



**COMMITTEE OF ADJUSTMENT NOTICE OF PUBLIC HEARING  
APPLICATION NO. A-031-2023**

**TAKE NOTICE** that an application has been received by the Town of Innisfil from **David Iacono, Owner**, for a minor variance from Zoning By-law 080-13, pursuant to Section 45 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended.

The subject property is described legally as **PLAN 767 LOT 91**, is known municipally as **1076 Spruce Road**, and is zoned as “**Environmental Protection (EP)**” and “**Residential 1 (R1)**”.

**The applicant is proposing to construct a new dwelling with two attached garages having a combined width of over 9 m. The applicant is seeking relief from Section 3.18.3(d) of the Zoning By-law which permits a maximum garage width of up to 50% of the width of the main wall of the principal building, up to a maximum of 9 m.**

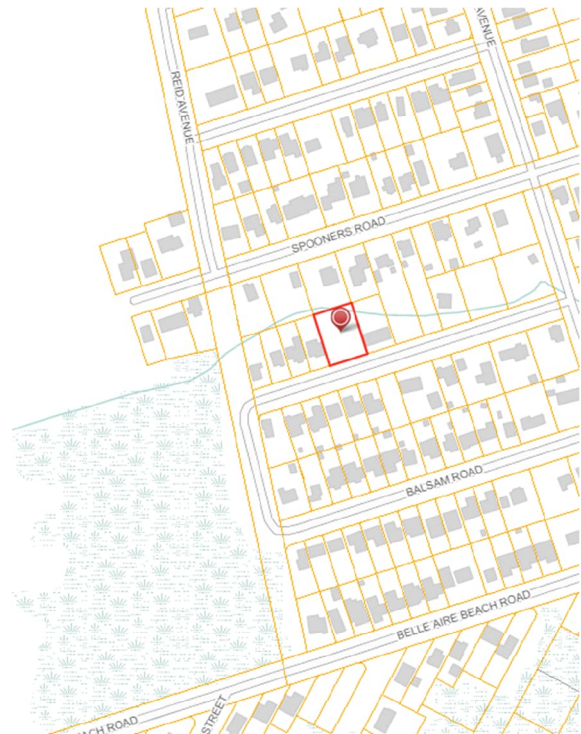
The Committee of Adjustment for the Town of Innisfil will consider this application in person at Town Hall and virtually through Zoom on **Thursday, June 15, 2023, at 6:30 PM.**

To participate in the hearing and/or provide comments, you must register by following the link below or scanning the above QR code:  
<https://innisfil.ca/en/building-and-development/committee-of-adjustment-hearings.aspx>

Requests can also be submitted in writing to: Town of Innisfil Committee of Adjustment, 2101 Innisfil Beach Road, Innisfil, Ontario, L9S 1A1 or by email to [planning@innisfil.ca](mailto:planning@innisfil.ca).

If you wish to receive a copy of the decision of the Committee of Adjustment in respect of the proposed minor variance, you must make a written request to the Secretary-Treasurer of the Committee of Adjustment by way of email or regular mail. The Notice of Decision will also explain the process for appealing a decision to the Local Planning Appeal Tribunal.

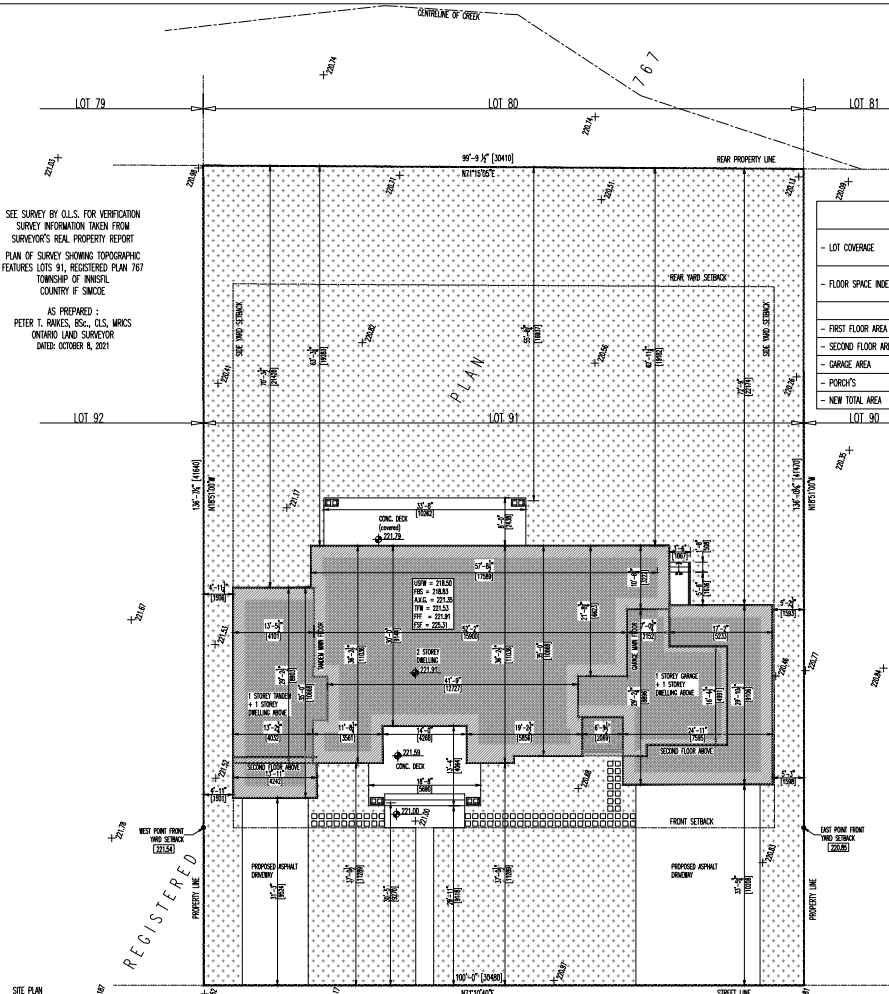
Additional information relating to the proposed application is available on the Town of Innisfil website. Accessible formats are available on request, to support participation in all aspects of the feedback process. To request an alternate format please contact Planning Services at [planning@innisfil.ca](mailto:planning@innisfil.ca).



Dated: **May 30, 2023**

Toomaj Haghshenas,  
Secretary-Treasurer  
[thaghsheenas@innisfil.ca](mailto:thaghsheenas@innisfil.ca)  
705-436-3710 ext. 3316

SEE SURVEY BY O.L.S. FOR VERIFICATION  
SURVEY INFORMATION TAKEN FROM  
SURVEYOR'S REAL PROPERTY REPORT  
PLAN OF SURVEY SHOWING TOPOGRAPHIC  
FEATURES LOTS 91, REGISTERED PLAN 767  
TOWNSHIP OF INNISFIL  
COUNTY OF SIMCOE  
AS PREPARED :  
PETER T. RANKES, B.Sc., O.S., M.R.C.S.  
ONTARIO LAND SURVEYOR  
DATED: OCTOBER 4, 2021



SITE PLAN  
SCALE: 1/4" = 1'-0"



MVL ENGINEERING & ASSOCIATES, INC.  
1840 ST. CHARLES AVE. TORONTO, ON M6H 1S7  
mvl-engineering@vml-engineering.ca  
Phone: 416-261-1206  
www.mvl.ca

NO.	DESCRIPTION OF ISSUE	DATE	NO.	DESCRIPTION OF ISSUE	DATE
1		5			
2		6			
3		7			
4		8			



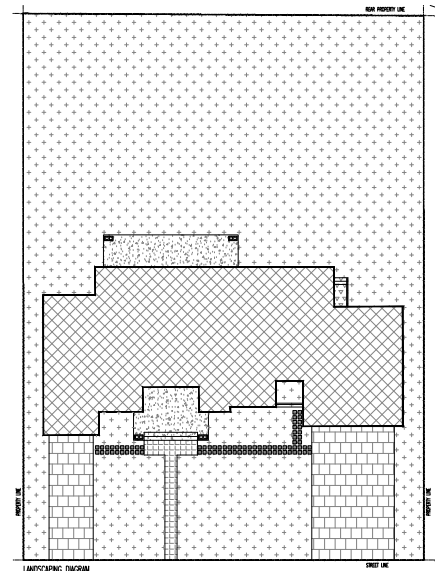
-TOTAL LOT AREA	ft <sup>2</sup>	m <sup>2</sup>
	13,633.53	1,286.60

	PERMITTED		EXISTING		PROPOSED		NEW TOTAL	
	ft <sup>2</sup>	m <sup>2</sup>	ft <sup>2</sup>	m <sup>2</sup>	ft <sup>2</sup>	m <sup>2</sup>	ft <sup>2</sup>	m <sup>2</sup>
- LOT COVERAGE	30.00%		0.00%		25.68%		25.68%	
	4090.06	379.98	0.00	0.00	3,488.13	324.99	3,488.13	324.99
- FLOOR SPACE INDEX	60.00%		0.00%		28.80%		28.80%	
	8,180.12	759.96	0.00	0.00	3,927.09	364.84	3,927.09	364.84
- FIRST FLOOR AREA	0.00	0.00	1,784.10	165.75	1,784.10	165.75		
- SECOND FLOOR AREA	0.00	0.00	2,142.99	199.09	2,142.99	199.09		
- GARAGE AREA	0.00	0.00	1,315.45	122.21	1,315.45	122.21		
- PORCHES	0.00	0.00	398.58	37.03	398.58	37.03		
- NEW TOTAL AREA	0.00	0.00	3,927.09	364.84	3,927.09	487.07		



KEY PLAN  
SCALE: N/A

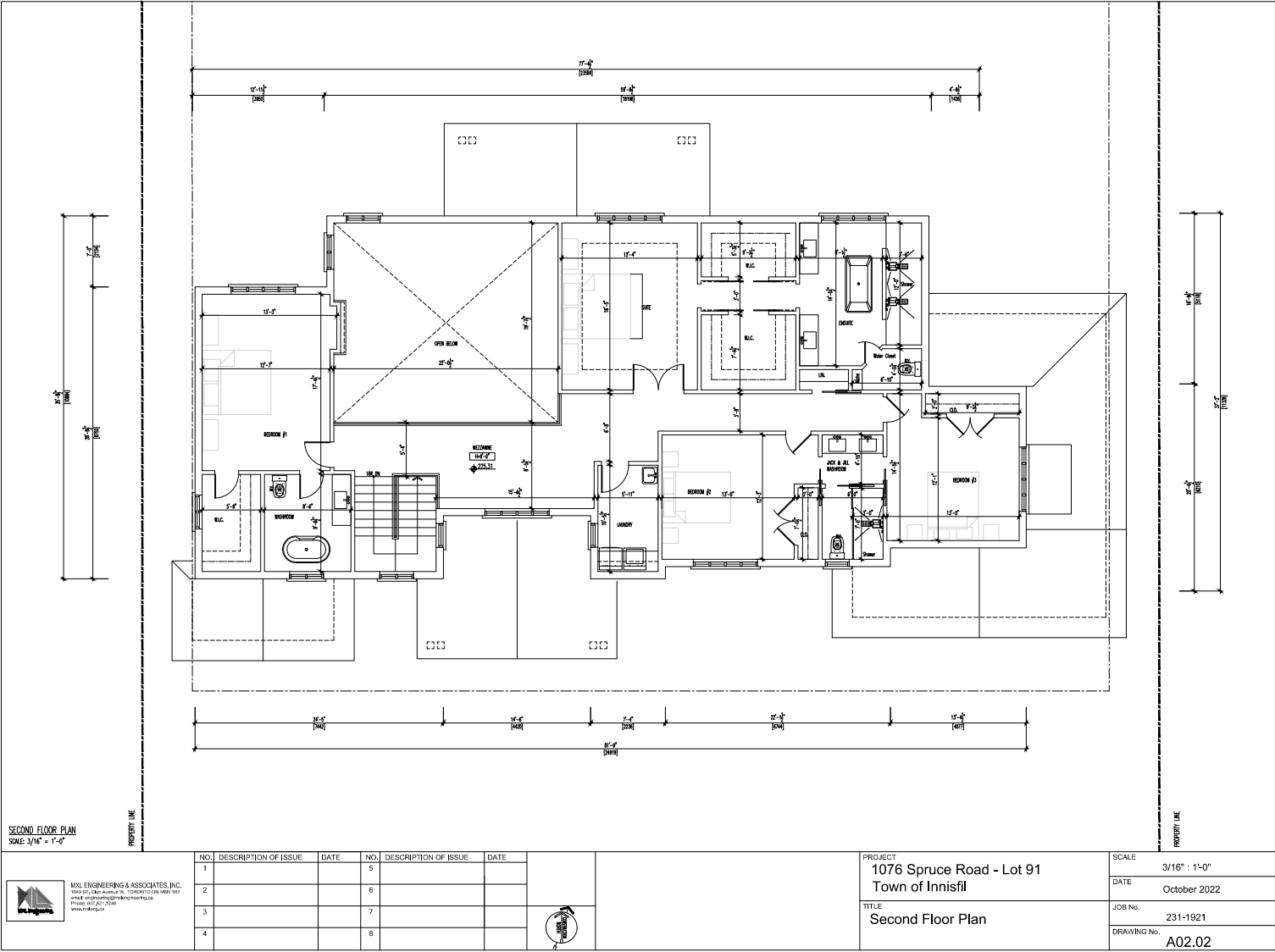
LEGEND			
LANDSCAPING DIAGRAM	ft <sup>2</sup>	m <sup>2</sup>	%
PROP. BUILDING (DWELLING/GARAGE)	3,008.65	278.51	22.07
PROP. CONCRETE STAIRS & COVERED PATIOS	489.27	45.45	3.59
PROP. TREATED WOOD DECK & STAIRS	25.08	2.33	0.18
PROP. ASPHALT DRIVEWAY	1,035.83	96.23	7.60
PROP. PRECAST PADS	55.56	5.16	0.41
PROP. CONCRETE WALKWAY	127.63	11.86	0.94
PROP. SOFT LANDSCAPING (SOB & PLANTER)	8,891.51	826.05	65.22



LANDSCAPING DIAGRAM  
SCALE: 1/4" = 1'-0"

PROJECT	1076 Spruce Road - Lot 91 Town of Innisfil
TITLE	Site Plan, Statistics, Key Plan, Landscaping Diagram
SCALE	As Shown
DATE	October 2022
JOB No.	231-1921
DRAWING No.	A01.01





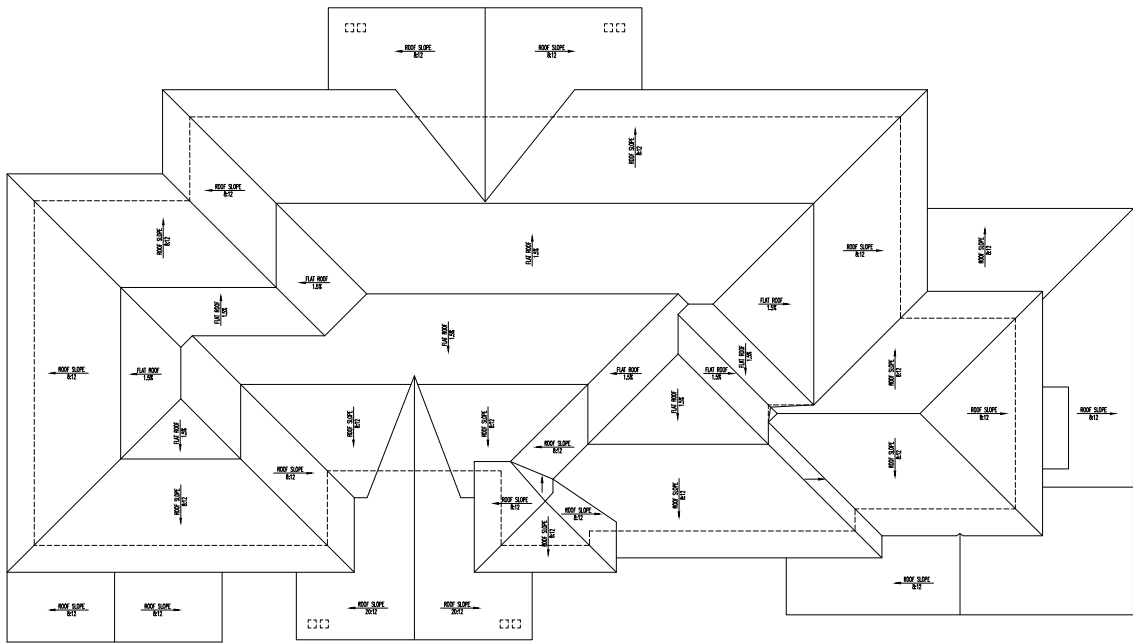
MVL ENGINEERING & ASSOCIATES, INC.  
1840 ST. CLAIR AVENUE W. TORONTO ON M6H 1S7  
416.491.1111  
www.mvl.ca

NO.	DESCRIPTION OF ISSUE	DATE	NO.	DESCRIPTION OF ISSUE	DATE
1			5		
2			6		
3			7		
4			8		



PROJECT  
1076 Spruce Road - Lot 91  
Town of Innisfil  
TITLE  
Second Floor Plan

SCALE  
3/16" : 1'-0"  
DATE  
October 2022  
JOB No.  
231-1921  
DRAWING No.  
A02.02



ROOF PLAN  
SCALE: 3/16" = 1'-0"

PROPERTY LINE

PROPERTY LINE



MVL ENGINEERING & ASSOCIATES, INC.  
1840 ST. CHARLES AVE. TORONTO, ON M6H 1S7  
Email: engineering@mvleng.com  
Phone: 416-261-1246  
www.mvleng.com

NO.	DESCRIPTION OF ISSUE	DATE	NO.	DESCRIPTION OF ISSUE	DATE
1			5		
2			6		
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4			8		



PROJECT	1076 Spruce Road - Lot 91 Town of Innisfil	SCALE	3/16" : 1'-0"
TITLE	Roof Plan	DATE	October 2022
		JOB No.	231-1921
		DRAWING No.	A02.03



SOUTH (FRONT) ELEVATION  
SCALE: 3/16" = 1'-0"

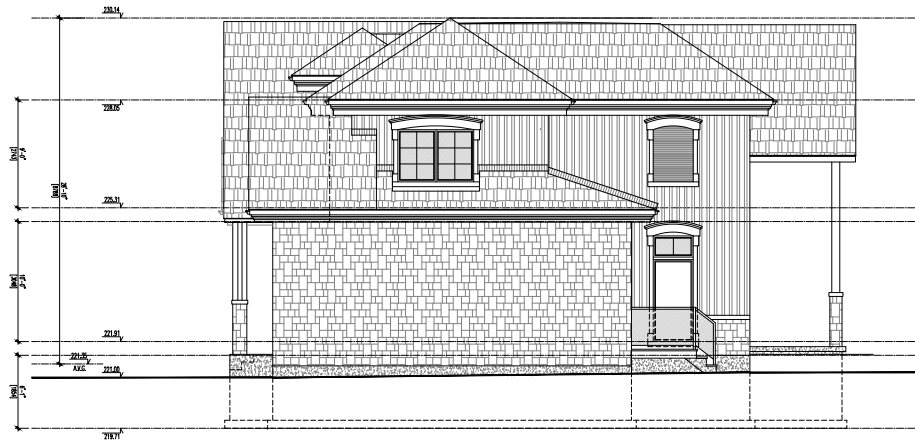


NXL ENGINEERING & ASSOCIATES, INC.  
1645 ST. CLER Avenue W. TORONTO ON M8B 1B7  
Email: engineering@nxeengineering.ca  
Phone: 416-261-1206  
www.nxe.ca



NO.	DESCRIPTION OF ISSUE	DATE	NO.	DESCRIPTION OF ISSUE	DATE
1			5		
2			6		
3			7		
4			8		

PROJECT	1076 Spruce Road - Lot 91 Town of Innisfil	SCALE	3/16" : 1'-0"
TITLE	SOUTH (FRONT) ELEVATION	DATE	October 2022
		JOB No.	231-1921
		DRAWING No.	A03.01



EAST ELEVATION  
SCALE: 3/16" = 1'-0"



MVL ENGINEERING & ASSOCIATES, INC.  
1640 ST. CLER Avenue W., TORONTO ON M8B 1B7  
Email: engineering@mvlengineering.ca  
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NO.	DESCRIPTION OF ISSUE	DATE	NO.	DESCRIPTION OF ISSUE	DATE
1			5		
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4			8		



PROJECT  
1076 Spruce Road - Lot 91  
Town of Innisfil

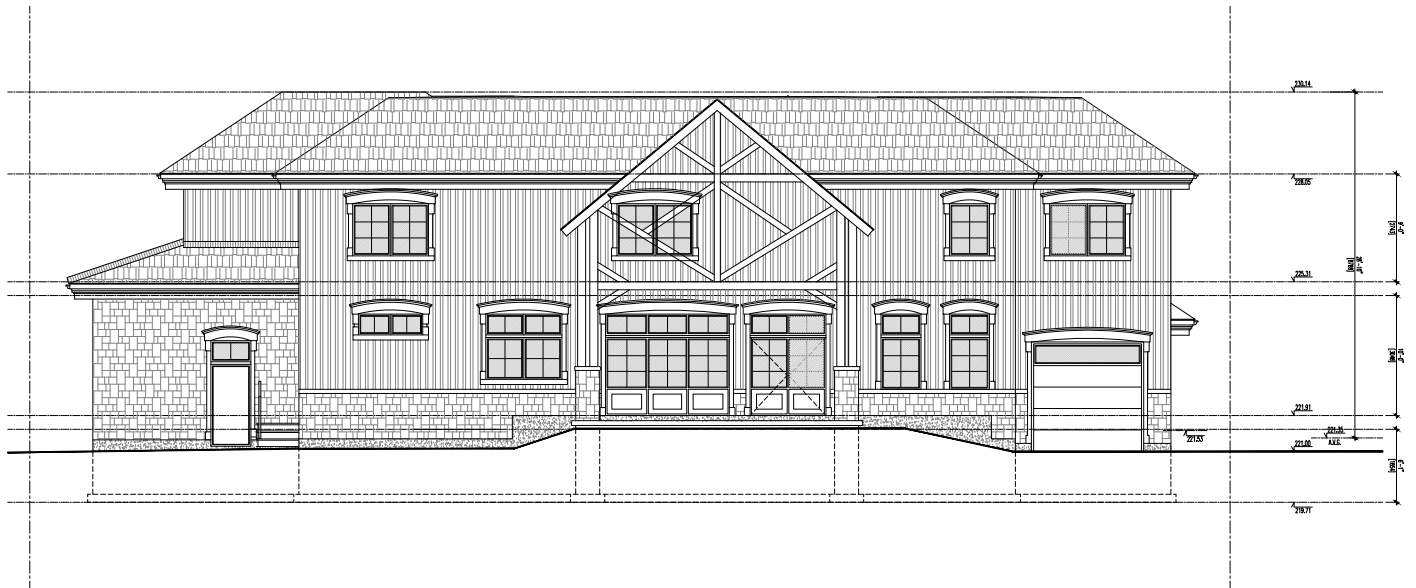
TITLE  
EAST ELEVATION

SCALE  
3/16" : 1'-0"

DATE  
October 2022

JOB No.  
231-1921

DRAWING No.  
A03.02



NORTH (REAR) ELEVATION  
SCALE: 3/16" = 1'-0"



MVL ENGINEERING & ASSOCIATES, INC.  
1645 ST. CLER AVENUE W. TORONTO ON M8H 1S7  
416.671.2011  
416.671.2012  
www.mvl.ca



PROJECT

1076 Spruce Road - Lot 91  
Town of Innisfil

TITLE

NORTH (REAR) ELEVATION

SCALE

3/16" = 1'-0"

DATE

October 2022

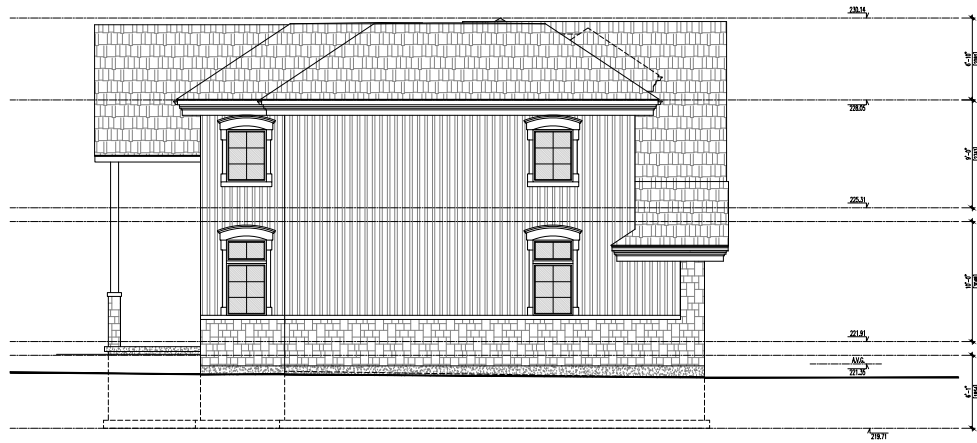
JOB No.

231-1921

DRAWING No.

A03.03





WEST ELEVATION  
SCALE 3/16" = 1'-0"



MVL ENGINEERING & ASSOCIATES, INC.  
1649 ST. CLER Avenue W., TORONTO ON M8B 1S7  
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Phone: 416-261-1246  
[www.mvl.ca](http://www.mvl.ca)



PROJECT

1076 Spruce Road - Lot 91  
Town of Innisfil

TITLE

WEST ELEVATION

SCALE

3/16" : 1'-0"

DATE

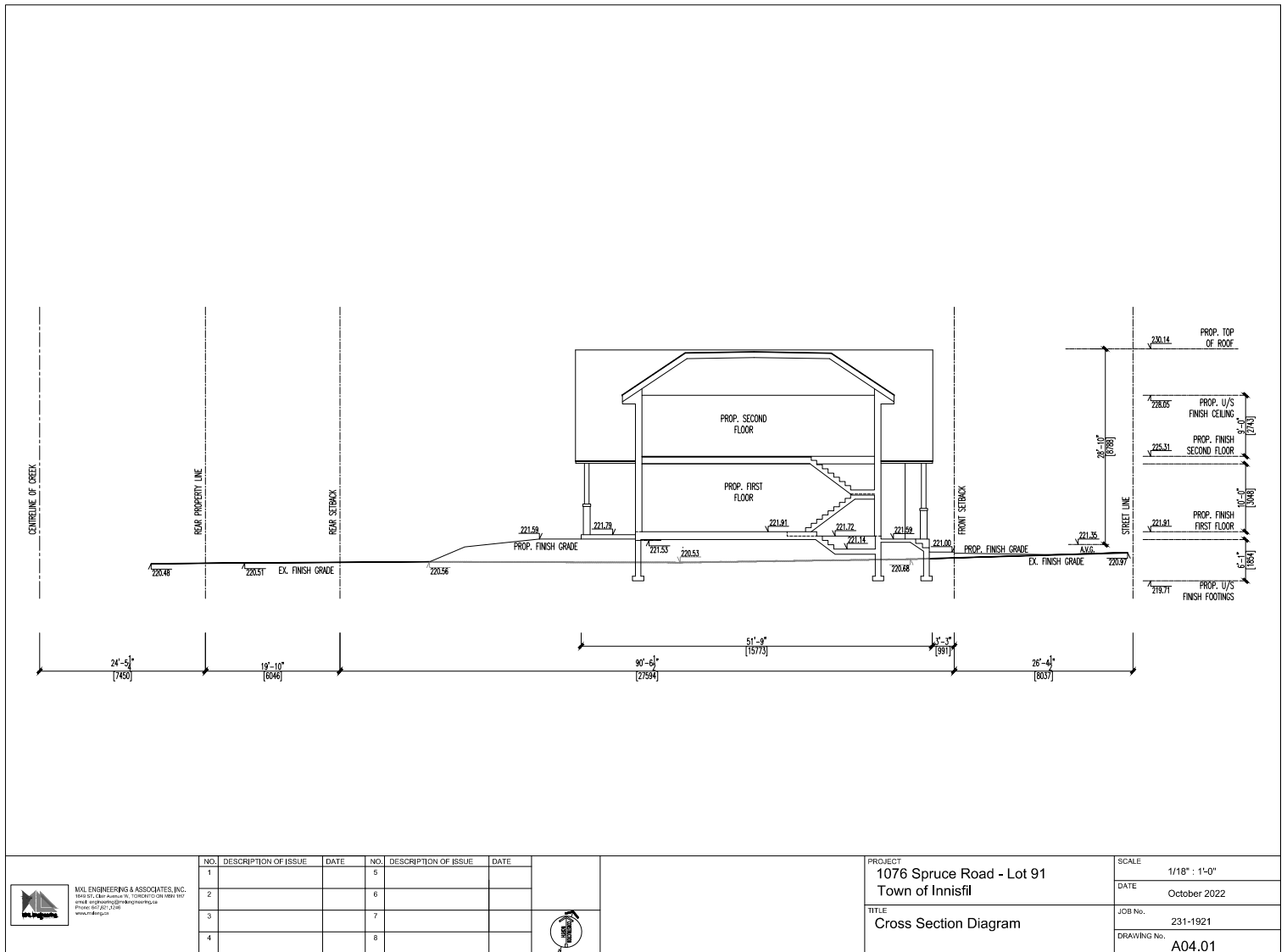
October 2022

JOB No.

231-1921

DRAWING No.

A03.04



MVL ENGINEERING & ASSOCIATES, INC.  
1640 ST. CLER AVENUE W. TORONTO ON M8H 1S7  
Email: [engineering@mvlengineering.ca](mailto:engineering@mvlengineering.ca)  
Phone: 416.261.1248  
[www.mvl.ca](http://www.mvl.ca)



PROJECT  
1076 Spruce Road - Lot 91  
Town of Innisfil

TITLE  
Cross Section Diagram

SCALE  
1/18" = 1'-0"

DATE  
October 2022

JOB No.  
231-1921

DRAWING No.  
A04.01