



**COMMITTEE OF ADJUSTMENT NOTICE OF PUBLIC HEARING  
APPLICATION NO. A-031-2023**

**TAKE NOTICE** that an application has been received by the Town of Innisfil from **David Iacono, Owner**, for a minor variance from Zoning By-law 080-13, pursuant to Section 45 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended.

The subject property is described legally as **PLAN 767 LOT 91**, is known municipally as **1076 Spruce Road**, and is zoned as “**Environmental Protection (EP)**” and “**Residential 1 (R1)**”.

**The applicant is proposing to construct a new dwelling with two attached garages having a combined width of over 9 m. The applicant is seeking relief from Section 3.18.3(d) of the Zoning By-law which permits a maximum garage width of up to 50% of the width of the main wall of the principal building, up to a maximum of 9 m.**

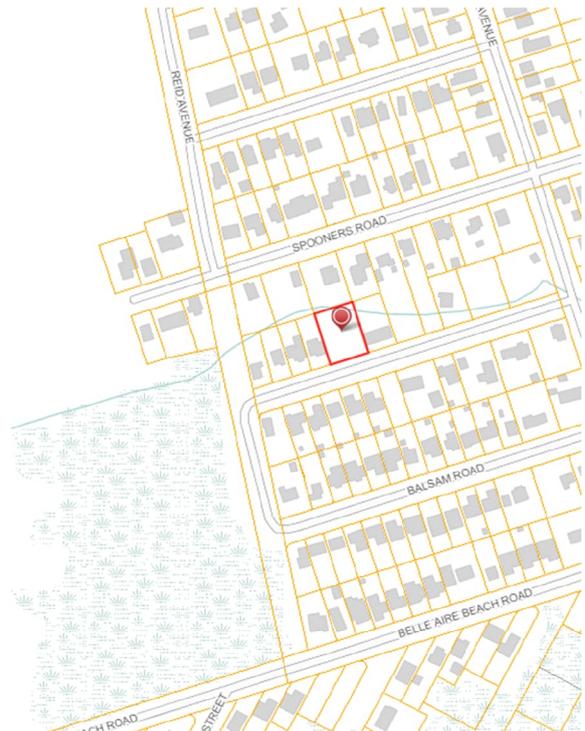
The Committee of Adjustment for the Town of Innisfil will consider this application in person at Town Hall and virtually through Zoom on **Thursday, June 15, 2023, at 6:30 PM.**

To participate in the hearing and/or provide comments, you must register by following the link below or scanning the above QR code: <https://innisfil.ca/en/building-and-development/committee-of-adjustment-hearings.aspx>

Requests can also be submitted in writing to: Town of Innisfil Committee of Adjustment, 2101 Innisfil Beach Road, Innisfil, Ontario, L9S 1A1 or by email to [planning@innisfil.ca](mailto:planning@innisfil.ca).

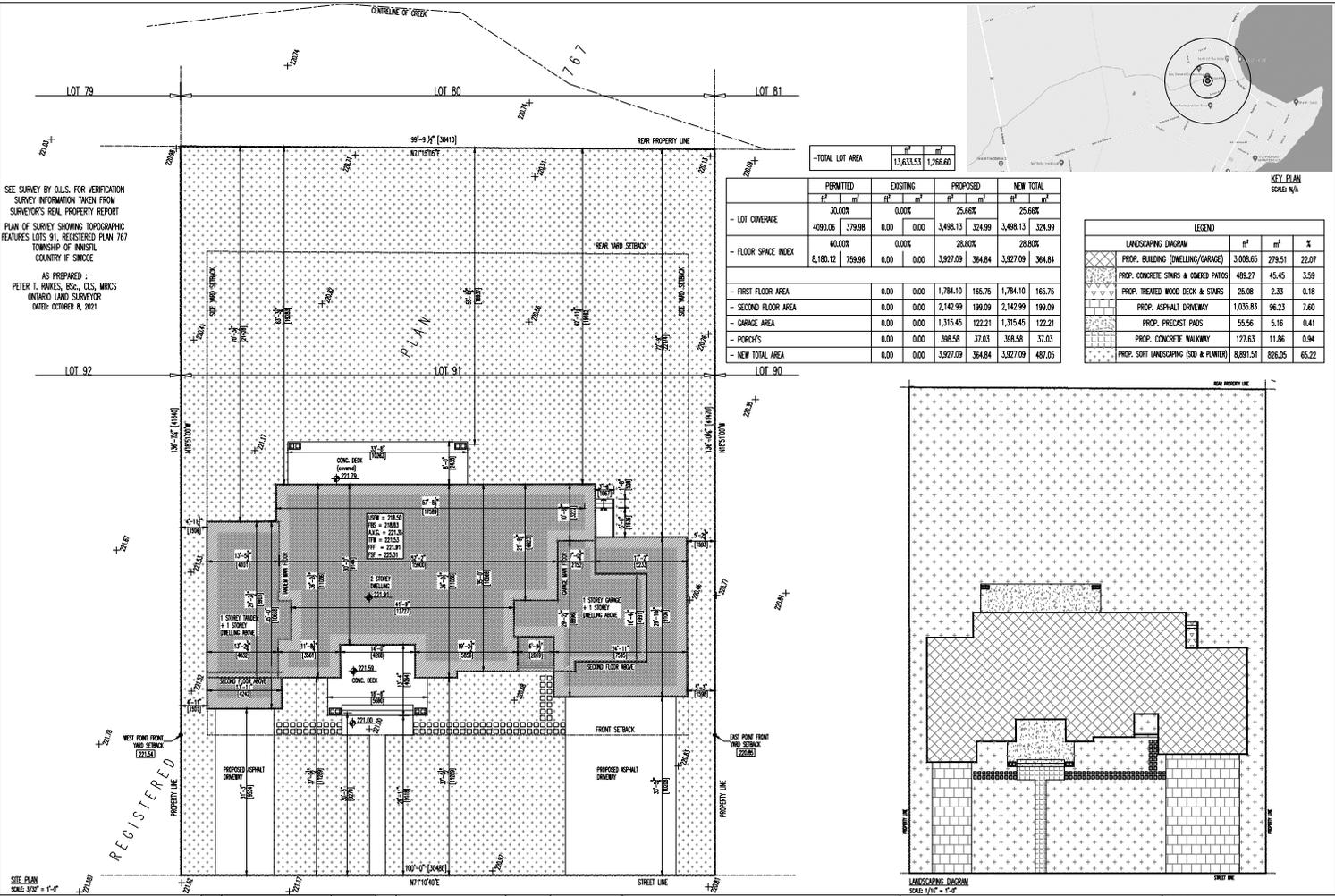
If you wish to receive a copy of the decision of the Committee of Adjustment in respect of the proposed minor variance, you must make a written request to the Secretary-Treasurer of the Committee of Adjustment by way of email or regular mail. The Notice of Decision will also explain the process for appealing a decision to the Local Planning Appeal Tribunal.

Additional information relating to the proposed application is available on the Town of Innisfil website. Accessible formats are available on request, to support participation in all aspects of the feedback process. To request an alternate format please contact Planning Services at [planning@innisfil.ca](mailto:planning@innisfil.ca).



Dated: **May 30, 2023**

Toomaj Haghshenas,  
Secretary-Treasurer  
[thagshenas@innisfil.ca](mailto:thagshenas@innisfil.ca)  
705-436-3710 ext. 3316

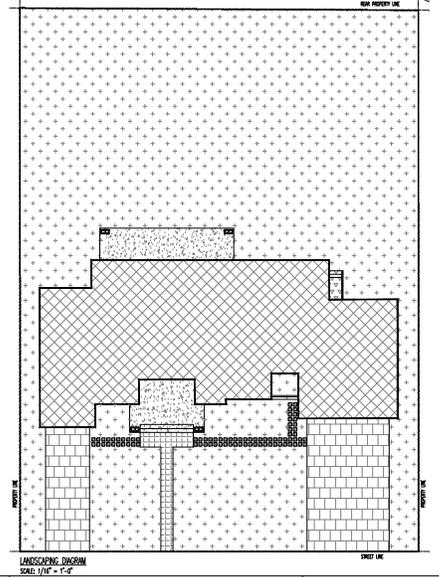


SEE SURVEY BY O.L.S. FOR VERIFICATION SURVEY INFORMATION TAKEN FROM SURVEYOR'S REAL PROPERTY REPORT  
 PLAN OF SURVEY SHOWING TOPOGRAPHIC FEATURES LOTS 91, REGISTERED PLAN 767 TOWNSHIP OF INNISFIL, COUNTY OF SIMCOE  
 AS PREPARED BY:  
 PETER T. RAINES, B.Sc., O.S., M.R.C.S.  
 ONTARIO LAND SURVEYOR  
 DATED: OCTOBER 8, 2021



	PERMITTED		EXISTING		PROPOSED		NEW TOTAL	
	ft <sup>2</sup>	m <sup>2</sup>						
- TOTAL LOT AREA								
					13,633.53	1,286.60		
- LOT COVERAGE	30.00%		0.00%		25.66%		25.66%	
	4990.06	379.98	0.00	0.00	3,498.13	324.99	3,498.13	324.99
- FLOOR SPACE INDEX	60.00%		0.00%		28.80%		28.80%	
	8,180.12	759.96	0.00	0.00	3,927.09	364.84	3,927.09	364.84
- FIRST FLOOR AREA	0.00	0.00	1,784.10	165.75	1,784.10	165.75	1,784.10	165.75
- SECOND FLOOR AREA	0.00	0.00	2,142.99	199.09	2,142.99	199.09	2,142.99	199.09
- GARAGE AREA	0.00	0.00	1,315.45	122.21	1,315.45	122.21	1,315.45	122.21
- PORCH'S	0.00	0.00	398.58	37.03	398.58	37.03	398.58	37.03
- NEW TOTAL AREA	0.00	0.00	3,927.09	364.84	3,927.09	364.84	3,927.09	364.84

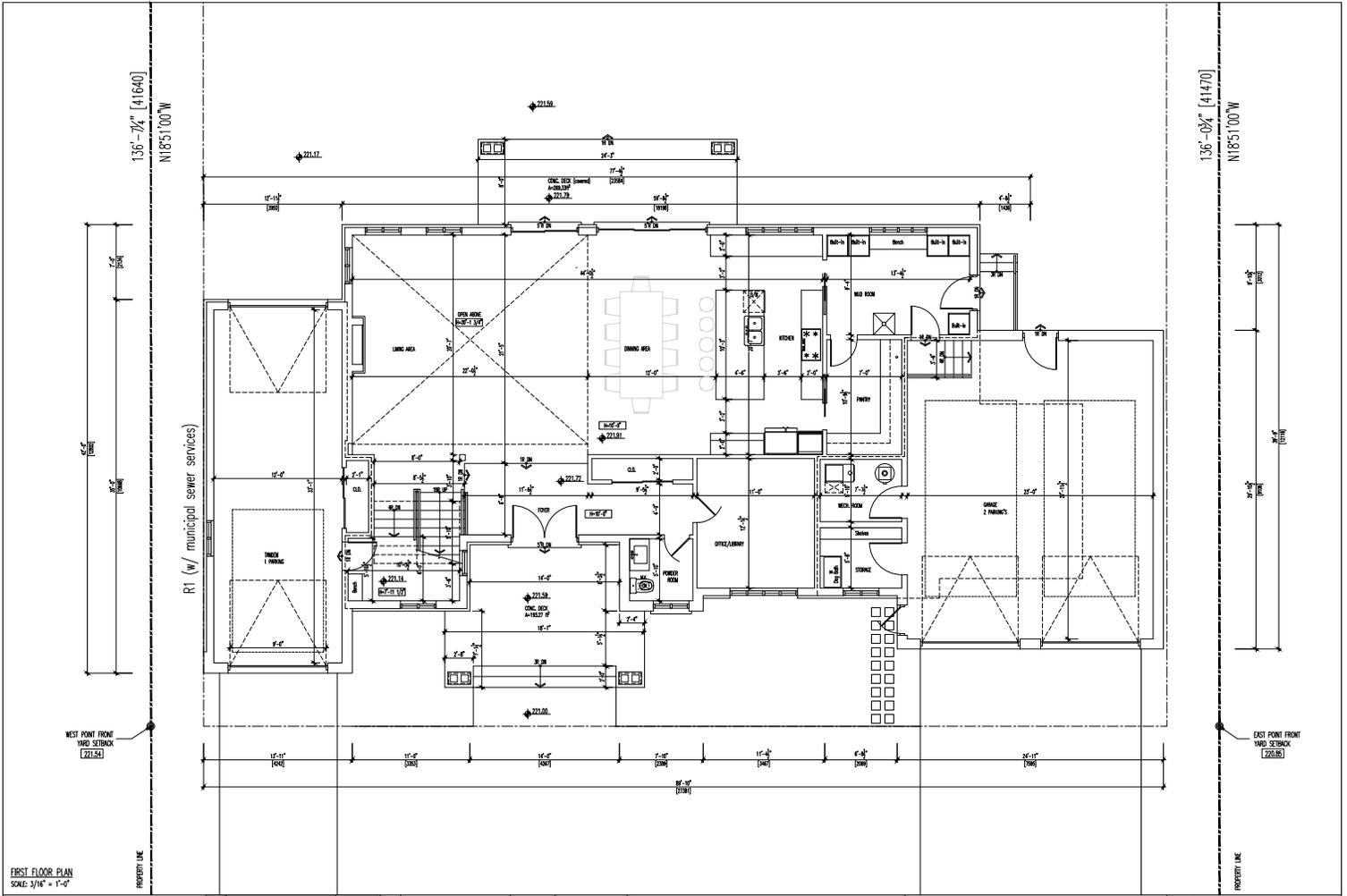
LEGEND			
LANDSCAPING DIAGRAM	ft <sup>2</sup>	m <sup>2</sup>	%
PROP. BUILDING (DWELLING/GARAGE)	3,008.65	278.51	22.07
PROP. CONCRETE STAIRS & CONCRETE PATIOS	489.27	45.45	3.59
PROP. TREATED WOOD DECK & STAIRS	25.08	2.33	0.18
PROP. ASPHALT DRIVEWAY	1,035.83	96.23	7.60
PROP. PRECAST PADS	55.56	5.16	0.41
PROP. CONCRETE WALKWAY	127.63	11.86	0.94
PROP. SOFT LANDSCAPING (SOB & PLANTER)	8,891.51	826.05	65.22



NO.	DESCRIPTION OF ISSUE	DATE	NO.	DESCRIPTION OF ISSUE	DATE
1			5		
2			6		
3			7		
4			8		

MUL ENGINEERING & ASSOCIATES, INC.  
 1650 ST. CHARLES AVE. W. TORONTO, ONT. M9W 1P7  
 TEL: 416-291-0000 FAX: 416-291-0001  
 WWW.MULENG.COM

PROJECT:	1076 Spruce Road - Lot 91 Town of Innisfil	SCALE:	As Shown
TITLE:	Site Plan, Statistics, Key Plan, Landscaping Diagram	DATE:	October 2022
JOB NO.:	231-1921	DRAWING NO.:	A01.01



FIRST FLOOR PLAN  
SCALE: 3/16" = 1'-0"

 MJI ENGINEERING & ASSOCIATES, INC.  
1850 ST. CHARLES W. TORONTO, ONT. M9B 1P7  
416.491.1111  
www.mji.com

NO.	DESCRIPTION OF ISSUE	DATE	NO.	DESCRIPTION OF ISSUE	DATE
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2			6		
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PROJECT  
1076 Spruce Road - Lot 91  
Town of Innisfil

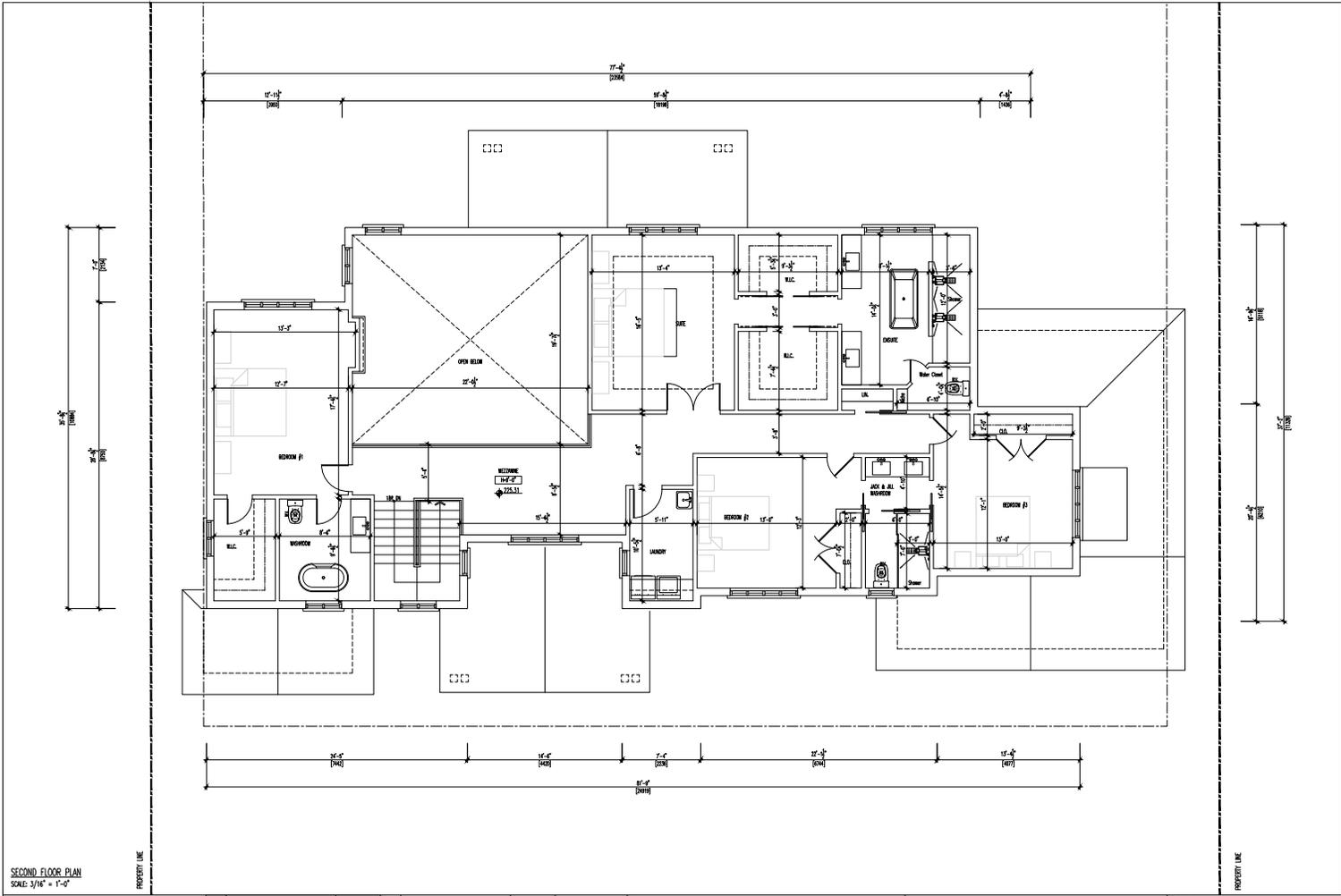
TITLE  
First Floor Plan

SCALE  
3/16" : 1'-0"

DATE  
October 2022

JOB No.  
231-1921

DRAWING No.  
A02.01



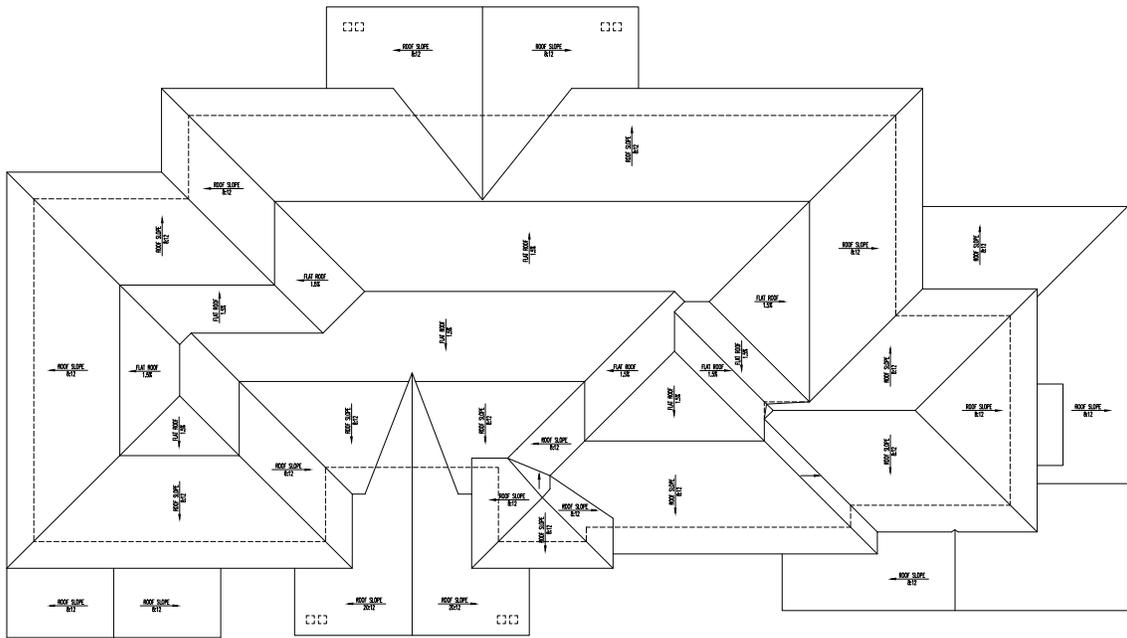
SECOND FLOOR PLAN  
SCALE: 3/16" = 1'-0"

**MIL ENGINEERING & ASSOCIATES, INC.**  
 1850 ST. CHARLES W. TORONTO, ON M9B 1S7  
 TEL: (416) 291-1100 FAX: (416) 291-1101  
 WWW.MIL-ENG.COM

NO.	DESCRIPTION OF ISSUE	DATE	NO.	DESCRIPTION OF ISSUE	DATE
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3			7		
4			8		



PROJECT	1076 Spruce Road - Lot 91 Town of Innisfil	SCALE	3/16" : 1'-0"
TITLE	Second Floor Plan	DATE	October 2022
		JOB No.	231-1921
		DRAWING No.	A02.02



ROOF PLAN  
SCALE: 3/16" = 1'-0"

PROPERTY LINE

PROPERTY LINE



MVL ENGINEERING & ASSOCIATES, INC.  
1850 ST. CHARLES AVE. W. TORONTO, ONT. M9W 1S7  
416.491.9999  
Phone: 416.201.1208  
www.mvl.ca

NO.	DESCRIPTION OF ISSUE	DATE	NO.	DESCRIPTION OF ISSUE	DATE
1			5		
2			6		
3			7		
4			8		



PROJECT  
1076 Spruce Road - Lot 91  
Town of Innisfil

TITLE  
Roof Plan

SCALE  
3/16" : 1'-0"

DATE  
October 2022

JOB No.  
231-1921

DRAWING No.  
A02.03



SOUTH (FRONT) ELEVATION  
SCALE: 3/16" = 1'-0"



MXL ENGINEERING & ASSOCIATES, INC.  
1654 ST. CHARLES AVE., TORONTO, ON M5H 1S7  
www.mxleng.com  
Phone: 416-291-1208  
www.mxleng.com



NO.	DESCRIPTION OF ISSUE	DATE	NO.	DESCRIPTION OF ISSUE	DATE
1			5		
2			6		
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4			8		

PROJECT	1076 Spruce Road - Lot 91 Town of Innisfil
TITLE	SOUTH (FRONT) ELEVATION

SCALE	3/16" : 1'-0"
DATE	October 2022
JOB No.	231-1921
DRAWING No.	A03.01



EAST ELEVATION  
SCALE: 3/16" = 1'-0"



MVL ENGINEERING & ASSOCIATES, INC.  
1654 ST. CHARLES AVENUE W. TORONTO ON M9B 1S7  
416.491.9200  
Phone: 416.201.1208  
www.mvl.ca

NO.	DESCRIPTION OF ISSUE	DATE	NO.	DESCRIPTION OF ISSUE	DATE
1			5		
2			6		
3			7		
4			8		



PROJECT  
1076 Spruce Road - Lot 91  
Town of Innisfil

SCALE  
3/16" : 1'-0"

DATE  
October 2022

TITLE  
EAST ELEVATION

JOB No.  
231-1921

DRAWING No.  
A03.02



NORTH (REAR) ELEVATION  
SCALE: 3/16" = 1'-0"



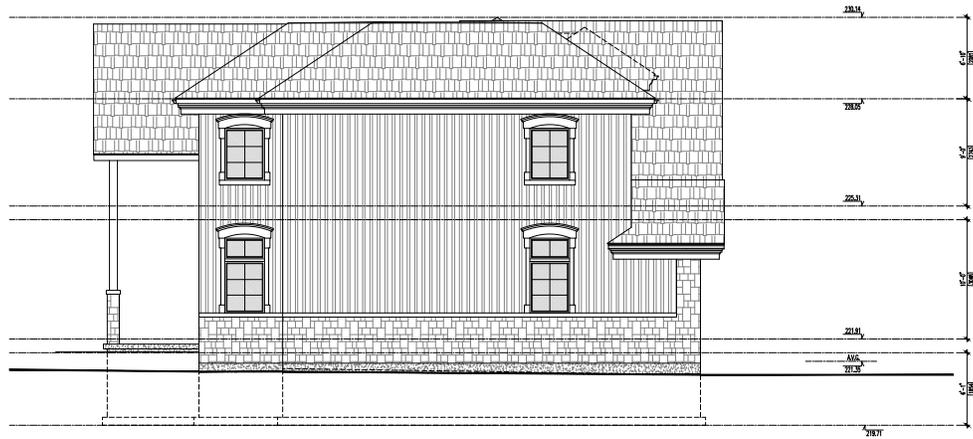
MVL ENGINEERING & ASSOCIATES, INC.  
1654 ST. CHARLES W. TORONTO ON M9B 1S7  
416.491.9999  
Phone: 416.201.1208  
www.mvl.ca



NO.	DESCRIPTION OF ISSUE	DATE	NO.	DESCRIPTION OF ISSUE	DATE
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3			7		
4			8		

PROJECT	1076 Spruce Road - Lot 91 Town of Innisfil
TITLE	NORTH (REAR) ELEVATION

SCALE	3/16" : 1'-0"
DATE	October 2022
JOB No.	231-1921
DRAWING No.	A03.03



WEST ELEVATION  
SCALE 3/16" = 1'-0"



MVL ENGINEERING & ASSOCIATES, INC.  
1654 ST. CHARLES W. TORONTO ON M9B 1S7  
905.476.1211  
www.mvleng.com

NO.	DESCRIPTION OF ISSUE	DATE	NO.	DESCRIPTION OF ISSUE	DATE
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4			8		



PROJECT	1076 Spruce Road - Lot 91 Town of Innisfil	SCALE	3/16" : 1'-0"
DATE	October 2022	JOB No.	231-1921
TITLE	WEST ELEVATION	DRAWING No.	A03.04

