



**COMMITTEE OF ADJUSTMENT NOTICE OF PUBLIC HEARING
APPLICATION NO. A-085-2022**

TAKE NOTICE that an application has been received by the Town of Innisfil from **Tony Troiano, Owner**, for a minor variance from Zoning By-law 080-13, pursuant to Section 45 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended.

The subject property is described legally as **CON 2 S PT LOT 20**, is known municipally as **1596 2nd Line**, and is zoned as **"Agricultural (AG)"**.

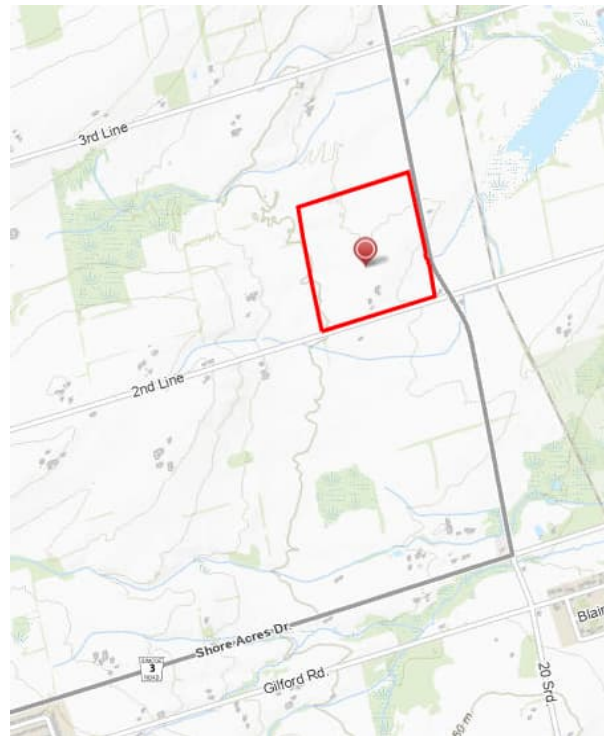
The applicant is proposing to construct a second dwelling located over 60 m away from the principal dwelling. The applicant is seeking relief from Section 3.5 (i) of the Zoning By-law which allows for a maximum distance of 60 m from the principal dwelling.

The Committee of Adjustment for the Town of Innisfil will consider this application through a conference call on **Thursday, December 8, 2022, at 6:30 PM**.

To participate in the hearing and/or provide comments, you must register by following the link below or scanning the above QR code:
<https://innisfil.ca/en/building-and-development/committee-of-adjustment-hearings.aspx>

Requests can also be submitted in writing to: Town of Innisfil Committee of Adjustment, 2101 Innisfil Beach Road, Innisfil, Ontario, L9S 1A1 or by email to planning@innisfil.ca.

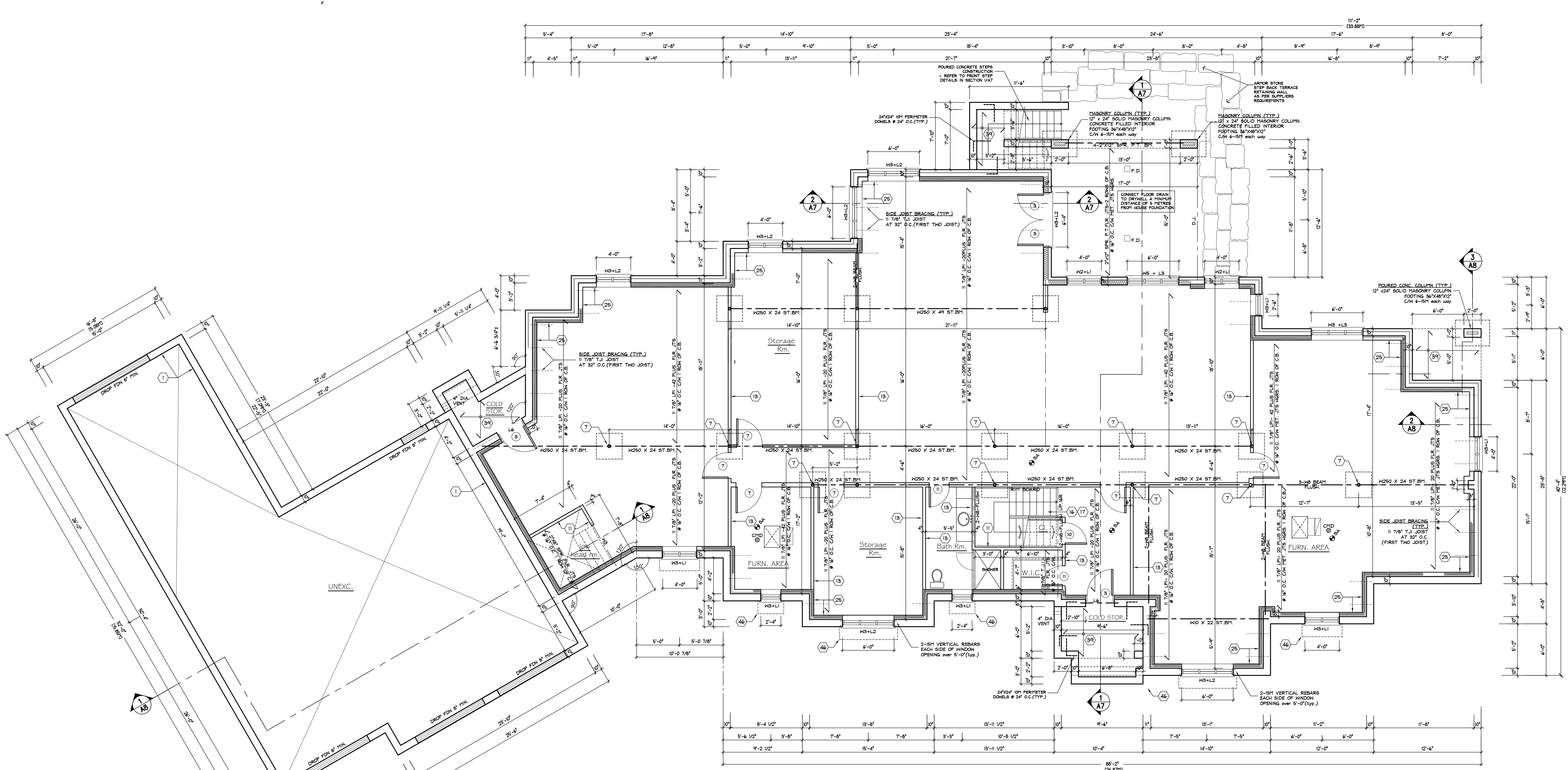
If you wish to receive a copy of the decision of the Committee of Adjustment in respect of the proposed minor variance, you must make a written request to the Secretary-Treasurer of the Committee of Adjustment by way of email or regular mail. The Notice of Decision will also explain the process for appealing a decision to the Local Planning Appeal Tribunal.



Additional information relating to the proposed application is available on the Town of Innisfil website. Accessible formats are available on request, to support participation in all aspects of the feedback process. To request an alternate format please contact Planning Services at planning@innisfil.ca.

Dated: **November 21, 2022**

Toomaj Haghshenas,
Secretary-Treasurer
thaghsheenas@innisfil.ca
705-436-3710 ext. 3316



1 BASEMENT FLOOR PLAN
A2 SCALE: 3/16"=1'-0"

- LEGEND / PLANS
- CLASS B VENT
 - DRAULIC VENT
 - DUPLEX OUTLET (12" HIGH)
 - DUPLEX OUTLET (HEIGHT AS NOTED)
 - WATERPROOF DRAINAGE
 - HEAVY DUTY OUTLET
 - DJ DOUBLE JOIST
 - TJ TRIPLE JOIST
 - P.T. PRESSURE TREATED LUMBER
 - G.T. GIRDER TRUSS
 - SMOKE ALARM
 - CARBON MONOXIDE DETECTOR
 - FLOOR DRAIN
 - POI LIGHT (LOW VOLTAGE)
 - HANGING LIGHT
 - LIGHT FIXTURE (PULL CHAIN)
 - LIGHT FIXTURE (WALL MOUNTED)
 - SWITCH
 - SWITCH W/ DIMMER
 - SWITCH (DUPLEX)
 - HOSE DIB
 - DOUBLE VOLUME WALL (3/2"x4" (2 JACK STUDS))
 - SOLID BEARING
 - POINT LOAD
 - T.V. OUTLET
 - TELEPHONE OUTLET

STEEL LINTEL SCHEDULE	
L1 = L- 3 1/2" X 3 1/2" X 1/4"	ST. ANGLE = 3'-11" MAX. SPAN(7.9)
L2 = L- 4" X 3 1/2" X 5/16"	ST. ANGLE = 5'-11" MAX. SPAN(8.2)
L3 = L- 5" X 3 1/2" X 5/16"	ST. ANGLE = 7'-10" MAX. SPAN(10.1)
L4 = L- 5" X 3 1/2" X 3/8"	ST. ANGLE = 8'-10" MAX. SPAN(10.8)
L5 = L- 6" X 4" X 3/8"	ST. ANGLE = 9'-10" MAX. SPAN(11.6)
L6 = 3-15M REBARS	
WOOD LINTEL SCHEDULE (2-PLY WOOD MEMBERS)	
W1 = 2-2" X 8" SPRUCE No.1	(LVL- 20 1-E Grade)
W2 = 2-2" X 10" SPRUCE No.1	W7 = 1 3/4" X 9 1/2" LVL
W3 = 2-2" X 12" SPRUCE No.1	W8 = 1 3/4" X 11 7/8" LVL
	W9 = 1 3/4" X 14" LVL
	W10 = 1 3/4" X 16" LVL
(3-PLY WOOD MEMBERS)	
W4 = 3-2" X 8" SPRUCE No.1	
W5 = 3-2" X 10" SPRUCE No.1	
W6 = 3-2" X 12" SPRUCE No.1	

No.	ISSUED FOR	DATE
1	PERMIT APPLICATION-	08/08/22

No.	REVISIONS	DATE
1	FLOOR JOIST ALTERATION	31/08/22

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.5.1 of the building code

FRANK BEALDI 25554 BCIN JUN.08/22

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.1 of the building code

ARCA DESIGN INC. 30785 BCIN

GENERAL NOTE:

This drawing, as an instrument of service, is provided by and is the property of the DESIGNER. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the DESIGNER of any variations from the supplied information. The Designer is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., engineering information shown on this drawing. Refer to the appropriate engineering drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction. This drawing is not to be scaled.



Planning & Design

202-A Oakdale Road, Suite 2
North York, Ontario. M3N 2S5
(416) 745-2940

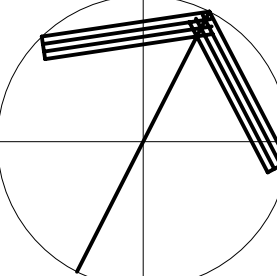
DRAWING TITLE:

BASEMENT FLOOR PLAN

PROJECT:

PROPOSED S.F.D. RESIDENCE

1596b 2nd LINE
INNISFIL, ON



SCALE: AS NOTED

DRAWN: F.B.

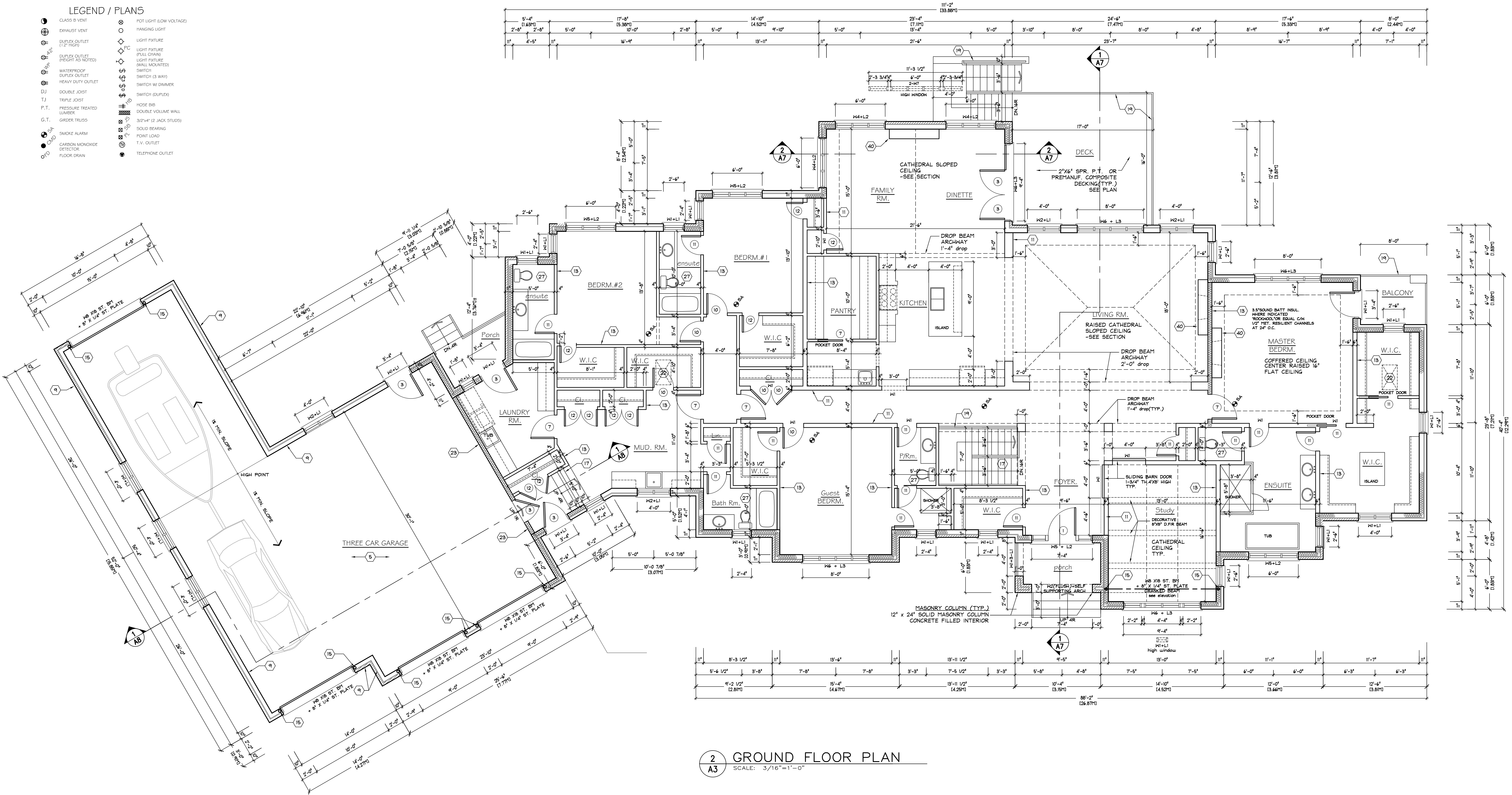
CHECKED BY: F.B.

FILE NO: -

DATE: MAY.2022

DRAWING No.

A-2



2 GROUND FLOOR PLAN
A3 SCALE: 3/16"=1'-0"

No.	ISSUED FOR	DATE
1	PERMIT APPLICATION-	08/08/22

No.	REVISIONS	DATE

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QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.4.1 of the building code

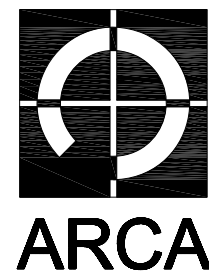
FRANK BECHER 2554 BC/NJ
JUN. 08/22

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.1 of the building code

ARCA DESIGN INC. 30785 BC/NJ
Firm Name BC/NJ

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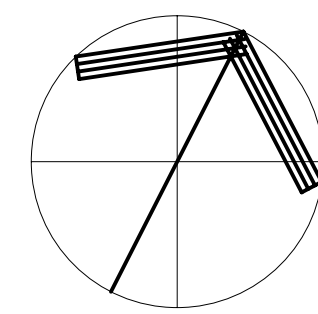
Planning & Design

202-A Oakdale Road, Suite 2
North York, Ontario. M3N 2S5
(416) 745-2940

DRAWING TITLE:
GROUND FLOOR PLAN

PROJECT:
PROPOSED S.F.D. RESIDENCE

1596b 2nd LINE
INNISFIL, ON



SCALE: A5 NOTED
DRAWN: F.B.
CHECKED BY: F.B.
FILE NO: -
DATE: MAY.2022

DRAWING No.

A-3

INTERIOR TRIM-POPULAR PAINT GRADE
GROUND FLOOR: Baseboard 9.25" high
plus shoe mould -1 5/8"
Casing 3.5" plus 1"x1.5" backband
BASEMENT FLOOR: Baseboard 5.25" high
plus shoe mould -1 5/8"
Casing 3.5" plus 1"x1.5" backband

STEEL LINTEL SCHEDULE

L1 = L- 3 1/2" X 3 1/2" X 1/4" ST. ANGLE =3'-11" MAX. SPAN(7.9)
L2 = L- 4" X 3 1/2" X 5/16" ST. ANGLE =5'-11" MAX. SPAN(8.2)
L3 = L- 5" X 3 1/2" X 5/16" ST. ANGLE =7'-10" MAX. SPAN(10.1)
L4 = L- 5" X 3 1/2" X 3/8" ST. ANGLE =8'-10" MAX. SPAN(10.8)
L5 = L- 6" X 4" X 3/8" ST. ANGLE =9'-10" MAX. SPAN(11.6)
L6 = 3-15M REBARS

WOOD LINTEL SCHEDULE

(2-PLY WOOD MEMBERS)

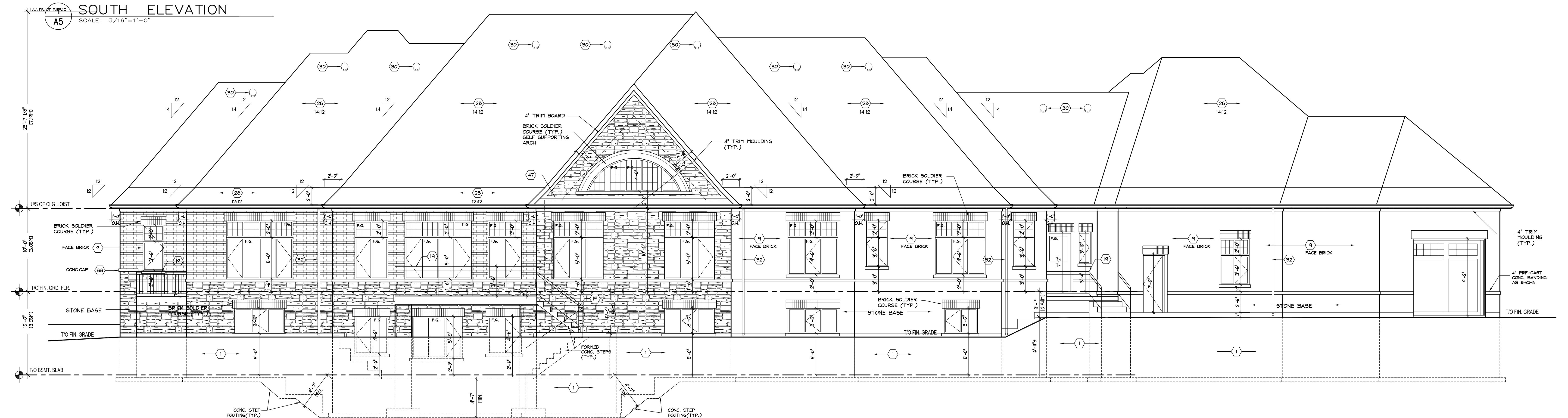
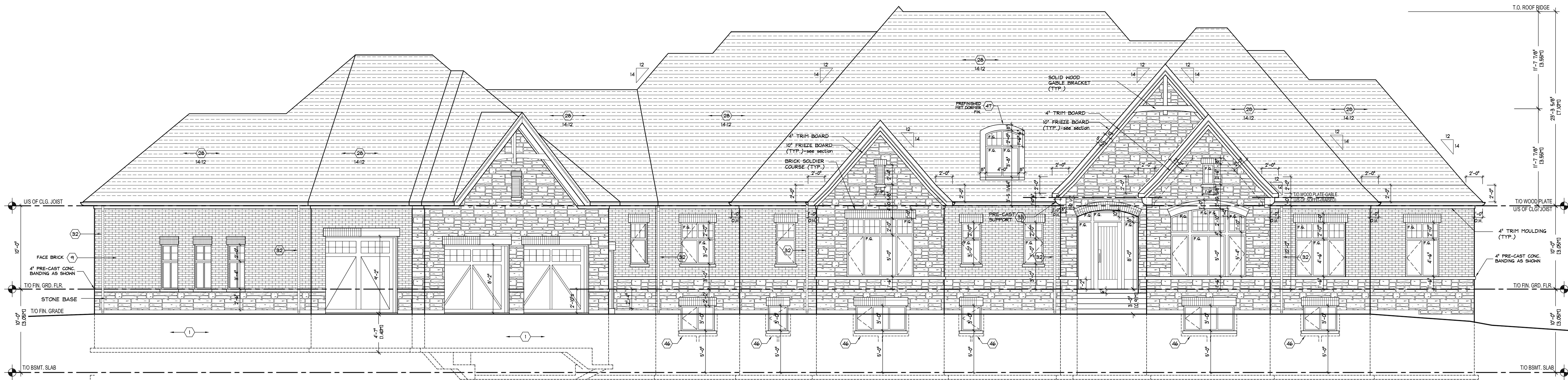
W1 = 2-2" X 8" SPRUCE No.1
W2 = 2-2" X 10" SPRUCE No.1
W3 = 2-2" X 12" SPRUCE No.1

(3-PLY WOOD MEMBERS)

W4 = 3-2" X 8" SPRUCE No.1
W5 = 3-2" X 10" SPRUCE No.1
W6 = 3-2" X 12" SPRUCE No.1

(LVL- 20 f-E Grade)

W7 = 1 3/4" X 9 1/2" LVL
W8 = 1 3/4" X 11 7/8" LVL
W9 = 1 3/4" X 14" LVL
W10 = 1 3/4" X 16" LVL



No.	ISSUED FOR	DATE
1	PERMIT APPLICATION-	08/08/22

No.	REVISIONS	DATE

The undersigned has reviewed & taken responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Required unless design is exempt under 3.2.3.1 of the building code

FRANK BRADY 25504 BCN# JUN.08/22 Date

Signature *Frank Brady*

REGISTRATION INFORMATION

Required unless design is exempt under 3.2.4.1 of the building code

ARCA DESIGN INC. 30785 BCN# Form Name

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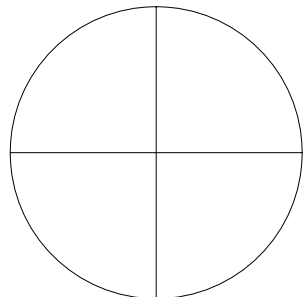
DRAWING TITLE:

**SOUTH/NORTH
ELEVATIONS**

PROJECT:

**PROPOSED
S.F.D. RESIDENCE**

1596b 2nd LINE
INNISFIL, ON



SCALE:
A5 NOTED

DRAWN:
F.B.

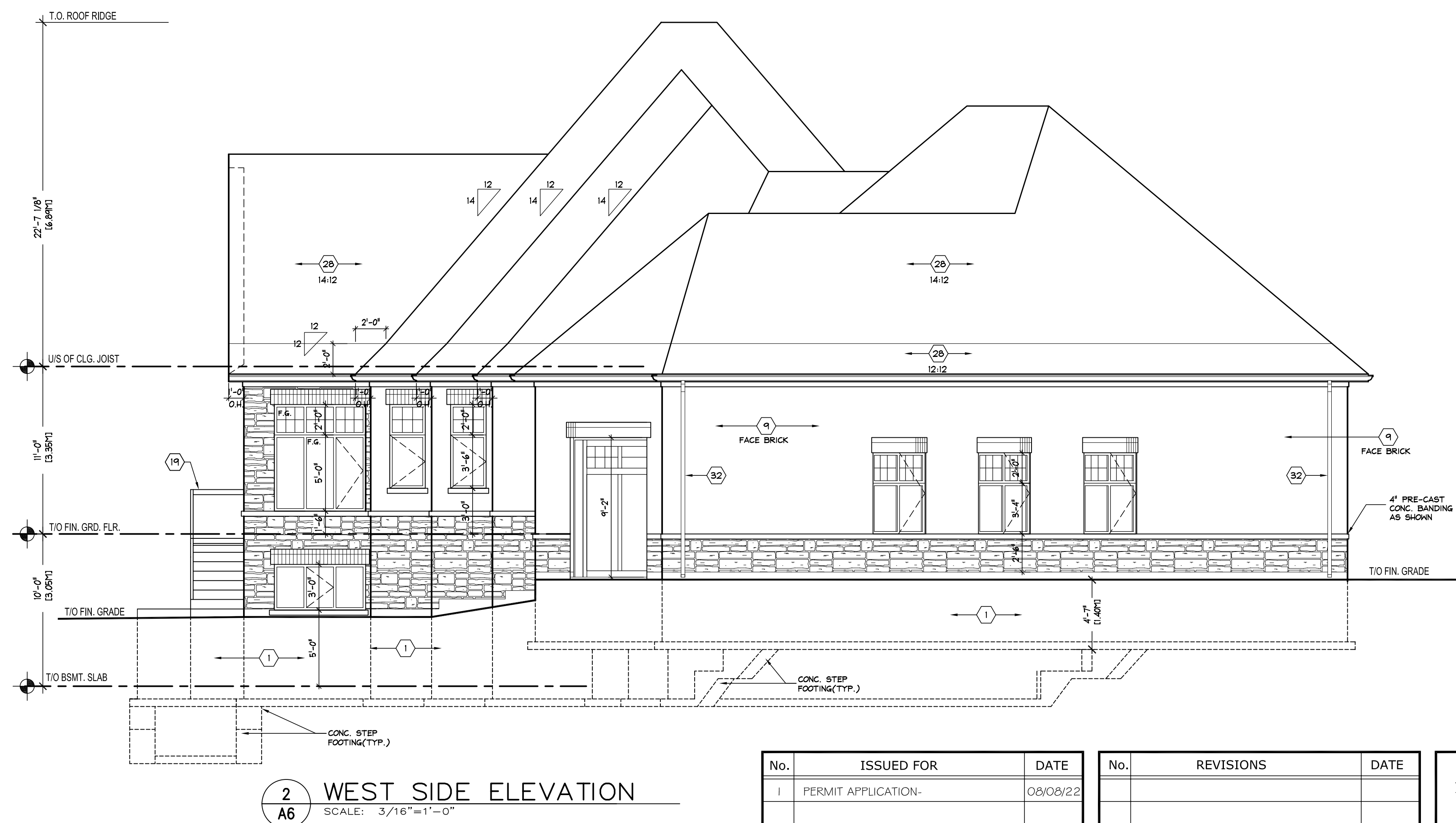
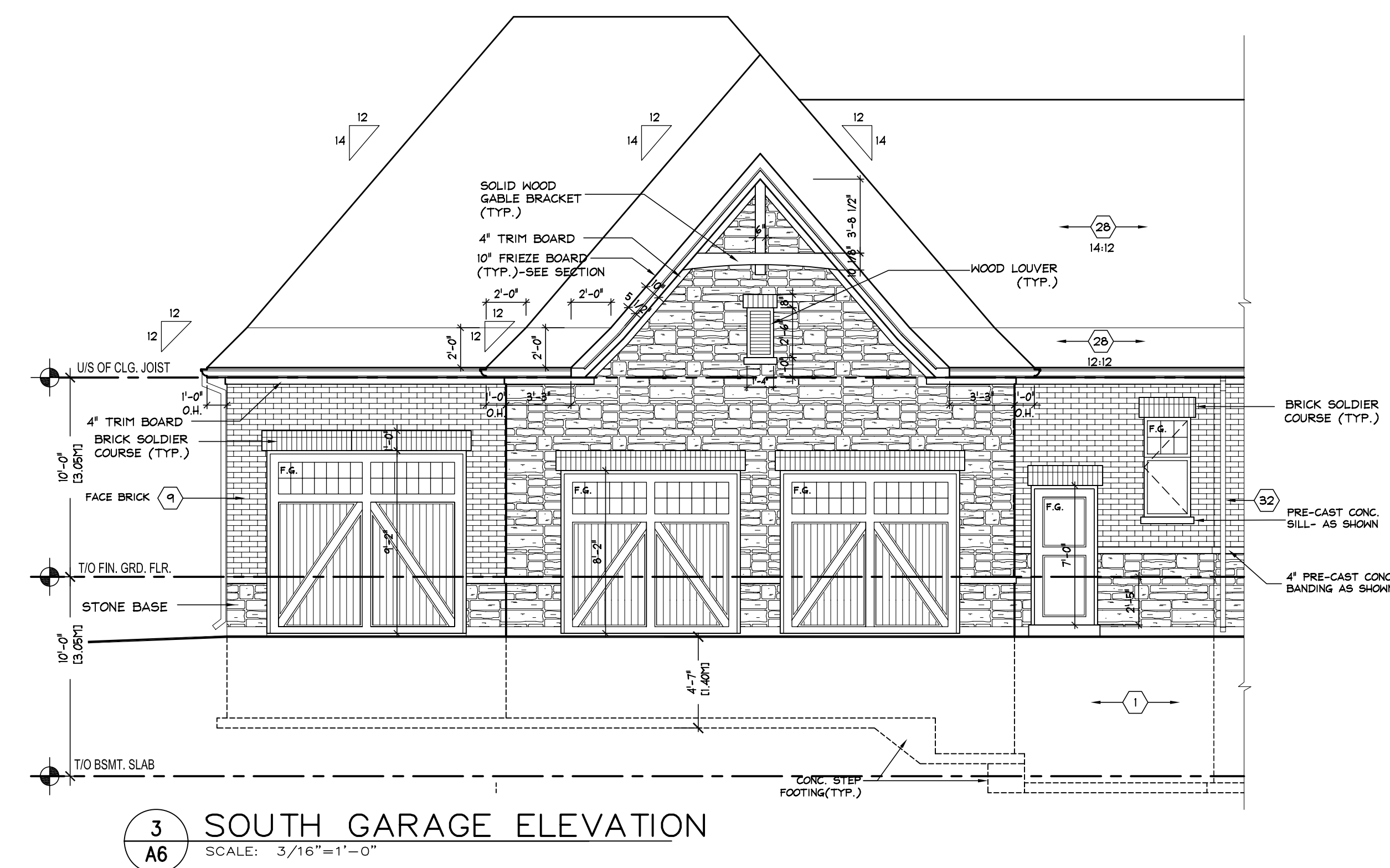
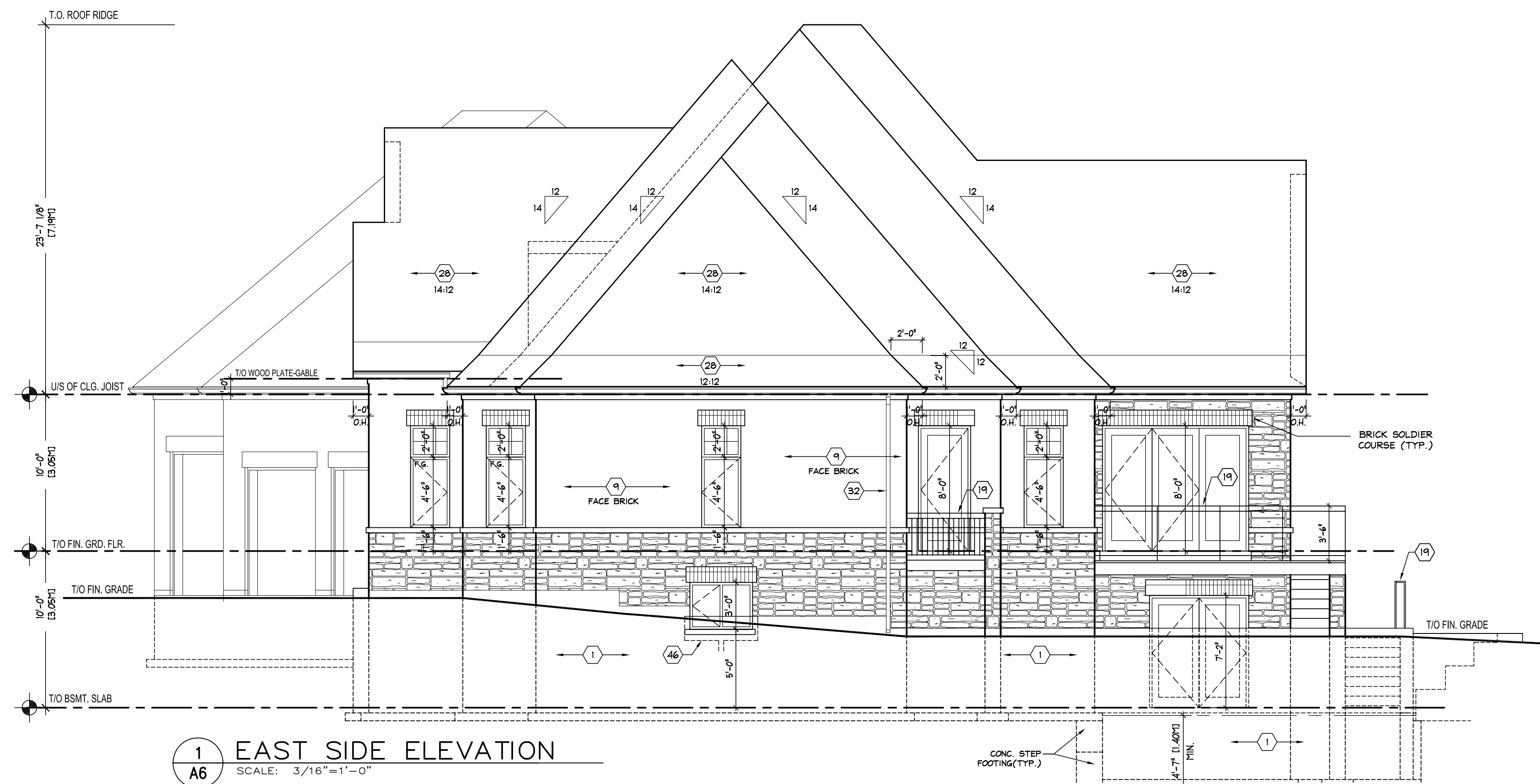
CHECKED BY:
F.B.

FILE NO:
-

DATE:
MAY.2022

DRAWING No.

A-5



No.	ISSUED FOR	DATE
I	PERMIT APPLICATION-	03/03/2

[illegible]

GENERAL NOTE:

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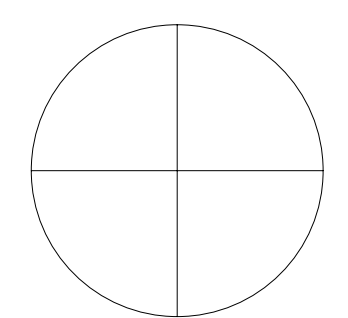
DRAWING TITLE:

GARAGE ELEVATION SIDE ELEVATIONS

PROJECT:

PROPOSED
S.F.D. RESIDENCE

1596b 2nd LINE
INNISFIL. ON



SCALE: _____

DRAWN: F B

CHECKED BY:
E.B.

FILE NO:

DATE: MAY.2022

DRAWING No.

A-6

[illegible]

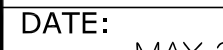
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STORAGE GARAGE PLAN+ELEVATIONS


























PROPOSED
STORAGE GARAGE BUILDING

I 596b 2nd LINE
INNISFIL, ON



A-9

LEGEND / PLANS

	CLASS B VENT		POT LIGHT (LOW VOLTAGE)
	EXHAUST VENT		HANGING LIGHT
	DUPLEX OUTLET (12" HIGH)		LIGHT FIXTURE
	DUPLEX OUTLET (HEIGHT AS NOTED)		LIGHT FIXTURE (PLA CHANN)
	WATERPROOF DUPLEX OUTLET		LIGHT FIXTURE (WALL MOUNTED)
	HEAVY DUTY OUTLET		SWITCH
	DOUBLE JOIST		SWITCH (3 WAY)
	TRIPLE JOIST		SWITCH w/ DIMMER
	PRESSURE TREATED LUMBER		NOSE BIB
	GRIPTRUCK		DOUBLE VOLUME WALL
	SMOKE ALARM		3/2"x4" (2 JACK STUD)
	CARBON MONOXIDE DETECTOR		SOLID BEARING
	FLOOR DRAIN		POINT LOAD
			T.V. OUTLET
			TELEPHONE OUTLET

L1 = L - 3' 1/2" X 3' 1/2" X 1/4"	ST. ANGLE = 3°-11" MAX. SPAN(7.9)
L2 = L - 4" X 3' 1/2" X 5/16"	ST. ANGLE = 5°-11" MAX. SPAN(8.2)
L3 = L - 5" X 3' 1/2" X 5/16"	ST. ANGLE = 7°-10" MAX. SPAN(8.1)
L4 = L - 5" X 3' 1/2" X 3/8"	ST. ANGLE = 8°-10" MAX. SPAN(10.8)
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L6 = 3-15M REBARS	

W1 = 2-2" X 8" SPRUCE No.1
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(3-PLY WOOD MEMBERS)

W4 = 3-2" X 8"	SPRUCE No.1
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ST. ANGLE = 3'-11" MAX. SPAN(7.9)
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ST. ANGLE = 7'-10" MAX. SPAN(10.1)
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