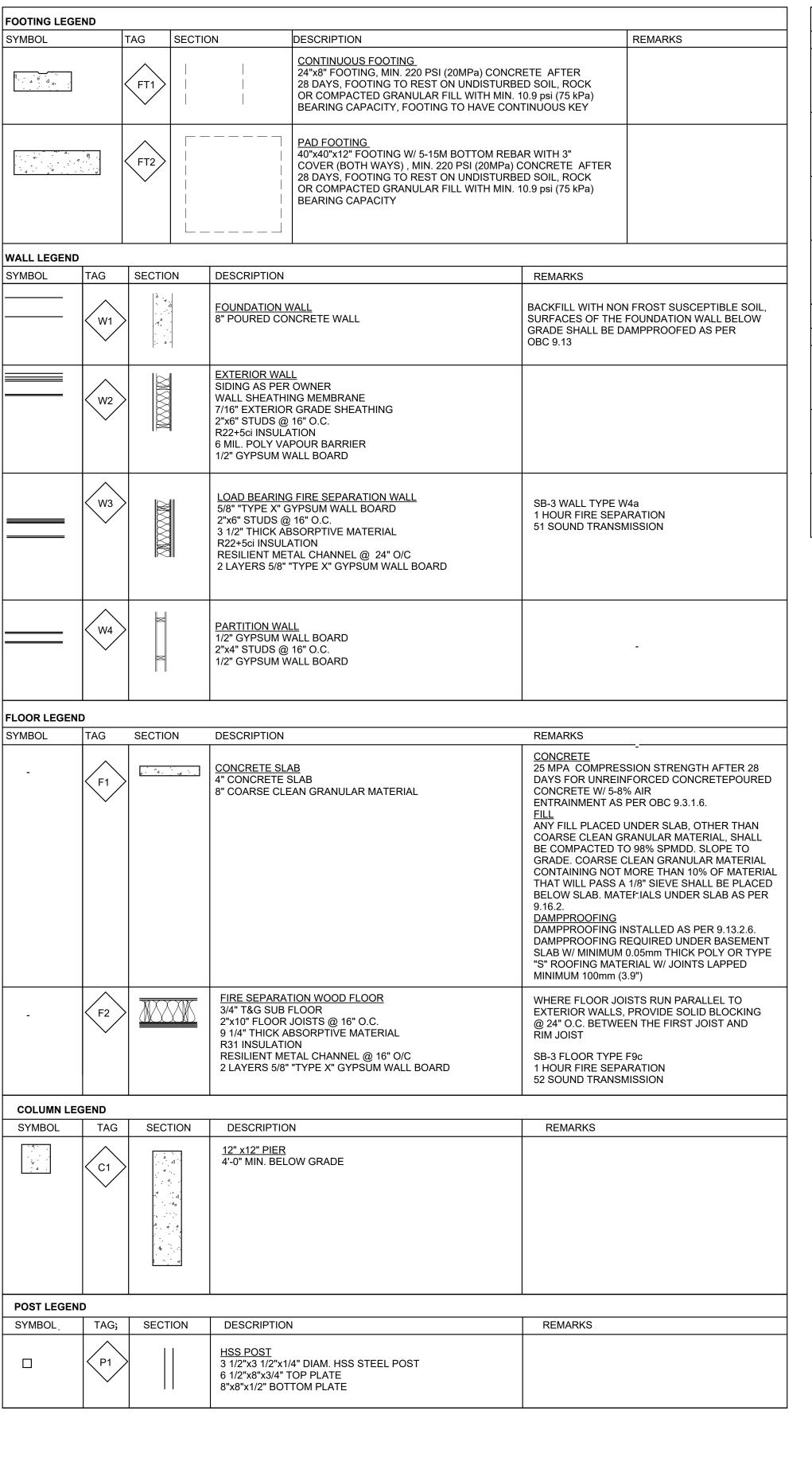
DWG No:

A108

Drawn by:

June 16, 2023

3/8" = 1'-0"



BEAM LEGE		T		
SYMBOL	TAG	SECTION	DESCRIPTION	REMARKS
	B1	I	FLOOR BEAM W8x21 STEEL BEAM	
	B2		LVL GARAGE DOOR LINTEL 2 PLY 1 3/4"x 11 7/8" LVL 2900Fb-2.0E BUILT UP W/ 2 ROWS OF 10dx3 1/2" NAILS @ 8" C/C, 3 JACK AND 2 KING STUDS EACH END	
	B3		RIDGE BEAM ?	
	B4		DORMER SUPPORT RAFTERS (3)2x10	
ROOF LEGE	ND			
SYMBOL	TAG	SECTION	DESCRIPTION	REMARKS
-	R1		MAIN ROOF 2x10 ROOF RAFTERS @ 16" O/C 6:12 SLOPE, 16" OVERHANG	
-	R2		SHED DORMER ROOF 2x10 ROOF RAFTERS @ 16" O/C 3:12 SLOPE, 16" OVERHANG	
-	R3		GABLE DORMER ROOF 2x10 ROOF RAFTERS @ 16" O/C 8 1/2:12 SLOPE 16" OVERHANG	

4" DIAM. PERFORATED PVC WEEPING TILE WRAPPED WITH FILTER CLOTH SET ON MIN. 6" GRAVEL BED, CONNECT TO STORM DRAINAGE SYSTEM, LOCATION & EXTENT CONDITIONS

WALL STUDS ADJACENT TO WATER CLOSETS AND SHOWER/BATH TUBS IN MAIN BATHROOM ARE TO BE REINFORCED TO PERMIT THE FUTURE INSTALLATION OF GRAB BARS. OBC 9.5.2.3. THE LOCATION OF THE BLOCKING TO BE INSTALLED FORTHE WATER CLOSET TO MEET OBC 3.8.3.8. (1) (d.) THE LOCATION OF THE BLOCKING TO BE INSTALLED FOR THE SHOWER/BATH TUBS TO MEET OBC 3.8.3.13 (1)(f)

CERAMIC TILES ON WALLS AROUND BATHTUBS AND SHOWERS SHALL BE APPLIED OVER WATERPROOF BACKER BOARD. JOINTS BETWEEN WALL TILES AND BATHTUBS SHALL BE CAULKED WITH MATERIAL CONFORMING TO CGSB 19-GP-22M "SEALING COMPOUND MILDEW RESISTANT FOR TUBS AND TILE"

WATERPROOF WALL FINISH LOCATIONS OF WATERPROOF WALL FINISHES AND MATERIALS FOR SAME SHALL CONFORM WITH 0BC SUB-SECTION 9.29.2

3-WAY SWITCHES LOCATED AT THE HEAD AND FOOT OF EVERY STAIRWAY SHALL BE PROVIDED TO CONTROL AT LEAST ONE LIGHTING OUTLET FOR STAIRWAYS WITH 4 OR MORE RISERS IN DWELLING UNITS OBC 9.34.2.3.(2)

AN EXTERIOR LIGHTING OUTLET WITH FIXTURE CONTROLLED BY A WALL SWITCH LOCATED WITHIN THE BUILDING SHALL BE PROVIDED AT EVERY ENTRANCE TO BUILDINGS OF RESIDENTIAL OCCUPANCY OBC 9.34.2.1.(1)

TO BE OPERABLE FROM INSIDE W/O KEY - PROVIDE A VIEWER WITH A VIEWING ANGLE OF NOT LESS THAN 160 DEGREES UNLESS GLAZING IS PROVIDED IN DOOR OR A SIDELIGHT IS PRESENT OBC 9.7.2.1. EXTERIOR DOORS TO BE INSTALLED TO RESIST FORCED ENTRY AS PER OBC 9.7.5.2.

OBC 9.10.18. REQUIRES AUDIBLE AND VISUAL SIGNAL WITHIN BEDROOMS

OBC 9.10.19.3. (b) ONE SMOKE ALARM ON EACH STOREY, INCLUDING BASEMENTS OBC 9.10.19.5. SMOKE ALARMS SHALL BE WIRED SO THAT THE ACITIVATION OF ONE ALARM WILL CAUSE ALL ALARMS TO SOUND

CARBON MONOXIDE DETECTOR (CMD) DBC 9.33.4 WHERE THERE IS A SOLID FUEL BURNING APPLIANCE A CMD SHALL BE PROVIDED, CMD TO BE WIRED SO WHEN ACTIVATED THE SMOKE

PROVIDE FORCED EXHAUST TO EXTERIOR FOR BATHROOMS 9.32.3.4. WASHROOMS TO BE MECHANICALLY VENTED TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR

LIVING ROOM & DINING ROOM REQUIRES 10% OF AREA OF NATURAL LIGHT. BEDROOM REQUIRES 5% OF NATURAL LIGHT

OBC 9.19.1.1. & OBC 9.19.1.4. TYPICAL ROOF 1/300 OF INSULATION CEILING AREA WITH MIN. 25% AT SOFFIT, CATHEDRAL ROOF 1/500 OF INSULATION CEILING AREA WITH MIN. 25% AT SOFFIT

INTERIOR / EXTERIOR STAIRS MAIN STAIRS (MIN. REQUIREMENTS) DIMENSIONS SHOWN ON SECTIONS TO RULE

MIN. RISE 125mm (4 7/8"), MAX. RISE 200mm (7 7/8") MIN. RUN 255mm (10"), MAX. RUN 355mm (14")

MIN. NOSING 25mm (1")

MIN. HEADROOM 1.95m (6'-5") RAIL HEIGHT AT LANDING 1070mm (42.12")

RAIL HEIGHT AT STAIRS MIN. 865mm (34"), MAX. 965mm (38")

MIN. STAIR WIDTH BETWEEN GUARDS 900mm (36")

INTERIOR / EXTERIOR HANDRAIL

FINISHED NATURAL WOOD HANDRAIL ON WOOD OR METAL PICKETS (UNLESS OTHERWISE SHOWN) MAX. 100mm (4") O.C. IF HANDRAIL IS USED AGAINST AN INTERIOR WALL THE HANDRAIL SHALL BE FIRMLY SECURED TO WALL STUD AS PER OBC 9.8.8. HANDRAIL MIN. HEIGHT 865mm (34") MAX. HEIGHT 965mm (38") HANDRAIL HEIGHT MEASURED VERTICALLY FROM OUTSIDE EDGE OF STAIR NOSING. PROVIDE GUARDS AT LANDINGS, GUARDS REQUIRED IN ANY OTHER INTERIOR AREAS SHALL BE MIN. 900mm (36")

EXTERIOR HANDRAIL / GUARDS ARE REQUIRED WHERE STEPS HAVE MORE THAN 3 RISERS AND SHALL BE MIN. 900mm (36") UNLESS WHERE HEIGHT ABOVE ADJACENT SURFACES EXCEEDS 5'-11", EXTERIOR GUARDS SHALL BE 1070mm (42.12") IN HEIGHT NO MEMBER FORMING PART OF GUARD BETWEEN 140mm (5 1/2") and 900mm (36") ABOVE FLOOR SURFACE SHALL FACILITATE CLIMBING

ALL GUARDS TO COMPLY WITH OBC SUB-SECTION 9.8.8. INCLUDING SENTENCES 9.8.8.3.(2) HEIGHT OF GUARDS, 9.8.8.5.(1) OPENING INGUARDS AND 9.8.8.6.(2) DESIGNED TO PREVENT CLIMBING **DAMPROOFING STAIRS**

WOOD FRAMING NOT TREATED WITH A PRESERVATIVE IN CONTACT WITH CONCRETE SHALL BE SEPARATED FROM THE CONCRETE WITH A MIN. OF 0.05mm POLYETHYLENE FILM, TYPE (5) 45# ROLL ROOFING OR OTHER DAMPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 150mm (6") ABOVE THE GROUND

APPED RANGE/COOKTOP VENT DIRECTLY TO EXTERIOR AS PER 9.10.22

CAPPED DRYER VENT AS PER 9.32, 6.2.3.8. CLOTHES DRYER TO BE CAPPED TO PREVENT BACK DRAFT. TO BE DISCHARGED DIRECTLY TO THE OUTSIDE THROUGH EXTERIOR WALL WITH DUCT INDEPENDENT OF OTHER EXHAUST DUCTS. INSTALLED SUCH THAT THE ENTIRE DUCT CAN BE CLEANED AND COMPRISED OF SMOOTH CORROSION RESISTANT MATERIAL

1. THIS DRAWING SET IS THE PROPERTY OF SPRINGWATER ENGINEERING LIMITED (SEL) AND MAY NOT BE REPRODUCED OR USED WITHOUT THE EXPRESSED WRITTEN CONSENT OF

2. ALL DRAWINGS TO BE READ IN CONJUNCTION WITH GENERAL NOTES AND SPECIFICATIONS.

3. DO NOT SCALE DRAWINGS. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS. CONTRACTOR TO VERIFY ALL LEVELS AND DIMENSIONS PROVIDED AND REQUIRED TO PERFORM THE WORK. ANY DISCREPANCIES ARE TO BE REPORTED TO SPRINGWATER ENGINEERING IMMEDIATELY TO OBTAIN CLARIFICATION PRIOR TO COMMENCING WORK. 4. DESIGN LOADS ARE NOTED. THEY SHALL NOT BE EXCEEDED DURING CONSTRUCTION. UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN

MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. THE CONTRACTOR IS TO PROVIDE ALL NECESSARY BRACING AND SHORING REQUIRED FOR STRESSES AND INSTABILITY OCCURRING FROM ANY CAUSE DURING CONSTRUCTION. 5. NO SUBSTITUTIONS. CONTRACTOR AGREES TO USE ALL SPECIFIED MATERIALS WITHOUT SUBSTITUTION. NON SPECIFIED MATERIALS MUST BE APPROVED SPRINGWATER

ENGINEERING PRIOR TO USE. NON SPECIFIED OR APPROVED MATERIALS WILL BE REMOVED AND REPLACED WITH SPECIFIED MATERIALS AT CONTRACTOR'S COST. 6. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES AND FOR CO-ORDINATING THE VARIOUS PARTS OF THE WORK. ADDITIONAL COSTS INCURRED AS A RESULT OF ANY OF THE ABOVE ARE THE RESPONSIBILITY OF THE CONTRACTOR

IN ACCORDANCE WITH THE REQUIREMENTS OF THE ONTARIO BUILDING CODE 2012 (OBC 2012) AND THE OCCUPATIONAL HEALTH AND SAFETY ACT. 8. PROVIDE ALL ACCESSORY ITEMS OR MATERIALS, SUCH AS BRACKETS, CLEATS, UNDERLAYS, OVERLAYS, CONNECTORS, FASTENERS, COVER PLATES, SEALANTS, LUBRICANTS, CLEANERS, BONDING AGENTS, AND SIMILAR ITEMS, WHETHER SPECIFIED OR NOT, SO THAT THE WORK IS COMPLETE AND WILL PERFORM AS REQUIRED.

9. SPRINGWATER ENGINEERING LIMITED'S SCOPE IS LIMITED TO STRUCTURAL DESIGN AND DETAILS OF THE PROPOSED NEW WALLS, SLAB ON GRADE, FLOOR SYSTEM, ROOF SYSTEM, LINTELS ONLY.

7. TYPICAL STRUCTURAL DETAILS ARE SHOWN ON DRAWINGS. IF DETAILS DIFFER ON OTHER DRAWINGS. THE MOST STRINGENT SHALL GOVERN, ALL WORK SHALL BE CARRIED OUT

LOCATION: INNISFIL, ONTARIO DEAD LOAD: 0.72 kPa (15 psf)

LIVE LOAD: 2.4 kPa (50 psf) Ss = 2.5 kPa / Sr = 0.4 kPa

S = (0.55*2.5)+0.4 = 1.775 kPa

S = 1.775 kPa S = 37.07 psf

CAST-IN-PLACE CONCRETE AND REINFORCEMENT

1. ALL CONCRETE CONSTRUCTION SHALL CONFORM TO CSA A23.1, CSA A23.2 AND CSA A23.3 2. CONCRETE QUALITY IS TO BE TESTED BY THE OWNERS' AGENCY ACCORDING TO CSA A23.2 INCLUDING STRENGTH, AIR CONTENT AND SLUMP TESTS FOR EACH CONCRETE POUR WITH REPORTS SUBMITTED TO THE ENGINEER.

3. THE CONTRACTOR SHALL NOT PROCEED WITH PLACING CONCRETE THAT FAILS TO MEET THE SPECIFIED SLUMP OR AIR CONTENT REQUIREMENTS OR EXCEEDS 2 HOURS AFTER

1. PORTLAND CEMENT, WATER AND AGGREGATES SHALL CONFORM TO CSA A23.1 AND SHALL HAVE THE FOLLOWING PROPERTIES:

2. NOMINAL MAXIMUM COARSE AGGREGATE SIZE - 1/2". 3. REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO CSA G30.18 - GRADE 400 MPA UNLESS NOTED OTHERWISE

4. WELDED WIRE FABRIC TO CONFORM TO CSA G30.5.

5. REINFORCING STEEL SHALL BE DETAILED, BENT, PLACED AND SUPPORTED IN CONFORMANCE WITH CSA A23.3, ACI STANDARD 315 AND THE REINFORCING STEEL - MANUAL OF STANDARD PRACTICE PUBLISHED BY THE REINFORCING STEEL INSTITUTE OF CANADA.

6. CONCRETE MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE AS FOLLOWS: A. EXTERIOR SLABS ON GRADE, FLATWORK 32 MPA WITH 5-8% AIR ENTRAINMENT

EXECUTION: 1. UNLESS NOTED OTHERWISE CONCRETE COVER FOR REINFORCEMENT SHALL MEET THE FOLLOWING REQUIREMENTS: A. WHEN CAST AGAINST EARTH 75MM (3")

2. PROVIDE CORNER BARS AND HOOKED DOWELS (26"x26") AT CORNERS.

3. ADD FLOOR HARDENERS, WATERPROOFING AGENTS IF REQUIRED PER OWNER'S PREFERENCE.

FOUNDATIONS / BACKFILLING AND COMPACTION

1. ALL FOOTINGS TO BEAR ON COMPACTED GRANULAR ON UNDISTURBED SOIL WITH MINIMUM ALLOWABLE SOIL BEARING CAPACITY OF 150KPA.

EXECUTION: 1. REMOVE TOPSOIL AND OTHER ORGANIC MATERIAL FROM THE BUILDING AREA. 2. PROTECT EXCAVATED SURFACE FROM WATER OR FROST DAMAGE, WHERE APPLICABLE.

> KEEP EXCAVATIONS CONTINUOUSLY DRY BEFORE CONCRETE IS PLACED. 4. UNLESS OTHERWISE NOTED, PROVIDE IMMEDIATELY UNDER SLABS-ON-GRADE A MINIMUM OF 150MM (6 ") OF COMPACTED GRANULAR A MATERIAL

5. PROVIDE POSITIVE DRAINAGE FOR ALL EXTERIOR SURFACES, AND INTERIOR SURFACES PROVIDED WITH DRAINS, WITH CONSTANT SLOPES TO DRAINS OR DRAINAGE COURSES, AND AWAY FROM CONSTRUCTION.

6. PROVIDE PERIMETER DRAINING TILE WHERE SURROUNDING SOIL IS NOT FREE DRAINING.

7. DENSELY COMPACTED GRANULAR BASE OVER BEDROCK

1. WOOD CONSTRUCTION SHALL CONFORM TO ONTARIO BUILDING CODE 2012, PART 9 UNLESS NOTED OTHERWISE.

2. LUMBER: - UNLESS OTHERWISE NOTED TO BE SPRUCE-PINE-FIR (SPF), GRADE NO.1/NO.2, CONFORMING TO CSA STANDARD 0141 WITH A MAXIMUM MOISTURE CONTENT OF 19 % AT THE TIME OF INSTALLATION. ALL LUMBER SHALL BEAR THE GRADING STAMP OF AN AGENCY APPROVED BY THE CANADIAN LUMBER STANDARDS ADMINISTRATION BOARD.

3. UNLESS NOTED OTHERWISE, ALL TIMBER MEMBERS TO BE DOUGLAS FIR #1 GRADE. 4. COMPLY WITH THE REQUIREMENTS OF ONTARIO BUILDING CODE FOR SUB-FLOORING IN TABLE 9.23.14.A, ROOF SHEATHING IN TABLE 9.23.15.A, AND WALL SHEATHING IN TABLE

5. NAILS, SPIKES, AND STAPLES: - TO CSA STANDARD B111; GALVANIZED FOR EXTERIOR WORK, OR HIGHLY HUMID AREAS AND FOR TREATED LUMBER; PLAIN ELSEWHERE. NAILING OF

FRAMING UNLESS OTHERWISE NOTED, SHALL CONFORM TO TABLES 9.23.3 A, B, AND 9.23.13 A IN THE ONTARIO BUILDING CODE. 6. ROUGH HARDWARE: - BOLTS, NUTS, WASHERS, LAGS, PINS, SCREWS, ALL TO BE HOT DIP GALVANIZED IF EXPOSED TO EXTERIOR USE 7. WOOD PRESERVATIVES (PRESSURE TREATED): - WHERE REQUIRED TO CONFORM TO CSA STANDARD 080-M. ALL WOOD PRODUCTS BEARING ON CONCRETE OR MASONRY AT OR

BELOW GRADE TO BE PRESSURE TREATED OR BE PROTECTED WITH A MINIMUM 0.05 POLYETHYLENE VAPOUR BARRIER, ROLL ROOFING, OR APPROVED EQUIVALENT. 8. ALL WOOD PRODUCT EXPOSED DIRECTLY TO SOIL SHALL BE PRESSURE TREATED.

9. FRAMING ANCHORS: - FRAMING ANCHORS, JOIST HANGERS, BEAM HANGERS, POST CAPS, POST ANCHORS, BACK-UP CLIPS AND ANGLES, UNLESS OTHERWISE SHOWN ON THE STRUCTURAL DRAWINGS, ARE ALL TO BE AS MANUFACTURED BY SIMPSON OR AN APPROVED EQUAL, AND SIZED APPROPRIATELY FOR THE CONNECTING MEMBERS. ALL ARE TO BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS UTILIZING NAILS OR SCREWS WHERE REQUIRED

10. SPLICES, NOTCHING, AND DRILLING THROUGH MEMBERS IS NOT PERMITTED EXCEPT AS SPECIFIED BY THESE PLANS AND/OR AS APPROVED BY THE ENGINEER 11. MANUFACTURED LUMBER OR TIMBER PRODUCTS NOT SPECIFIED HEREIN ARE TO BE APPROVED BY THE ENGINEER PRIOR TO USE. MANUFACTURED WOOD PRODUCT TO BE INSTALLED AS PER THE MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS.

12.NUMBER, SIZE, AND LOCATION OF BRACING, BLOCKING, AND BRIDGING BETWEEN LUMBER OR TIMBER STRUCTURAL ELEMENTS TO CONFORM TO THE REQUIREMENTS IN THE ONTARIO BUILDING CODE PART 9.

13. MINIMUM BEARING OF WOOD JOISTS TO BE MINIMUM 1.5" (38mm) 14. MINIMUM BEARING OF WOOD BEAMS TO BE MINIMUM 3" (76mm).

15. MINIMUM BEARING OF WOOD ELEMENTS NOT SPECIFIED TO BE MINIMUM 3" (76mm).

16. ALL MULTIPLE WOOD MEMBERS SHALL BE BUILT-UP IN ACCORDANCE WITH OBC 2012, PART 9 OR PER MANUFACTURER'S SPECIFICATIONS AND GUIDELINES 17. PROVIDE ALL WOOD AND BRICK LINTELS PER OBC 2012. PART 9.

STEEL NOTES

1. ALL STRUCTURAL STEEL SHALL BE NEW STOCK. 2. ALL STRUCTURAL STEEL SHALL BE FABRICATED AND ERECTED TO THE REQUIREMENTS OF CAN/CSA-S16.1

3. ALL STRUCTURAL STEEL (UNLESS NOTED OTHERWISE) SHALL CONFORM TO THE REQUIREMENTS OF CAN/CSA-G40.2-/G40.21, GRADE 350W. ALL STEEL

PLATES, CHANNELS AND ANGLES SHALL CONFORM TO THE REQUIREMENTS OF CAN/CSA-G40.20/G40.21, GRADE 300W. 4. ALL BEARING PLATES ARE TO BE CENTERED UNDER BEAMS, UNLESS OTHERWISE DETAILED ON THE STRUCTURAL DRAWINGS.

5. ALL STRUCTURAL STEEL SHALL BE CLEANED, REPAIRED AND RECEIVE ONE SHOP COAT AND FIELD TOUCH UP OF APPROVED PRIMER PAINT, IN ACCORDANCE WITH THE REQUIREMENTS OF CAN/CSA-S16.1.

6. ALL WELDING SHALL BE CARRIED OUT IN ACCORDANCE WITH CAN/CSA W59 BY A FABRICATOR FULLY APPROVED UNDER CAN/CSA W47.1 DIVISION No.1 OR

7. UNLESS NOTED OTHERWISE, ALL WELDS TO BE 1/4" ALL AROUND FILLET WELDS. 8. ALL BOLTS, NUTS AND WASHERS FOR STRUCTURAL STEEL CONNECTIONS SHALL CONFORM TO ASTM A325M.

9. ALL ANCHOR BOLTS, NUTS AND WASHERS SHALL CONFORM TO ASTM A36 OR ASTM A307.

10. ALL BASE PLATED SHALL BE GROUTED SOLID WITH 38mm NON-SHRINK GROUT. 11. NO HOLES SHALL BE CUT IN STRUCTURAL STEEL WITHOUT THE PRIOR APPROVAL OF THE ENGINEER.

12. INSPECTION AND TESTING OF STRUCTURAL STEEL FRAMEWORK (SUCH AS, BUT NOT LIMITED TO, BOLT TORQUE, WELD QUALITY, ALIGNMENT) SHALL BE IN

ACCORDANCE WITH CAN/CSA-S16.1 AND CSA W59 BY A QUALIFIED INSPECTION COMPANY 13. SPLICES IN STEEL MEMBERS OTHER THAN THOSE SHOWN ON THE DRAWINGS SHALL NOT BE PERMITTED.

14. ALL WELDED JOINTS IN ARCHITECTURALLY EXPOSED STRUCTURAL STEEL SHALL BE GROUND SMOOTH AND SHALL HAVE ALL WELD SPLATTER REMOVED.

15. TOUCH UP SHOP PRIMER TO BOLTS, WELDS AND FURNED AND SCRATCHED SURFACES AT COMPLETION OF ERECTION. 16. WE RECOMMEND THAT ALL EXTERIOR STRUCTURAL STEEL TO BE GALVANIZED, PRIMED AND PAINTED WITH TWO COATS OF RUST-INHIBITIVE PAINT FOR

BETTER DURABILITY. FINAL DECISION OF THE STRUCTURAL FINISH SHALL BE MADE BY THE OWNER.

4	Springwater Engineering Limited
	24 Parkside Drive Barrie, ON L4N 1W6 Tel (705) 721-7228

REVISION: No: DATE: Apr 25 2023 Proposed Plans for Review May 3 2023 Plans for Minor Variance Jun 16 2023 Height of Existing Residence

SEAL:

ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR IN THE COURSE OF WORK. REPORT ANY DISCREPANCIES OR OMISSIONS PRIOR TO COMMENCEMENT OF WORK

(24"x36") PAPER SIZE

DRAWING WILL PLOT TO SCALE ON "D'

Gus DiMarsico & Doris Tucci PROJECT: Three Car Garage with

Second Residence Above

1041 Fern Road Innisfil, Ontario

LOCATION:

Legends, Notes Legend and Notes

DRAWING:

DWG No:

Drawn by: June 16, 2023 Date: Scale As indicated 2084 Job#: