



**COMMITTEE OF ADJUSTMENT NOTICE OF PUBLIC HEARING
APPLICATION NO. A-026-2023**

TAKE NOTICE that an application has been received by the Town of Innisfil from **Ronald Meads, Owner**, for a minor variance from Zoning By-law 080-13, pursuant to Section 45 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended.

The subject property is described legally as **PLAN 54 PT LOT 38 RP 51R40917 PARTS 2 AND 3** is known municipally as **877 Pine Avenue**, and is zoned as “**Residential 1 (R1)**” and “**Agricultural (AG)**”.

The applicant is proposing to construct a detached garage located closer to the front line than the principal building. The applicant is seeking relief from Section 3.3 (d) of the Zoning By-law which does not allow accessory structures to be located closer to the front lot line than the principal building.

The Committee of Adjustment for the Town of Innisfil will consider this application in person at Town Hall and virtually through Zoom on **Thursday, May 18, 2023, at 6:30 PM.**

To participate in the hearing and/or provide comments, you must register by following the link below or scanning the above QR code:
<https://innisfil.ca/en/building-and-development/committee-of-adjustment-hearings.aspx>

Requests can also be submitted in writing to: Town of Innisfil Committee of Adjustment, 2101 Innisfil Beach Road, Innisfil, Ontario, L9S 1A1 or by email to planning@innisfil.ca.

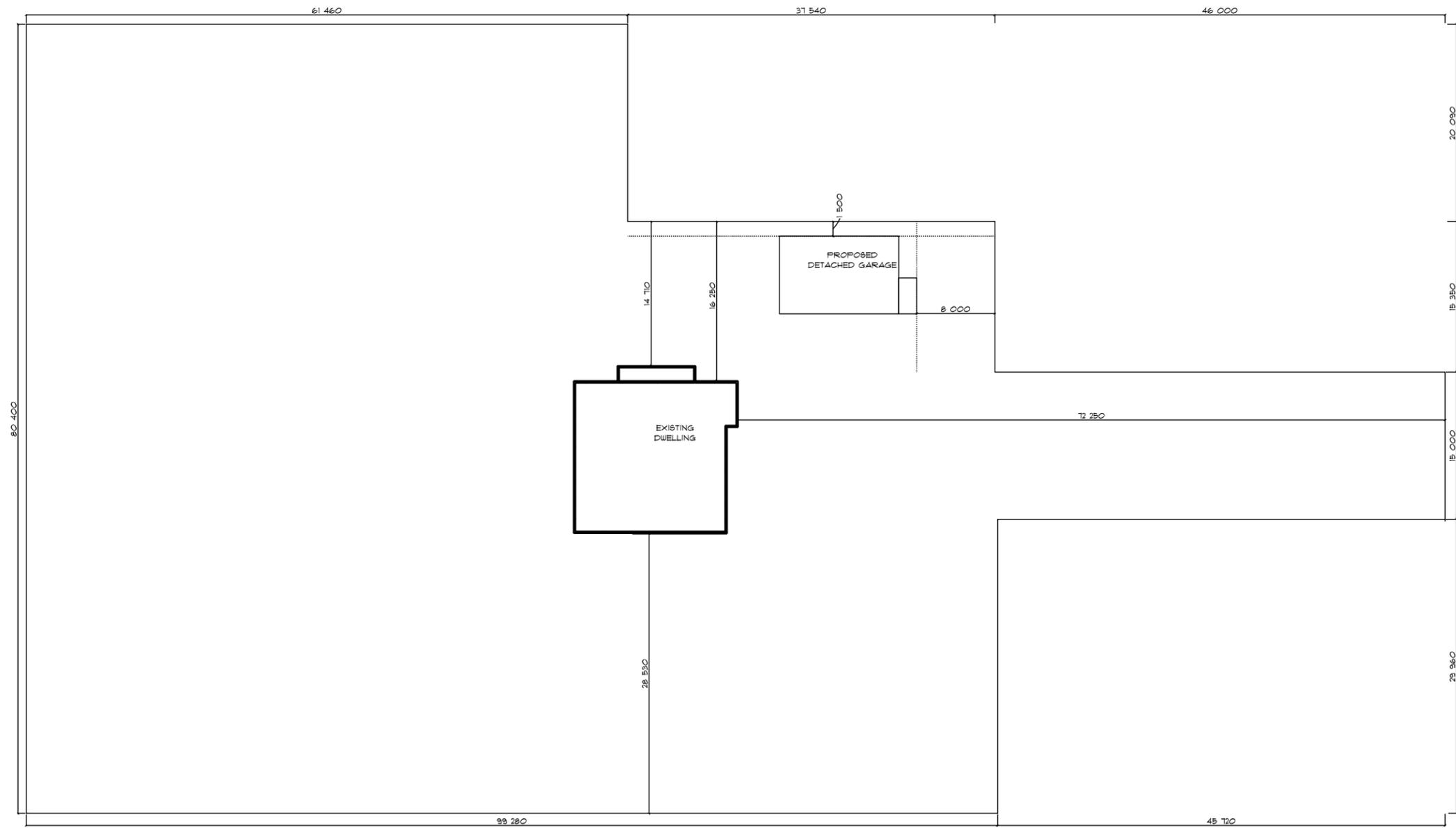
If you wish to receive a copy of the decision of the Committee of Adjustment in respect of the proposed minor variance, you must make a written request to the Secretary-Treasurer of the Committee of Adjustment by way of email or regular mail. The Notice of Decision will also explain the process for appealing a decision to the Local Planning Appeal Tribunal.



Additional information relating to the proposed application is available on the Town of Innisfil website. Accessible formats are available on request, to support participation in all aspects of the feedback process. To request an alternate format please contact Planning Services at planning@innisfil.ca.

Dated: **May 2, 2023**

Toomaj Haghshenas,
Secretary-Treasurer
thaghsheenas@innisfil.ca
705-436-3710 ext. 3316



LOT AREA: 84855 SQFT/7883M2
 EXISTING DWELLING FOOT PRINT: 143 M2
 EXISTING DWELLING WIDTH: 55' 16.7M
 EXISTING DWELLING MID ROOF HEIGHT: 22'
 PROPOSED DETACHED GARAGE FOOT PRINT: 1112 SQFT 103.3 M2

FINE LINE DESIGN SERVICES
 GLENN & HEATHER MIDDLEBROOK
 8254 8th Line
 Utopia, On
 PHONE (705) 424 8800 CELL (705) 796 8380
 E-MAIL: heather@finelinedrafting.ca
 www.finelinedrafting.ca

NOTE: THE CONTRACTOR IS RESPONSIBLE TO CONFIRM ALL DIMENSIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, AND REPORT ANY DISCREPANCIES TO THE DESIGNER. THE CONTRACTOR MUST COMPLY WITH ALL LOCAL AND PROVINCIAL BUILDING CODES

INDIVIDUAL BCIN: 14607
 FIRM BCIN: 108381
 DRAWN BY: H.M.

The undersigned has reviewed and takes responsibility for this design, and meets the requirements set out in the 2012 Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
 Required unless exempt under 3.2.5.1 Division C of the Building Code

HEATHER MIDDLEBROOK 14607
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
 Required unless exempt under 3.2.4.1 Division C of the Building Code

FINE LINE DESIGN SERVICES 108381
 FIRM NAME BCIN

SITE PLAN

PROJECT ADDRESS: 877 Pine Ave
 Innisfil

CLIENT NAME: Meads
 PROJECT: PROPOSED DETACHED GARAGE
 START DATE: Jan 26 2023
 PRINT DATE: Jan 30 2023

SCALE: N.T.S.
 JOB NUMBER: 23-023
 DRAWING NUMBER: S1



LEFT ELEVATION

FINE LINE DESIGN SERVICES

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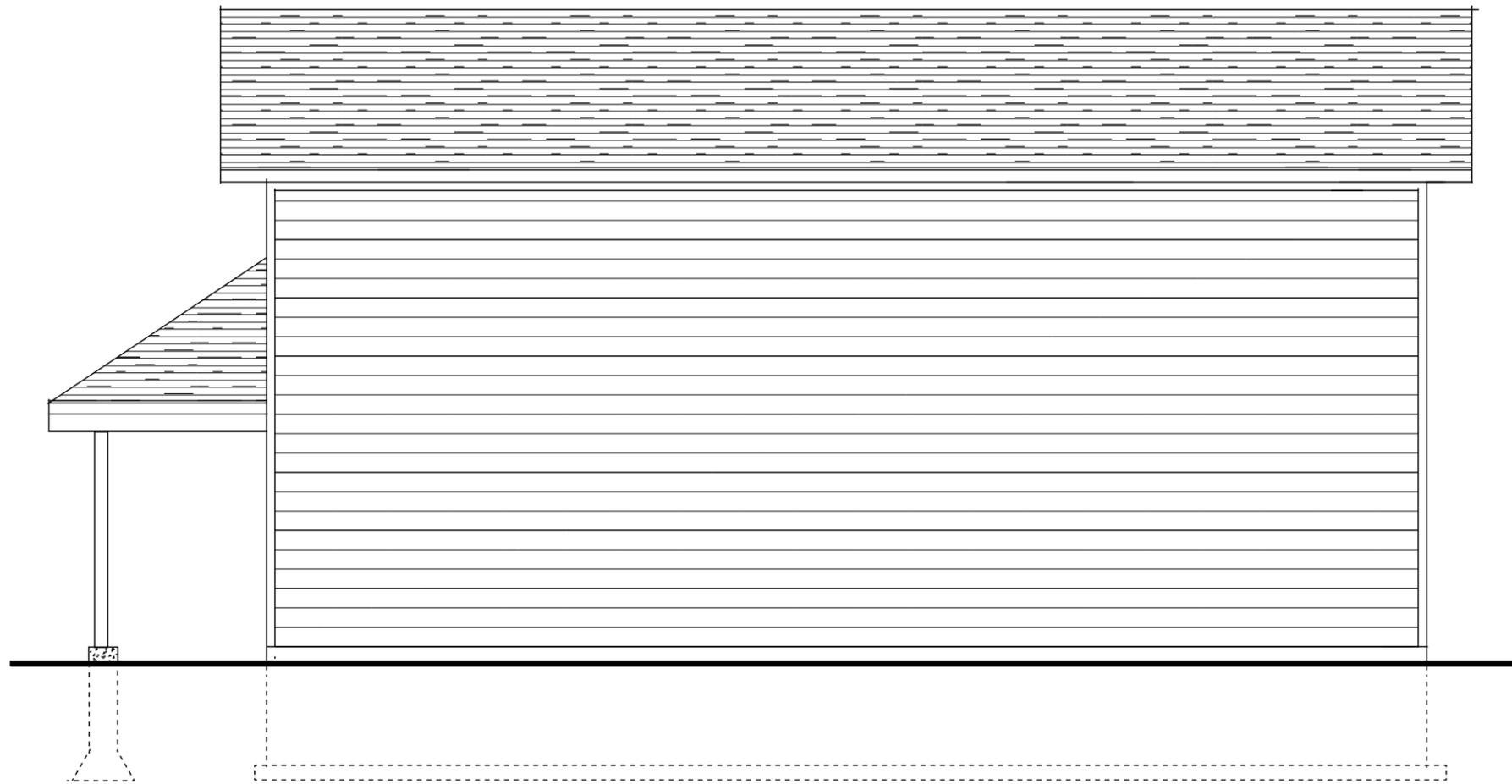
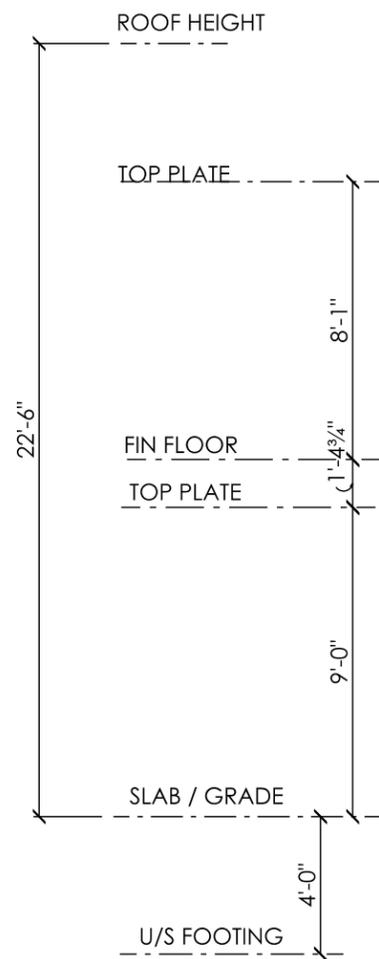
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 FIRM NAME BCIN

LEFT ELEVATION

PROJECT ADDRESS: 877 Pine Ave
 Innisfil

CLIENT NAME: Meads
 PROJECT: PROPOSED DETACHED GARAGE
 START DATE: Jan 26 2023
 PRINT DATE: Jan 30 2023

SCALE: 3/16"=1'-0"
 JOB NUMBER: 23-023
 DRAWING NUMBER: A1



RIGHT ELEVATION

FINE LINE DESIGN SERVICES

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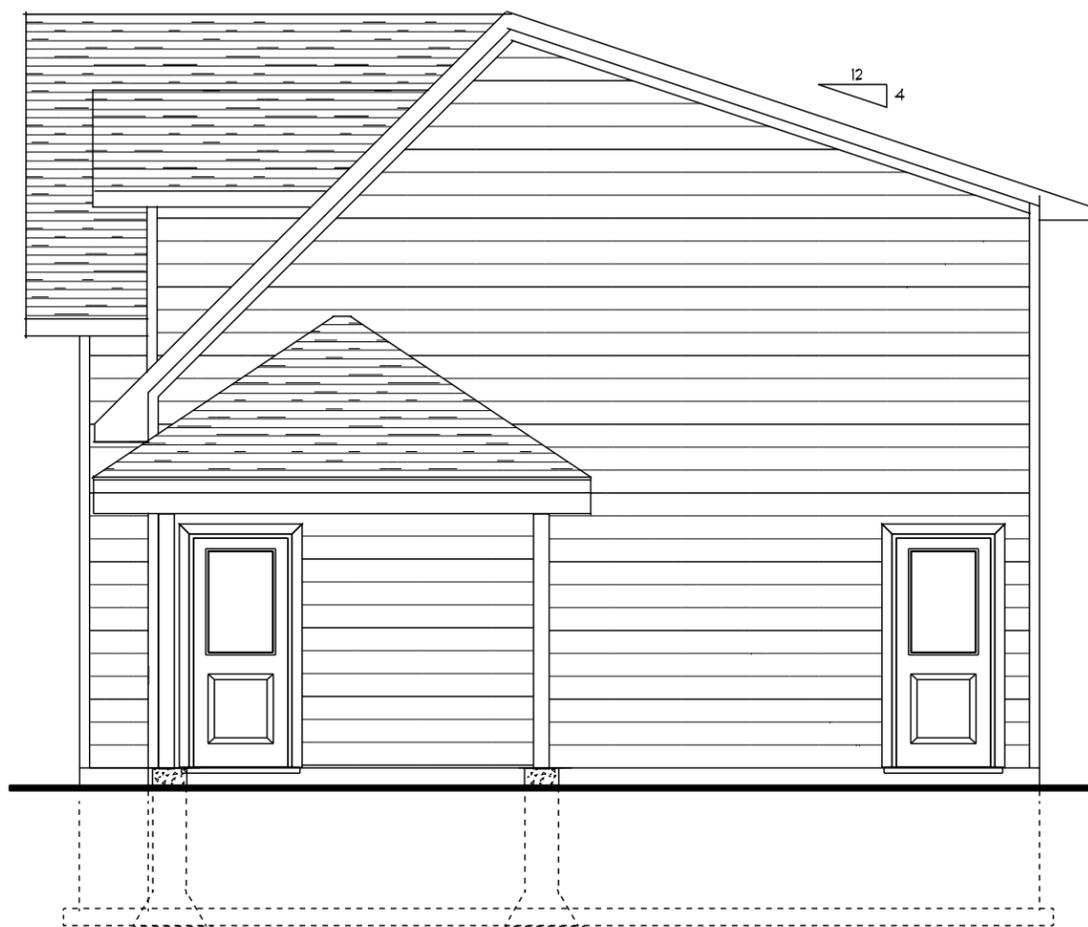
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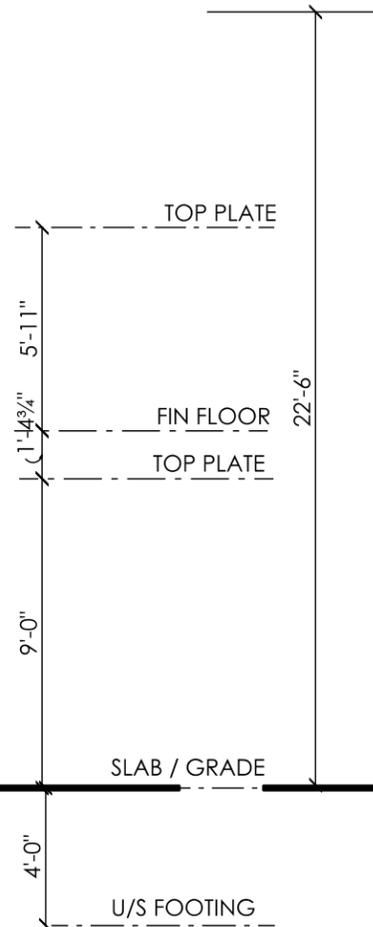
RIGHT ELEVATION

PROJECT ADDRESS: 877 Pine Ave
 Innisfil

CLIENT NAME:	Meads	SCALE:	3/16"=1'-0"
PROJECT:	PROPOSED DETACHED GARAGE	JOB NUMBER:	23-023
START DATE:	Jan 26 2023	DRAWING NUMBER:	A2
PRINT DATE:	Jan 30 2023		



FRONT ELEVATION



REAR ELEVATION

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 DRAWN BY: H.M.

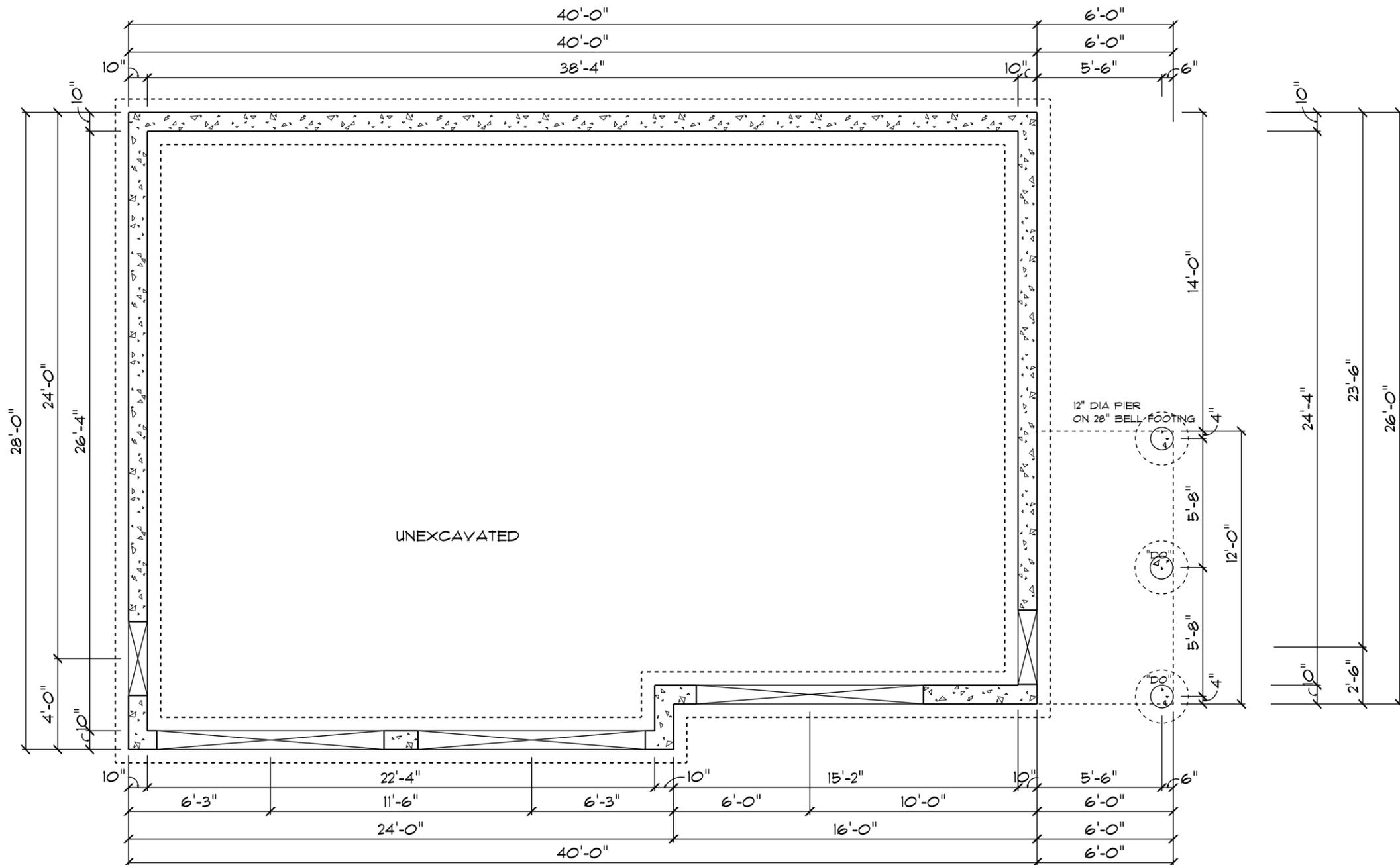
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REGISTRATION INFORMATION
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 FINE LINE DESIGN SERVICES 108381
 FIRM NAME BCIN

FRONT/REAR ELEVATIONS

PROJECT ADDRESS: 877 Pine Ave
 Innisfil

CLIENT NAME: Meads	SCALE: 3/16"=1'-0"
PROJECT: PROPOSED DETACHED GARAGE	JOB NUMBER: 23-023
START DATE: Jan 26 2023	DRAWING NUMBER: A3
PRINT DATE: Jan 30 2023	



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 NAME SIGNATURE BCIN

REGISTRATION INFORMATION

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FINE LINE DESIGN SERVICES 108381
 FIRM NAME BCIN

FOUNDATION

PROJECT ADDRESS: 877 Pine Ave
 Innisfil

CLIENT NAME:

Meads

PROJECT:

PROPOSED
 DETACHED
 GARAGE

START DATE:

Jan 26 2023

PRINT DATE:

Jan 30 2023

SCALE:

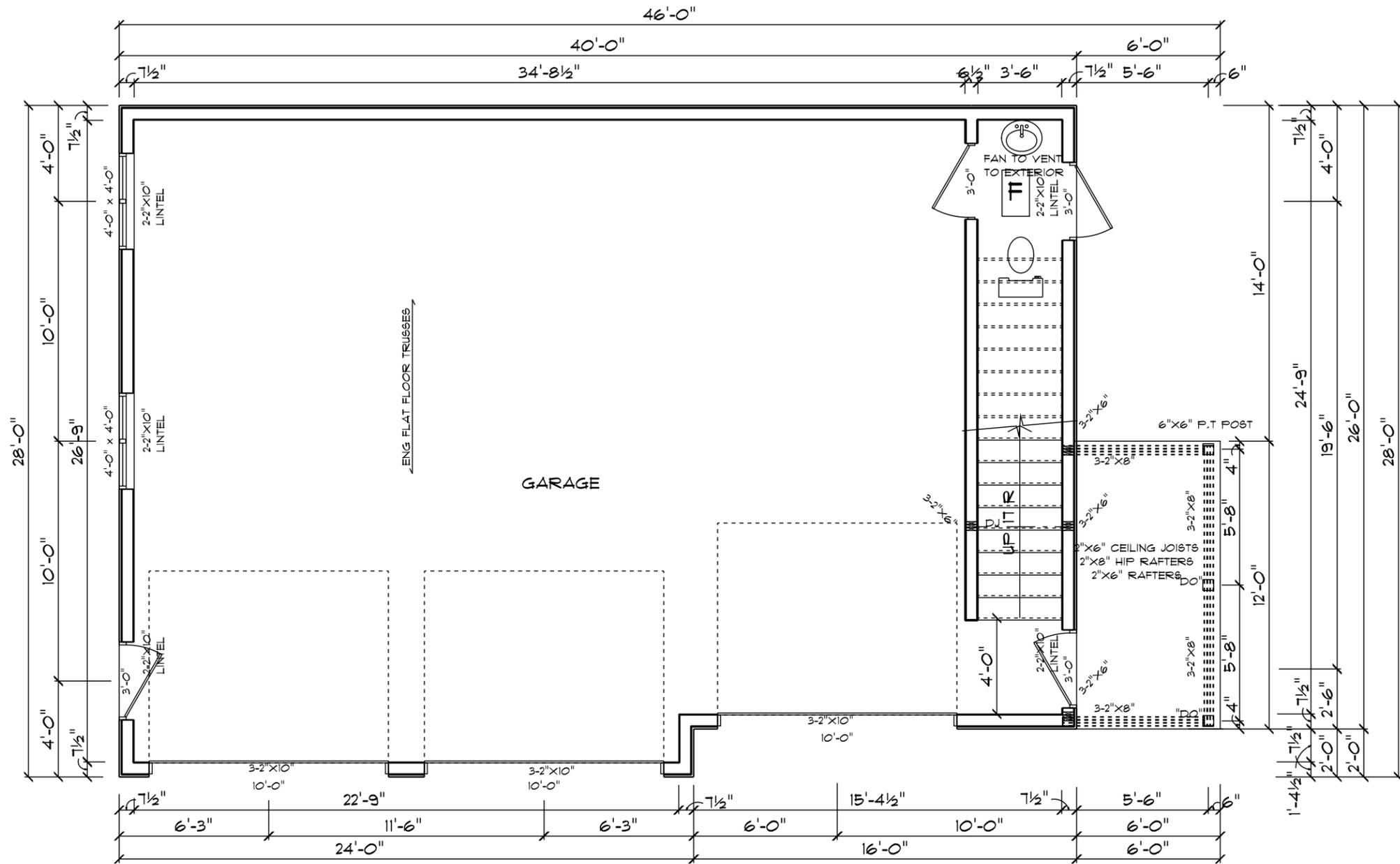
3/16"=1'-0"

JOB NUMBER:

23-023

DRAWING NUMBER:

A4



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FIRM BCIN:	108381
DRAWN BY:	H.M.

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HEATHER MIDDLEBROOK	14607
NAME	SIGNATURE
	BCIN

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FINE LINE DESIGN SERVICES	108381
FIRM NAME	BCIN

MAIN FLOOR

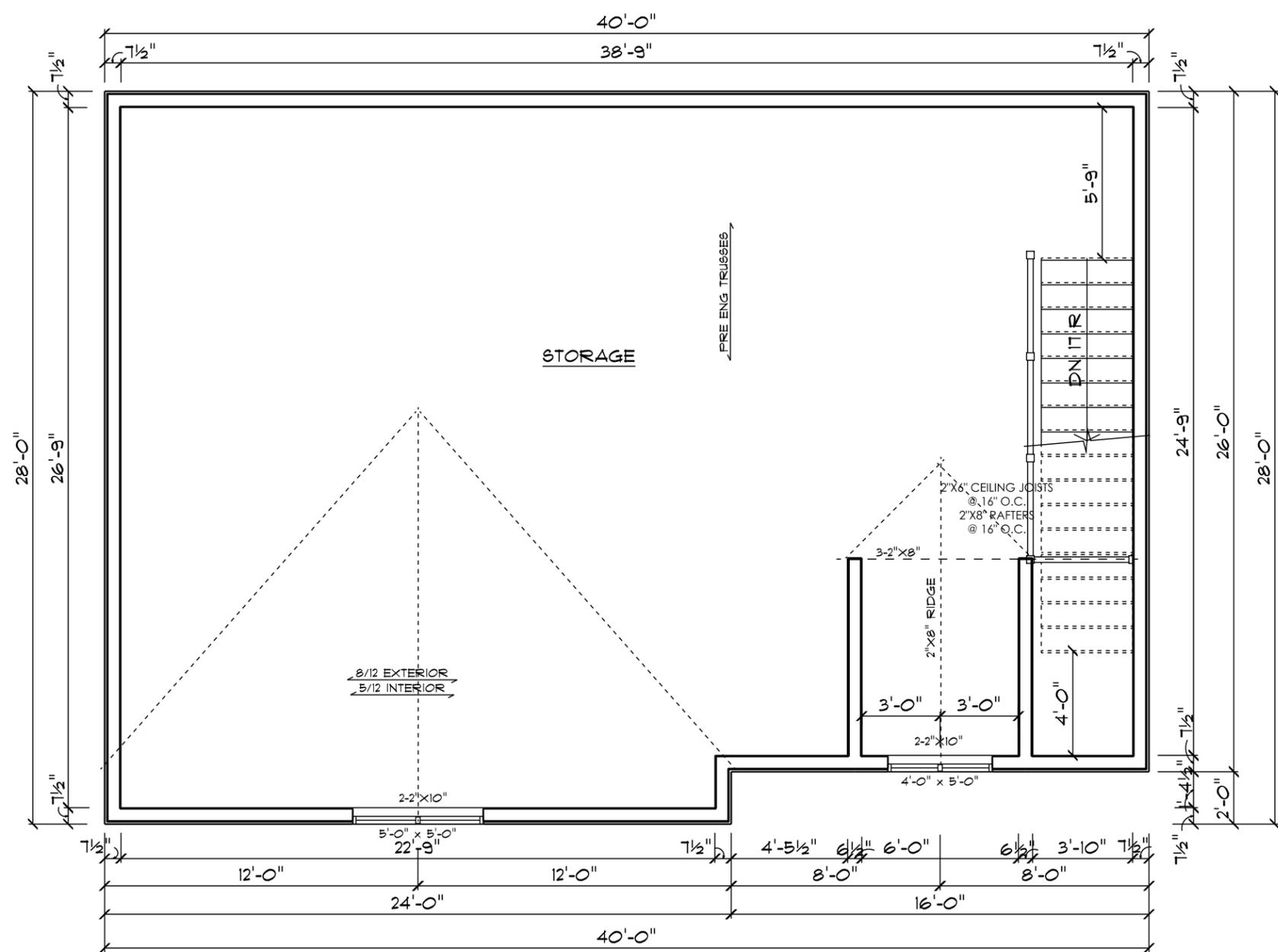
PROJECT ADDRESS: 877 Pine Ave
 Innisfil

CLIENT NAME:	Meads
PROJECT:	PROPOSED DETACHED GARAGE
START DATE:	Jan 26 2023
PRINT DATE:	Jan 30 2023

SCALE: 3/16"=1'-0"

JOB NUMBER: 23-023

DRAWING NUMBER: **A5**



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 FIRM NAME BCIN

STORAGE FLOOR

PROJECT ADDRESS: 877 Pine Ave
 Innisfil

CLIENT NAME: Meads
 PROJECT: PROPOSED DETACHED GARAGE
 START DATE: Jan 26 2023
 PRINT DATE: Jan 30 2023

SCALE: 3/16"=1'-0"
 JOB NUMBER: 23-023
 DRAWING NUMBER: A6

