



**COMMITTEE OF ADJUSTMENT NOTICE OF PUBLIC HEARING  
APPLICATION NO. A-023-2023**

**TAKE NOTICE** that an application has been received by the Town of Innisfil from **Ronald Meads, Owner**, for a minor variance from Zoning By-law 080-13, pursuant to Section 45 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended.

The subject property is described legally as **PLAN 54 PT LOT 38 RP 51R40917 PARTS 2 AND 3** is known municipally as **877 Pine Avenue**, and is zoned as “**Residential 1 (R1)**” and “**Agricultural (AG)**”.

**The applicant is proposing to construct a detached garage with a gross floor area of 103.3 m<sup>2</sup>. The applicant is seeking relief from Section 3.3 (b) of the Zoning By-law which permits a maximum gross floor area of 50 m<sup>2</sup> for all accessory structures in residential zones.**

The Committee of Adjustment for the Town of Innisfil will consider this application in person at Town Hall and virtually through Zoom on **Thursday, May 18, 2023, at 6:30 PM.**

To participate in the hearing and/or provide comments, you must register by following the link below or scanning the above QR code:  
<https://innisfil.ca/en/building-and-development/committee-of-adjustment-hearings.aspx>

Requests can also be submitted in writing to: Town of Innisfil Committee of Adjustment, 2101 Innisfil Beach Road, Innisfil, Ontario, L9S 1A1 or by email to [planning@innisfil.ca](mailto:planning@innisfil.ca).

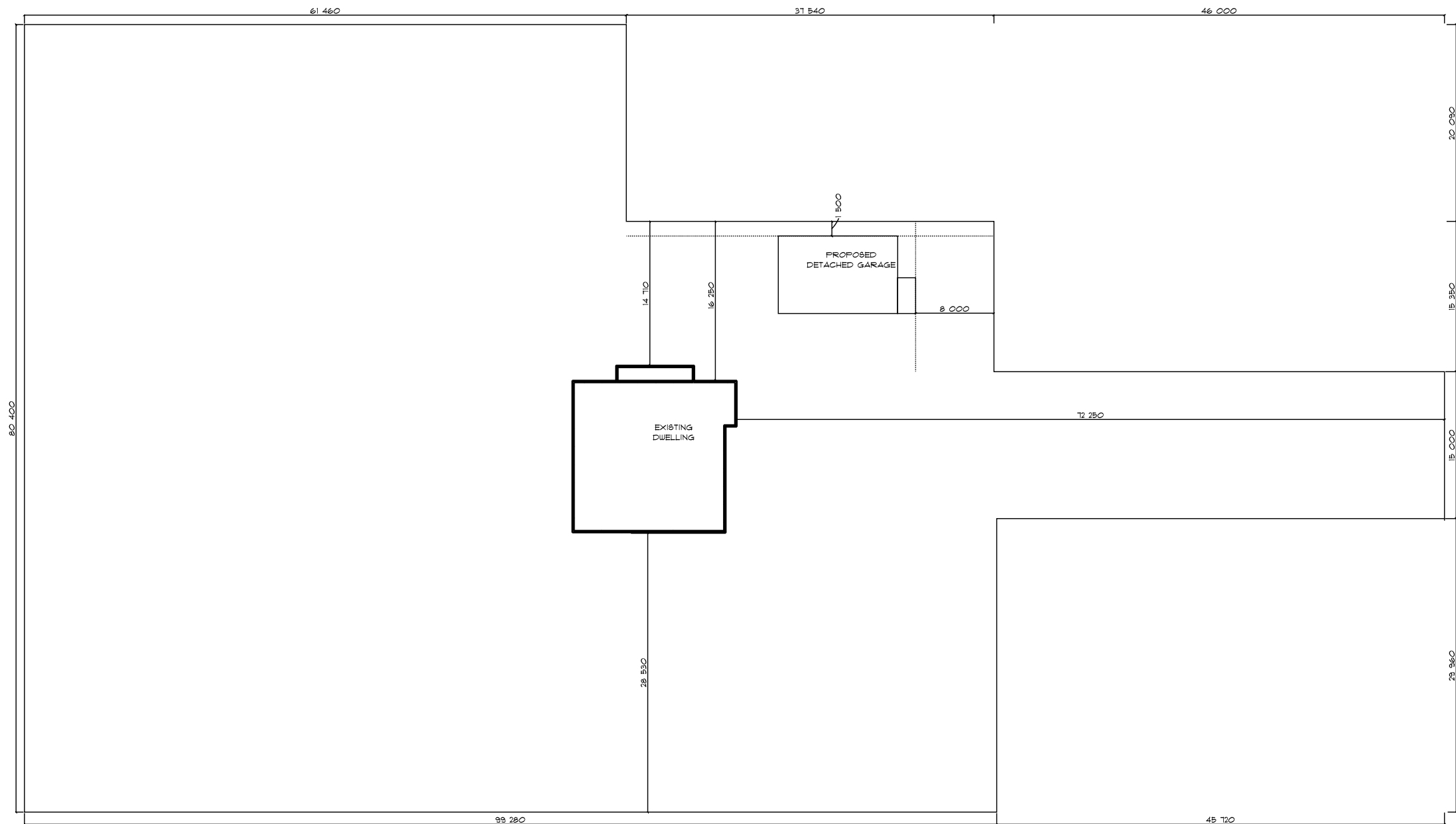
If you wish to receive a copy of the decision of the Committee of Adjustment in respect of the proposed minor variance, you must make a written request to the Secretary-Treasurer of the Committee of Adjustment by way of email or regular mail. The Notice of Decision will also explain the process for appealing a decision to the Local Planning Appeal Tribunal.



Additional information relating to the proposed application is available on the Town of Innisfil website. Accessible formats are available on request, to support participation in all aspects of the feedback process. To request an alternate format please contact Planning Services at [planning@innisfil.ca](mailto:planning@innisfil.ca).

Dated: **May 2, 2023**

Toomaj Haghshenas,  
Secretary-Treasurer  
[thaghsheenas@innisfil.ca](mailto:thaghsheenas@innisfil.ca)  
705-436-3710 ext. 3316



LOT AREA: 84855 SQFT/7883M2  
EXISTING DWELLING FOOT PRINT: 143 M2  
EXISTING DWELLING WIDTH: 55' 16.7M  
EXISTING DWELLING MID ROOF HEIGHT: 22'  
PROPOSED DETACHED GARAGE FOOT PRINT: 1112 SQFT 103.3 M2

<div><div>FINE LINE DESIGN SERVICES</div><div>GLENN &amp; HEATHER MIDDLEBROOK</div><div>8254 8th Lne</div><div>Utopia, On</div><div>PHONE (705) 424 8800 CELL (705) 796 8380</div><div>E-MAIL: heather@finelinedrafting.ca</div><div>www.finelinedrafting.ca</div></div>	<small>NOTE: THE CONTRACTOR IS RESPONSIBLE TO CONFIRM ALL DIMENSIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, AND REPORT ANY DISCREPANCIES TO THE DESIGNER. THE CONTRACTOR MUST COMPLY WITH ALL LOCAL AND PROVINCIAL BUILDING CODES</small>	The undersigned has reviewed and takes responsibility for this design, and meets the requirements set out in the 2012 Ontario Building Code to be a designer.	SITE PLAN		CLIENT NAME:	Meads	SCALE:	N.T.S.
	INDIVIDUAL BCIN: 14607	<b>QUALIFICATION INFORMATION</b> Required unless exempt under 3.2.5.1 Division C of the Building Code			PROJECT:	PROPOSED DETACHED GARAGE	JOB NUMBER:	23-023
	FIRM BCIN: 108381	HEATHER MIDDLEBROOK NAME SIGNATURE BCIN	<b>REGISTRATION INFORMATION</b> Required unless exempt under 3.2.4.1 Division C of the Building Code	PROJECT ADDRESS:	877 Pine Ave Innisfil	START DATE:	Jan 26 2023	DRAWING NUMBER: <b>S1</b>
	DRAWN BY: H.M.	FINE LINE DESIGN SERVICES FIRM NAME BCIN			PRINT DATE:	Jan 30 2023		



LEFT ELEVATION

**FINE LINE DESIGN  
SERVICES**  
GLENN & HEATHER MIDDLEBROOK  
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Utopia, On  
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CODES

INDIVIDUAL  
BCIN: 14607  
FIRM BCIN: 108381  
DRAWN  
BY: H.M.

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**QUALIFICATION INFORMATION**  
Required unless exempt under 3.2.5.1 Division C of the Building Code  
HEATHER MIDDLEBROOK 14607  
NAME SIGNATURE BCIN  
**REGISTRATION INFORMATION**  
Required unless exempt under 3.2.4.1 Division C of the Building Code  
FINE LINE DESIGN SERVICES 108381  
FIRM NAME BCIN

LEFT ELEVATION

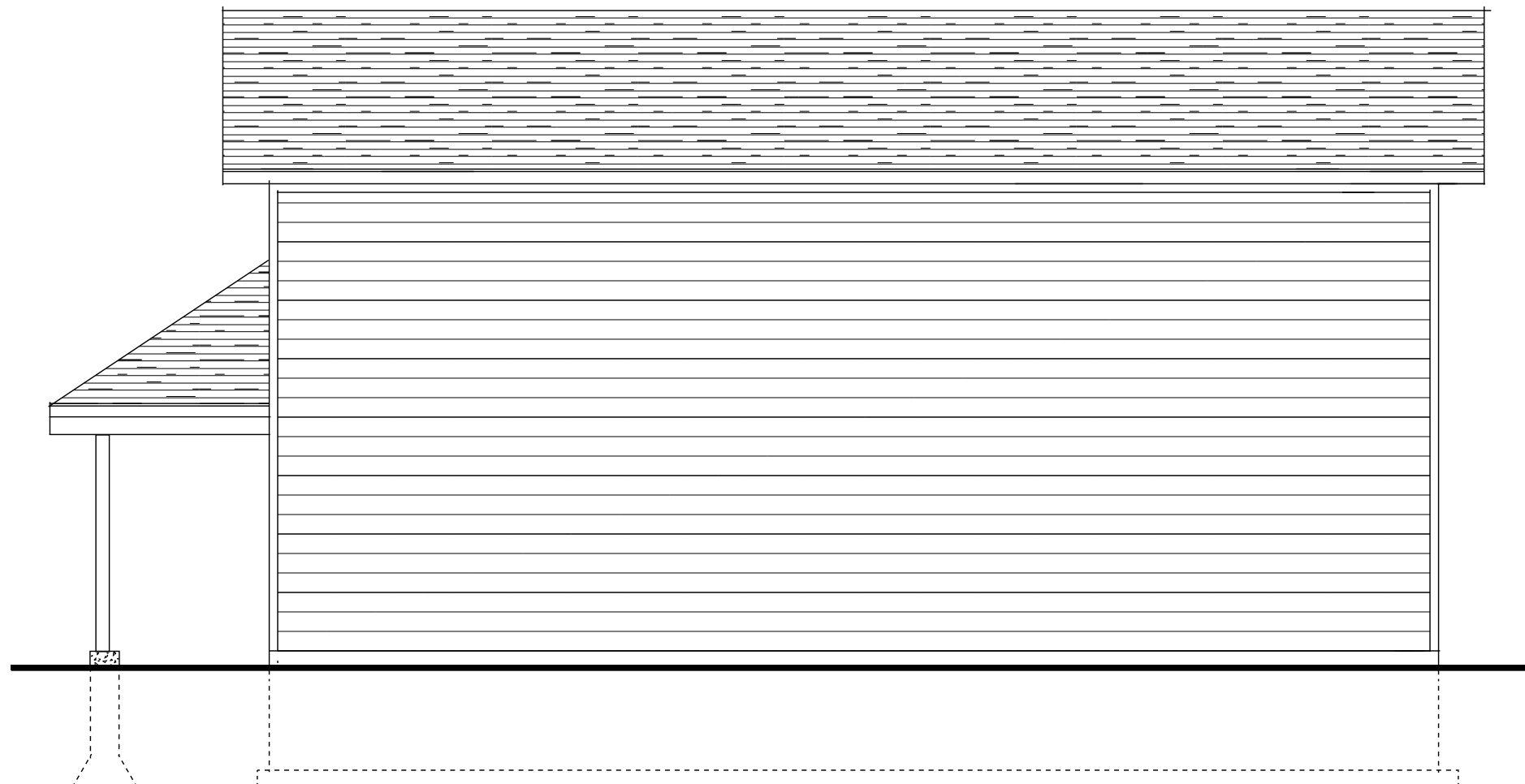
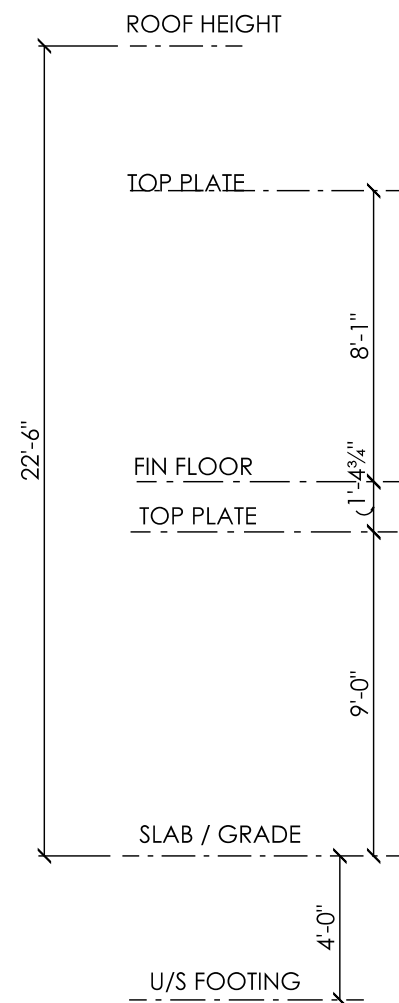
PROJECT  
ADDRESS: 877 Pine Ave  
Innisfil

CLIENT NAME:  
Meads

PROJECT: PROPOSED  
DETACHED  
GARAGE

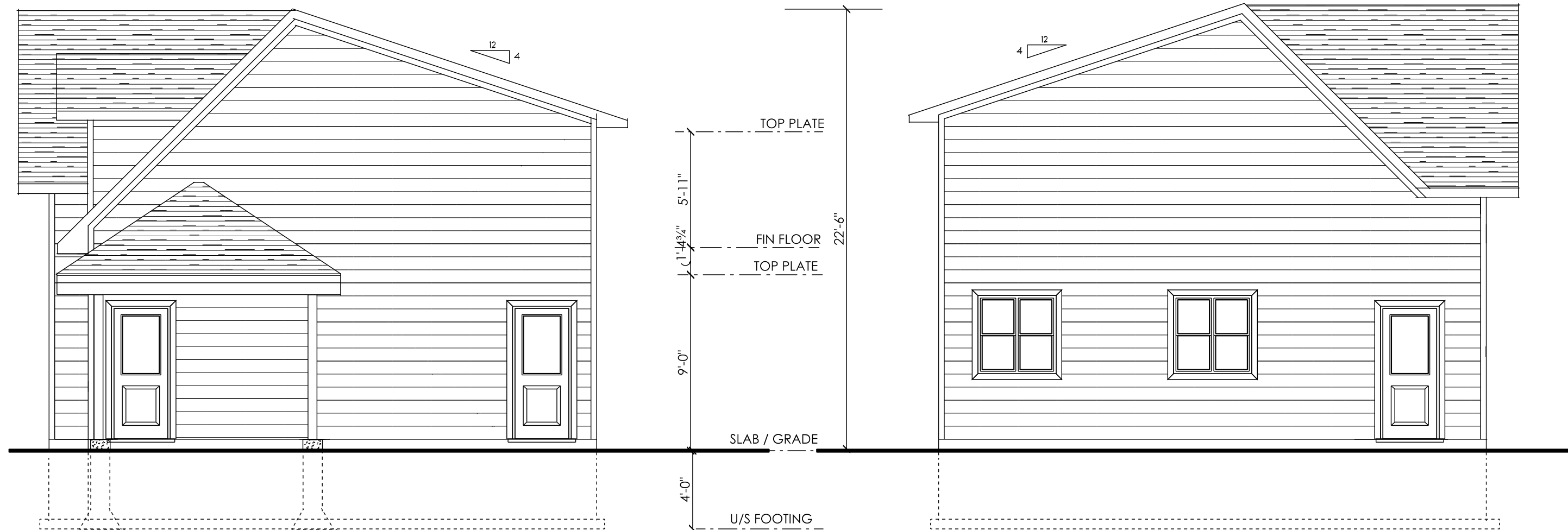
START DATE: Jan 26 2023  
PRINT DATE: Jan 30 2023

SCALE:  
3/16"=1'-0"  
JOB NUMBER:  
23-023  
DRAWING  
NUMBER:  
A1



RIGHT ELEVATION

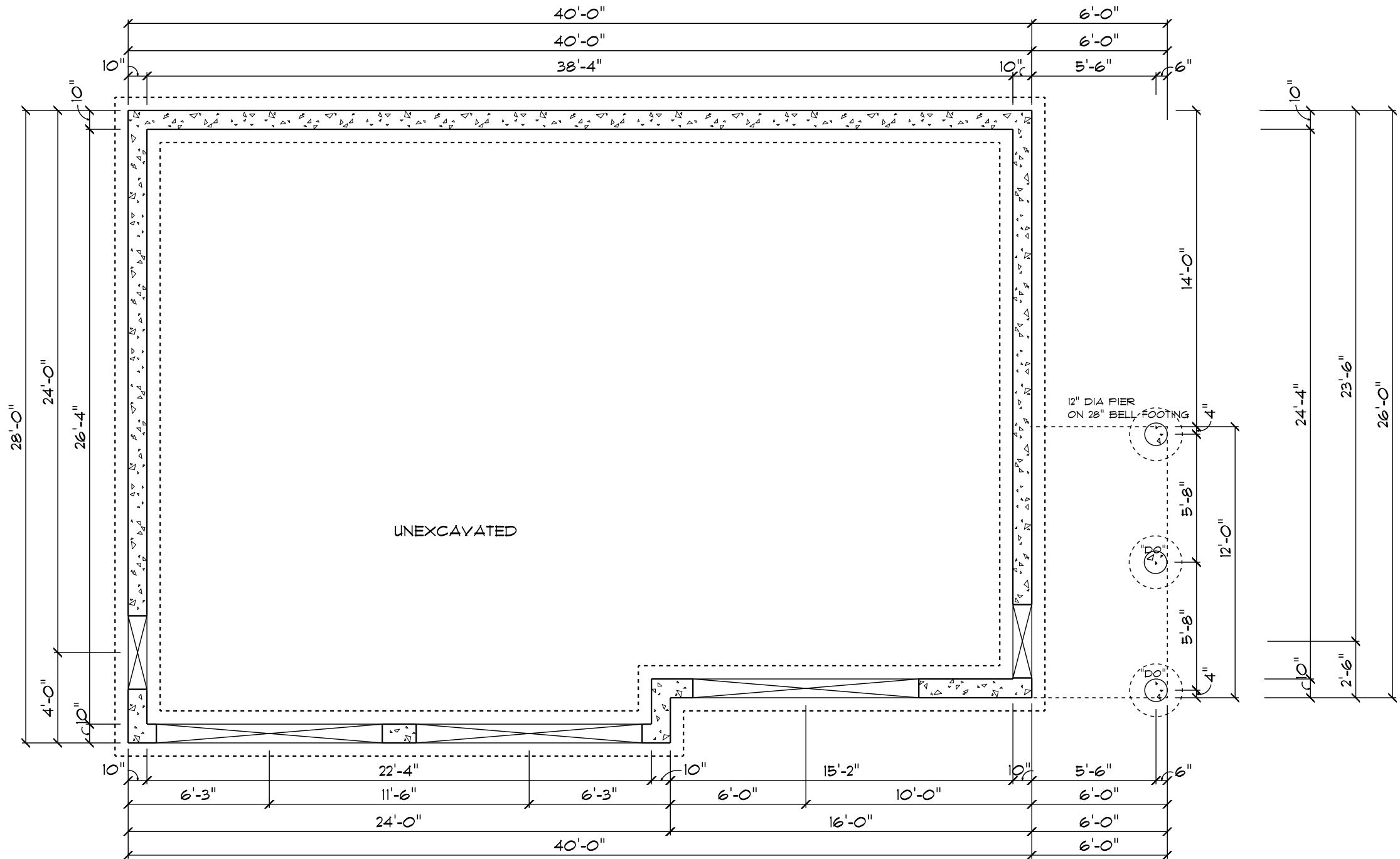
<div><div>FINE LINE DESIGN SERVICES</div><div>GLENN &amp; HEATHER MIDDLEBROOK</div><div>8254 8th Lne Utopia, On</div><div>PHONE (705) 424 8800 CELL (705) 796 8380</div><div>E-MAIL: heather@finelinedrafting.ca</div><div>www.finelinedrafting.ca</div></div>	<div>NOTE: THE CONTRACTOR IS RESPONSIBLE TO CONFIRM ALL DIMENSIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, AND REPORT ANY DISCREPANCIES TO THE DESIGNER. THE CONTRACTOR MUST COMPLY WITH ALL LOCAL AND PROVINCIAL BUILDING CODES</div>	The undersigned has reviewed and takes responsibility for this design, and meets the requirements set out in the 2012 Ontario Building Code to be a designer.		<div><div>RIGHT ELEVATION</div></div>	CLIENT NAME: Meads	SCALE: 3/16"=1'-0"
	INDIVIDUAL BCIN: 14607	<div>QUALIFICATION INFORMATION</div> <div>Required unless exempt under 3.2.5.1 Division C of the Building Code</div> <div>HEATHER MIDDLEBROOK 14607</div> <div>NAME SIGNATURE BCIN</div>			PROJECT: PROPOSED DETACHED GARAGE	JOB NUMBER: 23-023
	FIRM BCIN: 108381	<div>REGISTRATION INFORMATION</div> <div>Required unless exempt under 3.2.4.1 Division C of the Building Code</div> <div>FINE LINE DESIGN SERVICES 108381</div> <div>FIRM NAME BCIN</div>			START DATE: Jan 26 2023	DRAWING NUMBER: A2
	DRAWN BY: H.M.			PROJECT ADDRESS: 877 Pine Ave Innisfil	PRINT DATE: Jan 30 2023	



FRONT ELEVATION

REAR ELEVATION

<div><div>FINE LINE DESIGN SERVICES</div><div>GLENN &amp; HEATHER MIDDLEBROOK</div><div>8254 8th Lne Utopia, On</div><div>PHONE (705) 424 8800 CELL (705) 796 8380</div><div>E-MAIL: heather@finelinedrafting.ca</div><div>www.finelinedrafting.ca</div></div>	NOTE: THE CONTRACTOR IS RESPONSIBLE TO CONFIRM ALL DIMENSIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, AND REPORT ANY DISCREPANCIES TO THE DESIGNER. THE CONTRACTOR MUST COMPLY WITH ALL LOCAL AND PROVINCIAL BUILDING CODES		The undersigned has reviewed and takes responsibility for this design, and meets the requirements set out in the 2012 Ontario Building Code to be a designer.		<div>FRONT/REAR ELEVATIONS</div>	CLIENT NAME: Meads		SCALE: 3/16"=1'-0"	
	INDIVIDUAL BCIN: 14607		<div>QUALIFICATION INFORMATION</div> <div>Required unless exempt under 3.2.5.1 Division C of the Building Code</div> <div>HEATHER MIDDLEBROOK 14607</div> <div>NAME SIGNATURE BCIN</div>			PROJECT: PROPOSED DETACHED GARAGE		JOB NUMBER: 23-023	
	FIRM BCIN: 108381		<div>REGISTRATION INFORMATION</div> <div>Required unless exempt under 3.2.4.1 Division C of the Building Code</div> <div>FINE LINE DESIGN SERVICES 108381</div> <div>FIRM NAME BCIN</div>			START DATE: Jan 26 2023		DRAWING NUMBER: A3	
	DRAWN BY: H.M.		PROJECT ADDRESS: 877 Pine Ave Innisfil			PRINT DATE: Jan 30 2023			



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INDIVIDUAL BCIN:	14607
FIRM BCIN:	108381
DRAWN BY:	H.M.

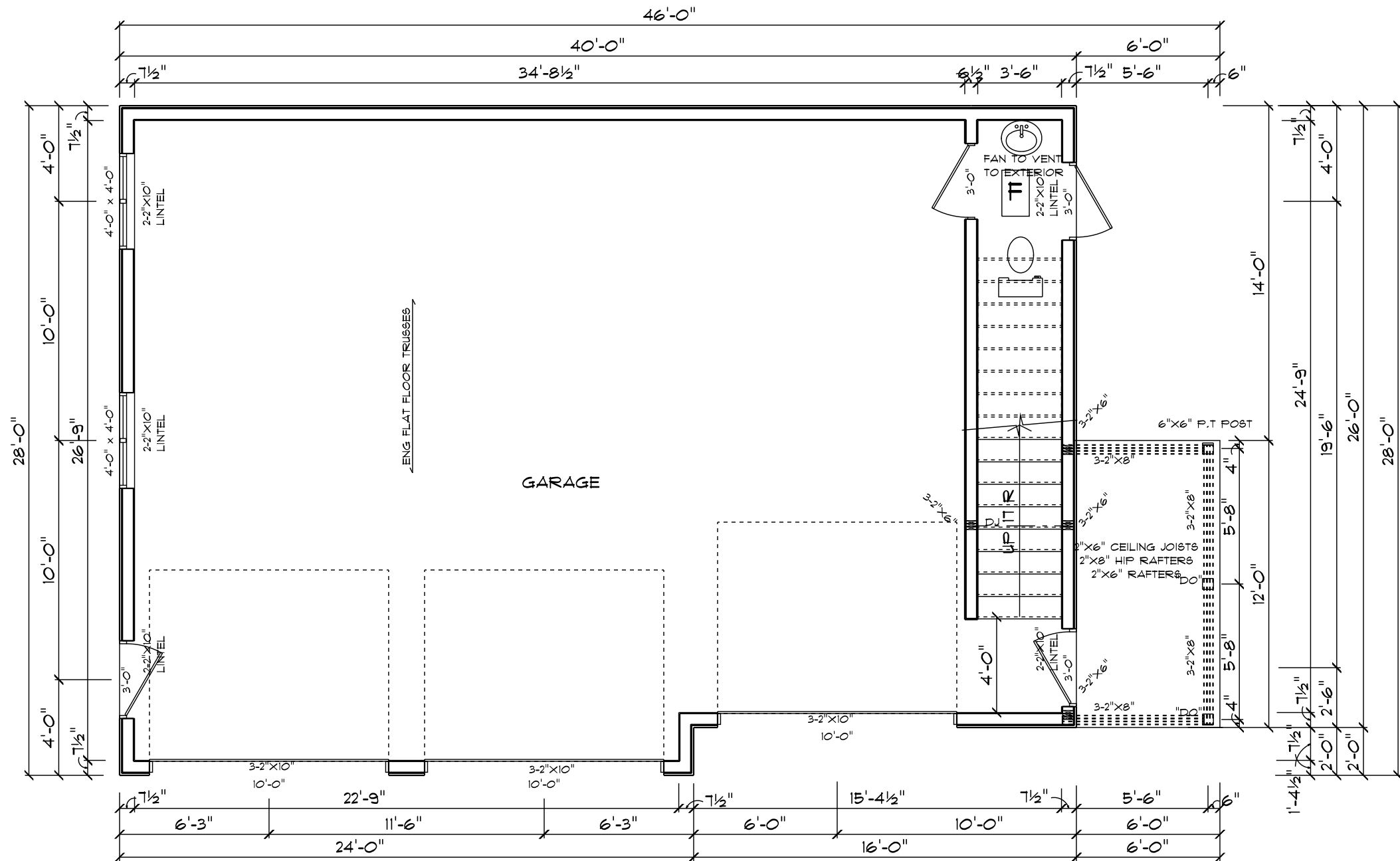
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HEATHER MIDDLEBROOK	14607
NAME	BCIN
<b>REGISTRATION INFORMATION</b>	
Required unless exempt under 3.2.4.1 Division C of the Building Code	
FINE LINE DESIGN SERVICES	108381
FIRM NAME	BCIN

## FOUNDATION

PROJECT ADDRESS: 877 Pine Ave  
Innisfil

CLIENT NAME:	Meads	SCALE:	3/16"=1'-0"
PROJECT:	PROPOSED DETACHED GARAGE	JOB NUMBER:	23-023
START DATE:	Jan 26 2023	DRAWING NUMBER:	A4
PRINT DATE:	Jan 30 2023		



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FIRM BCIN:	108381
DRAWN BY:	H.M.

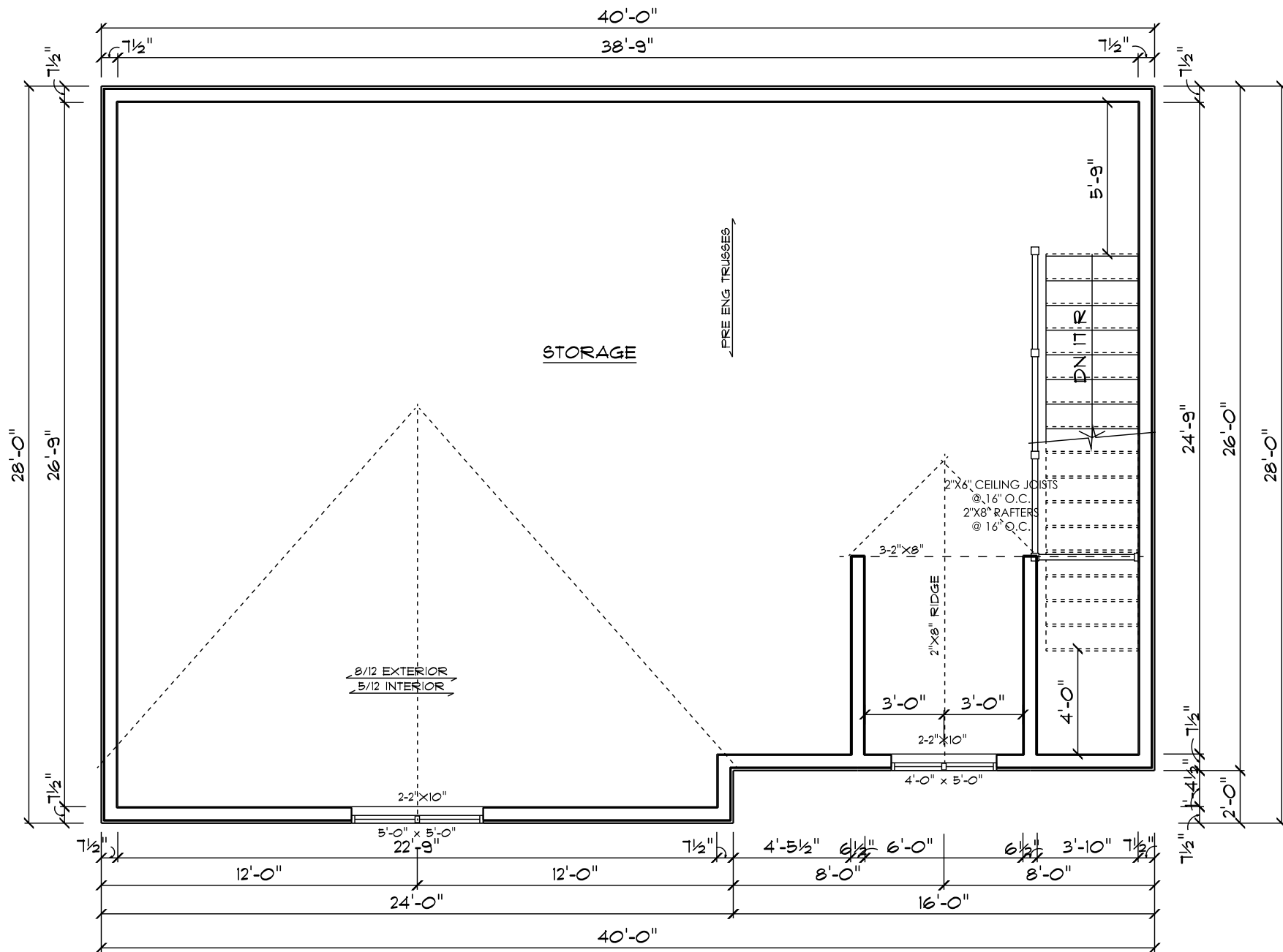
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HEATHER MIDDLEBROOK NAME	14607 BCIN
<b>REGISTRATION INFORMATION</b> Required unless exempt under 3.2.4.1 Division C of the Building Code	
FINE LINE DESIGN SERVICES FIRM NAME	108381 BCIN

## MAIN FLOOR

PROJECT ADDRESS: 877 Pine Ave  
Innisfil

CLIENT NAME:	Meads	SCALE:	3/16"=1'-0"
PROJECT:	PROPOSED DETACHED GARAGE	JOB NUMBER:	23-023
START DATE:	Jan 26 2023	DRAWING NUMBER:	A5
PRINT DATE:	Jan 30 2023		



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NAME	BCIN
<b>REGISTRATION INFORMATION</b>	
Required unless exempt under 3.2.4.1 Division C of the Building Code	
FINE LINE DESIGN SERVICES	108381
FIRM NAME	BCIN

<b>STORAGE FLOOR</b>	
PROJECT ADDRESS:	877 Pine Ave Innisfil

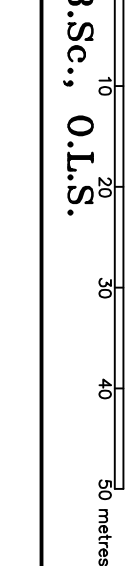
CLIENT NAME:	Meads
PROJECT:	PROPOSED DETACHED GARAGE
START DATE:	Jan 26 2023
PRINT DATE:	Jan 30 2023

SCALE:	3/16"=1'-0"
JOB NUMBER:	23-023
DRAWING NUMBER:	A6



SURVEYOR'S REAL PROPERTY REPORT

**PART 1:**  
**PLAN OF SURVEY**  
**PART OF LOT 38, REGISTERED PLAN 54**  
**TOWN OF INNISFIL**  
**COUNTY OF SIMCOE**  
**SCALE 1 : 750**  
**E. W. BOWYER B.Sc., O.L.S.**



**PART 2: REPORT**

- 1 – THIS REPORT WAS PREPARED FOR BEACONRIDGE HOMES.  
2 – BOUNDARIES CONFORM TO DEPOSITED PLAN 51R-40917  
3 – SUBJECT TO EASEMENT AS IN INST. N° SC1237304.  
4 – NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

**NOTES**

BEARINGS ARE GRID, DERIVED FROM OBSERVED REFERENCE POINTS (ORP's) A AND B, BY REAL TIME NETWORK OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS) (2002.0).

- ☐ DENOTES SURVEY MONUMENT PLANTED  
☒ DENOTES SURVEY MONUMENT FOUND  
SIB DENOTES STANDARD IRON BAR  
IP DENOTES IRON PIPE  
P1 DENOTES REGISTERED PLAN 54  
P2 DENOTES DEPOSITED PLAN 51R-15837  
PIN 58055-0019  
615 DENOTES U. DIAMOND, O.L.S.  
1035 DENOTES R. WEISMAM, O.L.S.  
1403 DENOTES W. SMITH, O.L.S.  
1255 DENOTES R. RAIKES, O.L.S.  
M DENOTES R. MAK O.L.S.(18/06/91)  
MEAS DENOTES MEASURED

DISTANCES ON THIS PLAN ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999712  
FOUND BARS ARE MARKED 1530 UNLESS NOTED OTHERWISE.

**INTEGRATION DATA**

OBSERVED REFERENCE POINTS (ORP's) DERIVED FROM GPS OBSERVATIONS USING THE SMARTNET NETWORK SERVICE AND ARE REFERRED TO MTM ZONE 17, NAD83 (CSRS) (2002.0).  
COORDINATE VALUES ARE TO AN URBAN ACCURACY IN ACCORDANCE WITH SECTION 14 (2) OF O.REG. 216/10.

POINT ID	NORTHING	EASTING	REMARKS
ORP A	4901967.041	615800.481	SPIKE
ORP B	4902052.570	615782.474	SPIKE

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES.

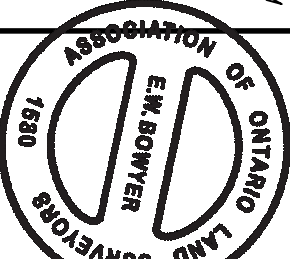
**METRIC** DISTANCES AND/OR COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**SURVEYOR'S CERTIFICATE**

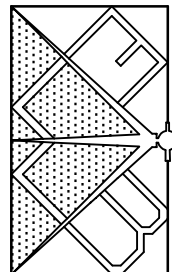
ASSOCIATION OF ONTARIO LAND SURVEYORS

PLAN SUBMISSION FORM

10033331



I CERTIFY THAT:  
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT AND THE SURVEYOR'S ACT AND THE REGULATIONS MADE UNDER THEM.  
2. THE SURVEY WAS COMPLETED ON 18 NOVEMBER 2019.  
DATE: 7 JULY 2020  
E. W. BOWYER B.Sc., O.L.S.



**E. W. BOWYER INC.**  
ONTARIO LAND SURVEYOR  
9275 HIGHWAY N° 48, SUITE 201A  
MARKHAM, ONTARIO, L6E 1A3  
PHONE (905)–294–8093  
FAX (905) 294–8349

