



**COMMITTEE OF ADJUSTMENT NOTICE OF PUBLIC HEARING
APPLICATION NO. A-084-2022**

TAKE NOTICE that an application has been received by the Town of Innisfil from **Tony Troiano, Owner**, for a minor variance from Zoning By-law 080-13, pursuant to Section 45 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended.

The subject property is described legally as **CON 2 S PT LOT 20**, is known municipally as **1596 2nd Line**, and is zoned as **"Agricultural (AG)"**.

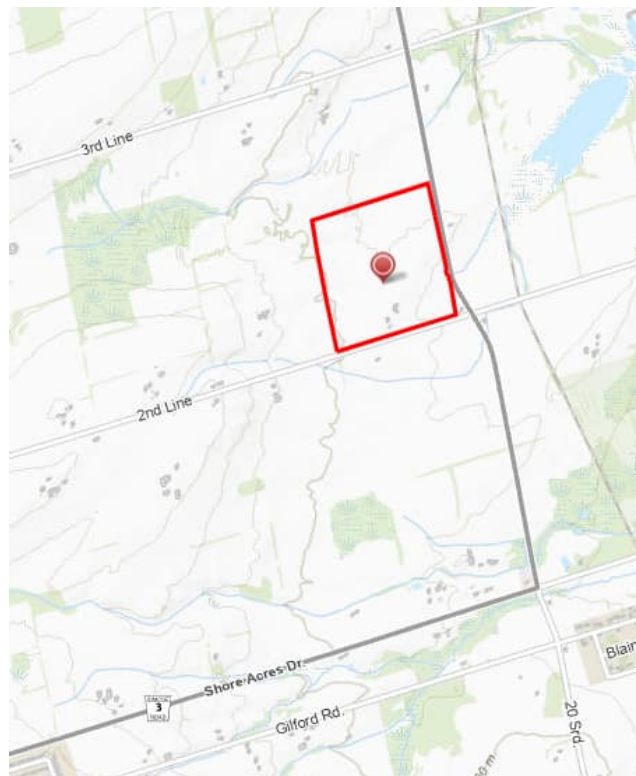
The applicant is proposing to construct a second dwelling with a height of 11m. The applicant is seeking relief from Section 3.5 (g) of the Zoning By-law which states that a maximum height for a detached accessory dwelling shall not exceed the height of the principal dwelling or 6m, whichever is less.

The Committee of Adjustment for the Town of Innisfil will consider this application through a conference call on **Thursday, December 8, 2022, at 6:30 PM.**

To participate in the hearing and/or provide comments, you must register by following the link below or scanning the above QR code:
<https://innisfil.ca/en/building-and-development/committee-of-adjustment-hearings.aspx>

Requests can also be submitted in writing to: Town of Innisfil Committee of Adjustment, 2101 Innisfil Beach Road, Innisfil, Ontario, L9S 1A1 or by email to planning@innisfil.ca.

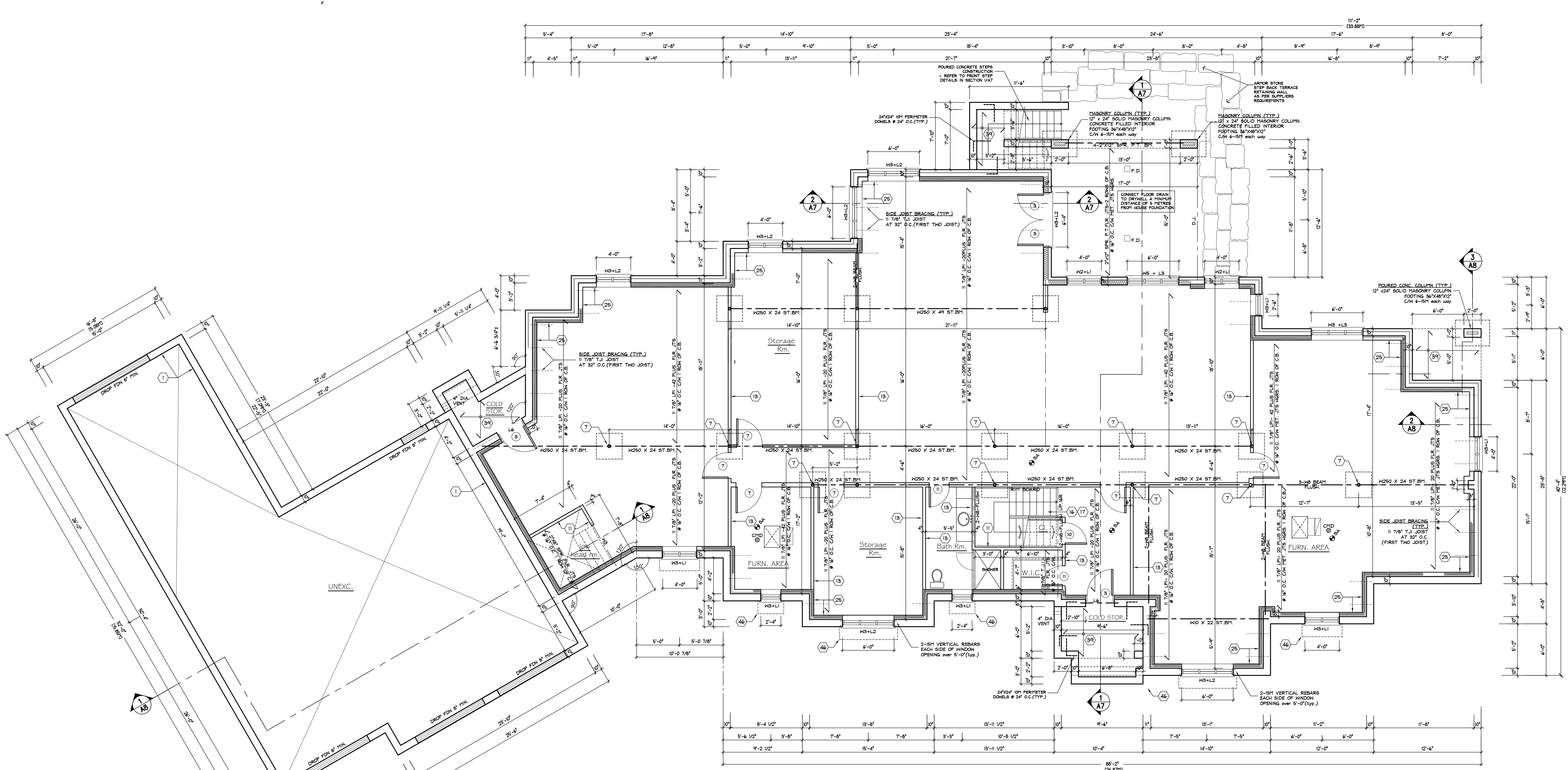
If you wish to receive a copy of the decision of the Committee of Adjustment in respect of the proposed minor variance, you must make a written request to the Secretary-Treasurer of the Committee of Adjustment by way of email or regular mail. The Notice of Decision will also explain the process for appealing a decision to the Local Planning Appeal Tribunal.



Additional information relating to the proposed application is available on the Town of Innisfil website. Accessible formats are available on request, to support participation in all aspects of the feedback process. To request an alternate format please contact Planning Services at planning@innisfil.ca.

Dated: **November 21, 2022**

Toomaj Haghshenas,
Secretary-Treasurer
thaghsheenas@innisfil.ca
705-436-3710 ext. 3316



1
A2 **BASEMENT FLOOR PLAN**
SCALE: 3/16"=1'-0"

- LEGEND / PLANS**
- CLASS B VENT
 - DRAULIC VENT
 - DUPLEX OUTLET (12" HIGH)
 - DUPLEX OUTLET (HEIGHT AS NOTED)
 - WATERPROOF DRAINAGE
 - HEAVY DUTY OUTLET
 - DJ DOUBLE JOIST
 - TJ TRIPLE JOIST
 - P.T. PRESSURE TREATED LUMBER
 - G.T. GIRDER TRUSS
 - SMOKE ALARM
 - CARBON MONOXIDE DETECTOR
 - FLOOR DRAIN
 - POI LIGHT (LOW VOLTAGE)
 - HANGING LIGHT
 - LIGHT FIXTURE (PULL CHAIN)
 - LIGHT FIXTURE (WALL MOUNTED)
 - SWITCH
 - SWITCH W/ DIMMER
 - SWITCH (DUPLEX)
 - HOSE DIB
 - DOUBLE VOLUME WALL (3/2"X4" (2 JACK STUDS))
 - SOLID BEARING
 - POINT LOAD
 - T.V. OUTLET
 - TELEPHONE OUTLET

STEEL LINTEL SCHEDULE	
L1 = L- 3 1/2" X 3 1/2" X 1/4"	ST. ANGLE = 3'-11" MAX. SPAN(7.9)
L2 = L- 4" X 3 1/2" X 5/16"	ST. ANGLE = 5'-11" MAX. SPAN(8.2)
L3 = L- 5" X 3 1/2" X 5/16"	ST. ANGLE = 7'-10" MAX. SPAN(10.1)
L4 = L- 5" X 3 1/2" X 3/8"	ST. ANGLE = 8'-10" MAX. SPAN(10.8)
L5 = L- 6" X 4" X 3/8"	ST. ANGLE = 9'-10" MAX. SPAN(11.6)
L6 = 3-15M REBARS	
WOOD LINTEL SCHEDULE (2-PLY WOOD MEMBERS)	
W1 = 2-2" X 8" SPRUCE No.1	(LVL- 20 1-E Grade)
W2 = 2-2" X 10" SPRUCE No.1	W7 = 1 3/4" X 9 1/2" LVL
W3 = 2-2" X 12" SPRUCE No.1	W8 = 1 3/4" X 11 7/8" LVL
	W9 = 1 3/4" X 14" LVL
	W10 = 1 3/4" X 16" LVL
(3-PLY WOOD MEMBERS)	
W4 = 3-2" X 8" SPRUCE No.1	
W5 = 3-2" X 10" SPRUCE No.1	
W6 = 3-2" X 12" SPRUCE No.1	

No.	ISSUED FOR	DATE
1	PERMIT APPLICATION-	08/08/22

No.	REVISIONS	DATE
1	FLOOR JOIST ALTERATION	31/08/22

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.5.1 of the building code

FRANK BELLINI 25554 BCIN JUN.08/22

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.1 of the building code

ARCA DESIGN INC. 30785 BCIN

GENERAL NOTE:

This drawing, as an instrument of service, is provided by and is the property of the DESIGNER. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the DESIGNER of any variations from the supplied information. The Designer is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., engineering information shown on this drawing. Refer to the appropriate engineering drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction. This drawing is not to be scaled.



Planning & Design

202-A Oakdale Road, Suite 2
North York, Ontario. M3N 2S5
(416) 745-2940

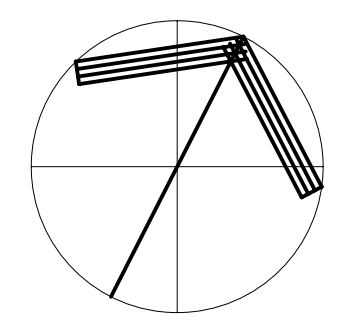
DRAWING TITLE:

BASEMENT FLOOR PLAN

PROJECT:

PROPOSED S.F.D. RESIDENCE

1596b 2nd LINE
INNISFIL, ON



SCALE: A5 NOTED

DRAWN: F.B.

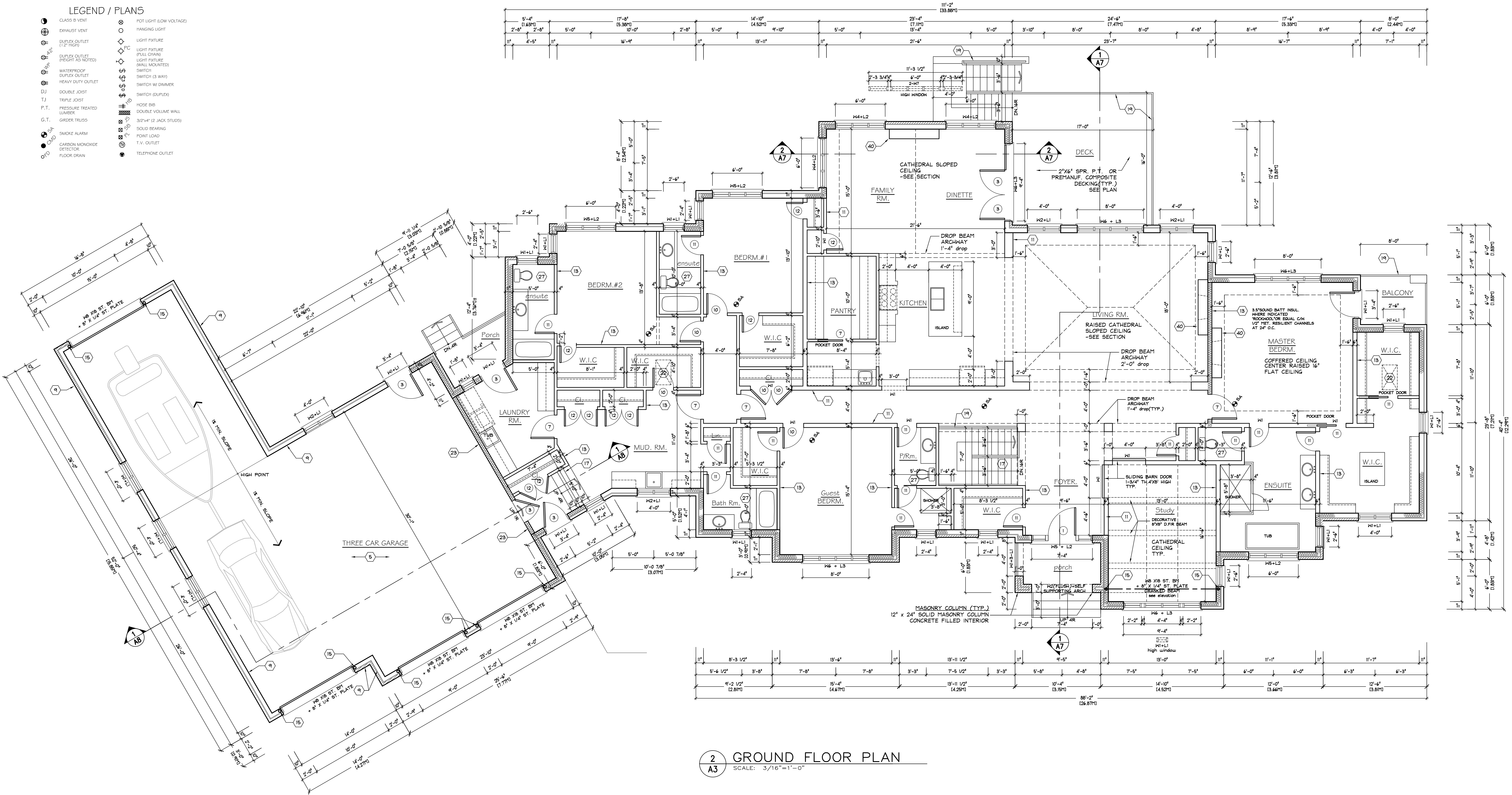
CHECKED BY: F.B.

FILE NO: -

DATE: MAY.2022

DRAWING No.

A-2



INTERIOR TRIM-POPULAR PAINT GRADE
GROUND FLOOR: Baseboard 9.25" high
plus shoe mould -1 5/8"
Casing 3.5" plus 1"x1.5" backband
BASEMENT FLOOR: Baseboard 5.25" high
plus shoe mould -1 5/8"
Casing 3.5" plus 1"x1.5" backband

STEEL LINTEL SCHEDULE	
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L5 = L- 6" X 4" X 3/8"	ST. ANGLE =9'-10" MAX. SPAN(11.6)
L6 = 3-15M REBARS	

WOOD LINTEL SCHEDULE	
(2-PLY WOOD MEMBERS)	
W1 = 2-2" X 8" SPRUCE No.1	(LVL- 20 f-E Grade)
W2 = 2-2" X 10" SPRUCE No.1	W7 = 1 3/4" X 9 1/2" LVL
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1	PERMIT APPLICATION-	08/08/22

No.	REVISIONS	DATE

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QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.4.1 of the building code

FRANK BECHER 2554 BCIN

Frank Becher JUN.08/22 Date

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.1 of the building code

ARCA DESIGN INC. 30785 BCIN

Firm Name BCIN

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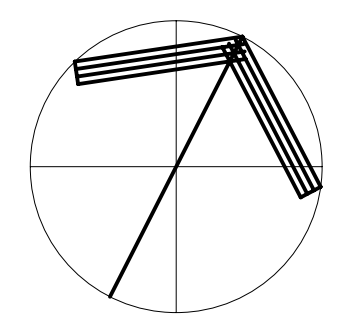
DRAWING TITLE:

**GROUND
FLOOR PLAN**

PROJECT:

**PROPOSED
S.F.D. RESIDENCE**

1596b 2nd LINE
INNISFIL, ON



SCALE:
AS NOTED

DRAWN:
F.B.

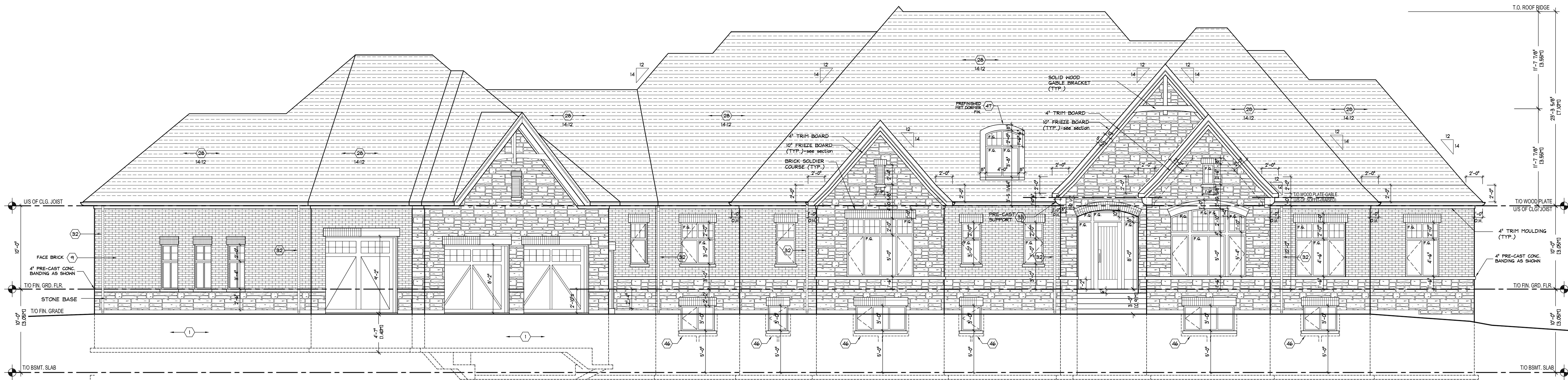
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FILE NO:
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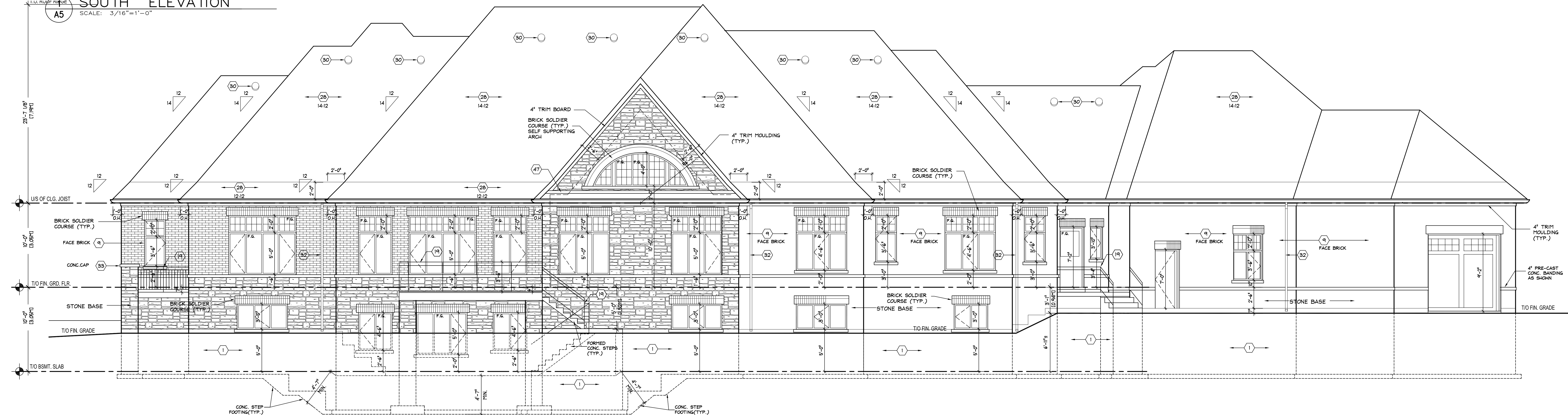
DATE:
MAY.2022

DRAWING No.

A-3



1.50' PLUMB RUMBLE
A5 SOUTH ELEVATION
SCALE: 3/16"=1'-0"



2
A5 NORTH SIDE ELEVATION
SCALE: 3/16"=1'-0"

No.	ISSUED FOR	DATE
1	PERMIT APPLICATION-	08/08/22

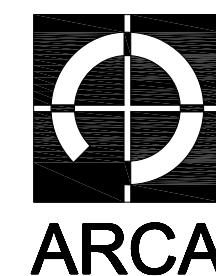
No.	REVISIONS	DATE

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QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.3.1 of the building code
FRANK BRADY 25504 BCN# JUN.08/22 Date
Frank Brady Signature
REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.1 of the building code
ARCA DESIGN INC. 30785 BCN# Form Name

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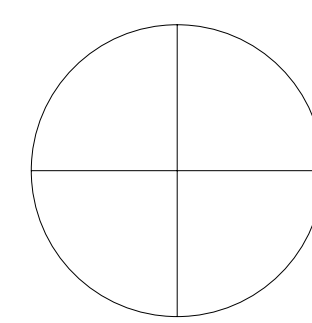
DRAWING TITLE:

SOUTH/NORTH
ELEVATIONS

PROJECT:

PROPOSED
S.F.D. RESIDENCE

1596b 2nd LINE
INNISFIL, ON



SCALE:
A5 NOTED

DRAWN:
F.B.

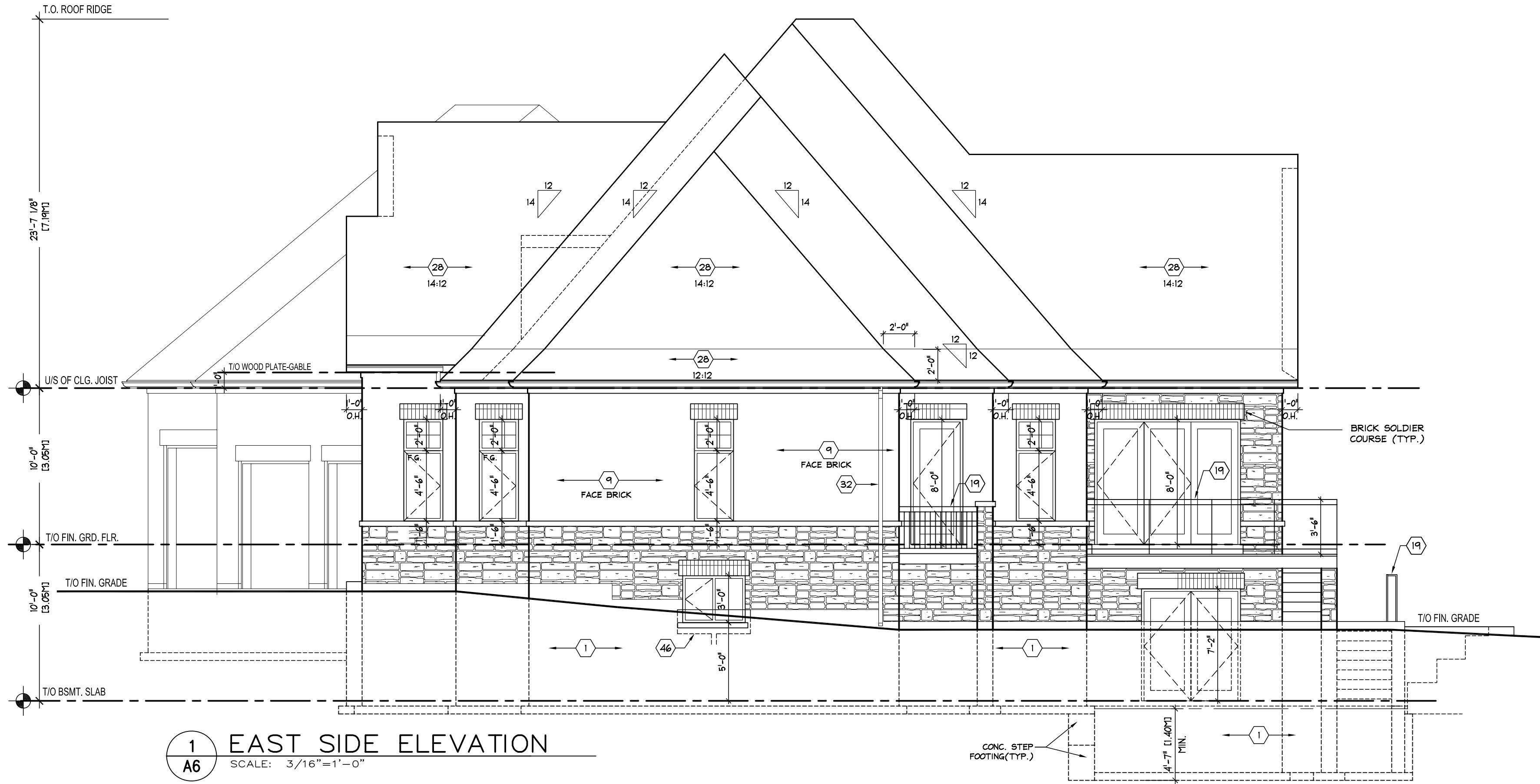
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FILE NO:
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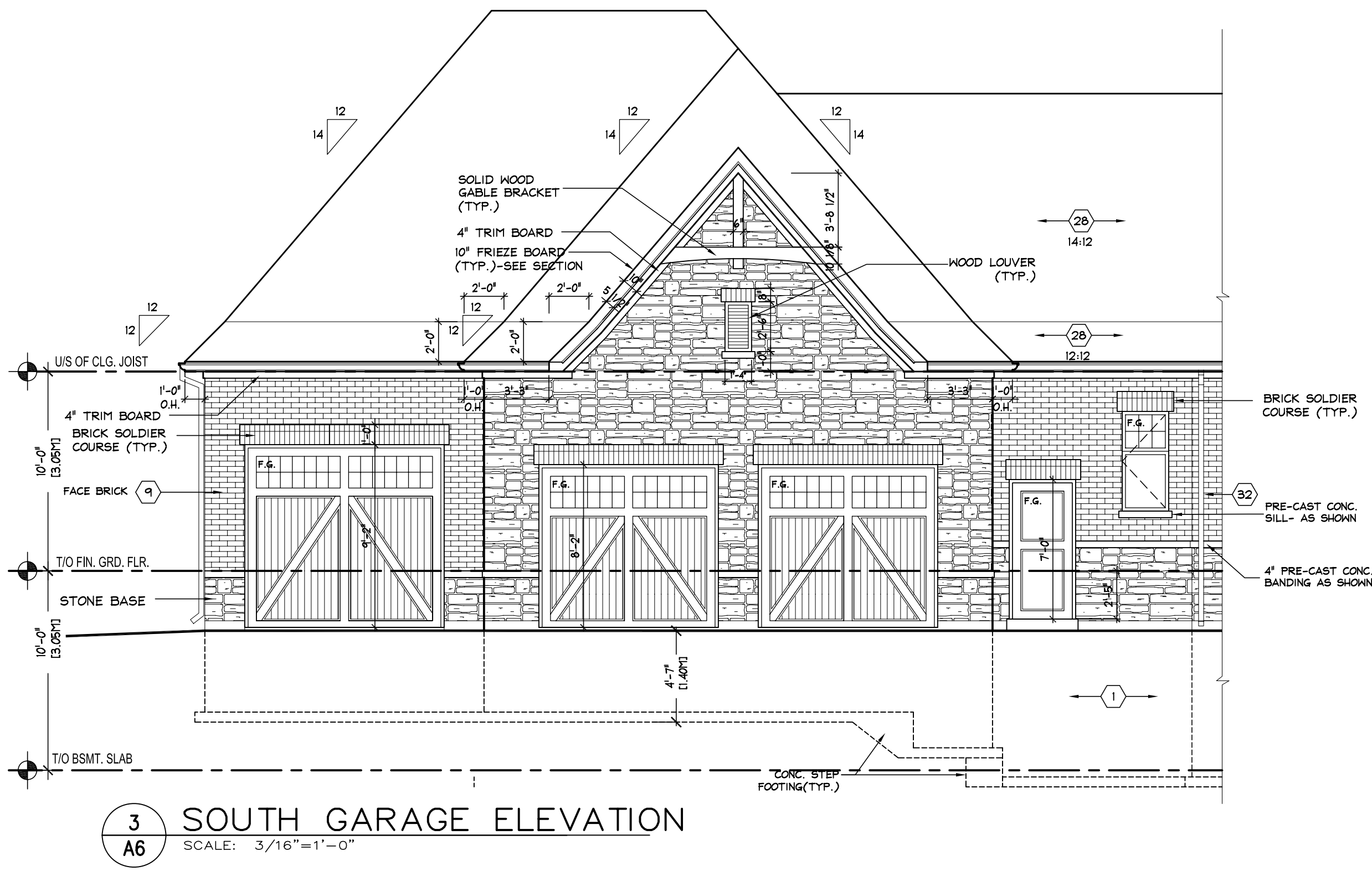
DATE:
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DRAWING No.

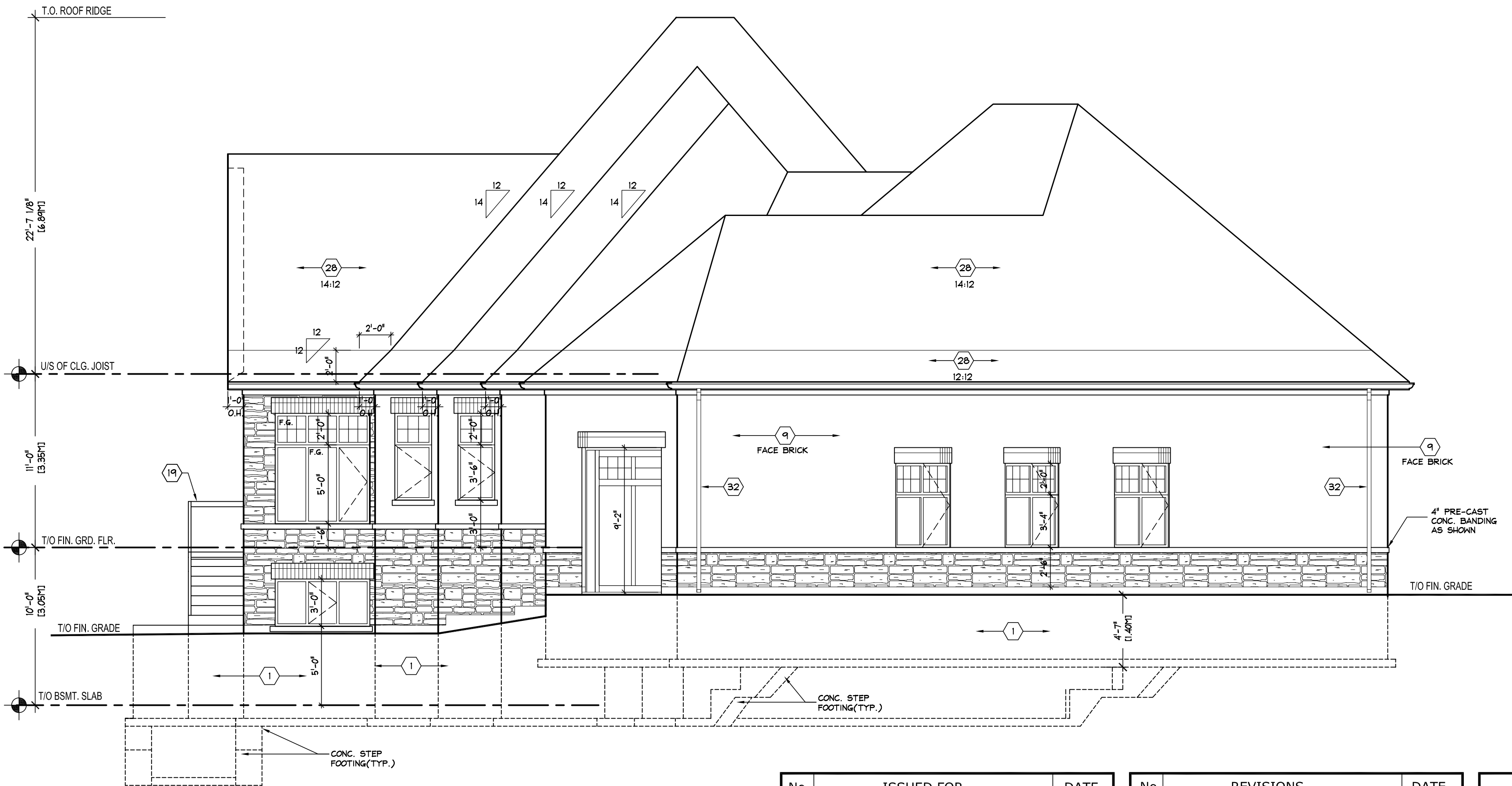
A-5



1 EAST SIDE ELEVATION
A6 SCALE: 3/16"=1'-0"



3 SOUTH GARAGE ELEVATION
A6 SCALE: 3/16"=1'-0"



2 WEST SIDE ELEVATION
A6 SCALE: 3/16"=1'-0"

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FRANK BELLINI 25554 BCR# JUN. 08/22 Date

Signature

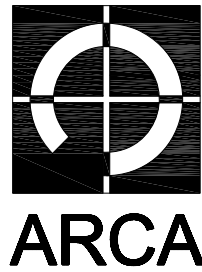
REGISTRATION INFORMATION

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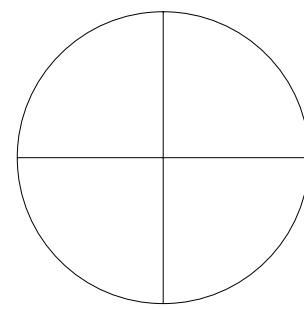
DRAWING TITLE:

GARAGE ELEVATION
SIDE ELEVATIONS

PROJECT:

PROPOSED
S.F.D. RESIDENCE

1596b 2nd LINE
INNISFIL, ON



SCALE:
AS NOTED

DRAWN:
F.B.

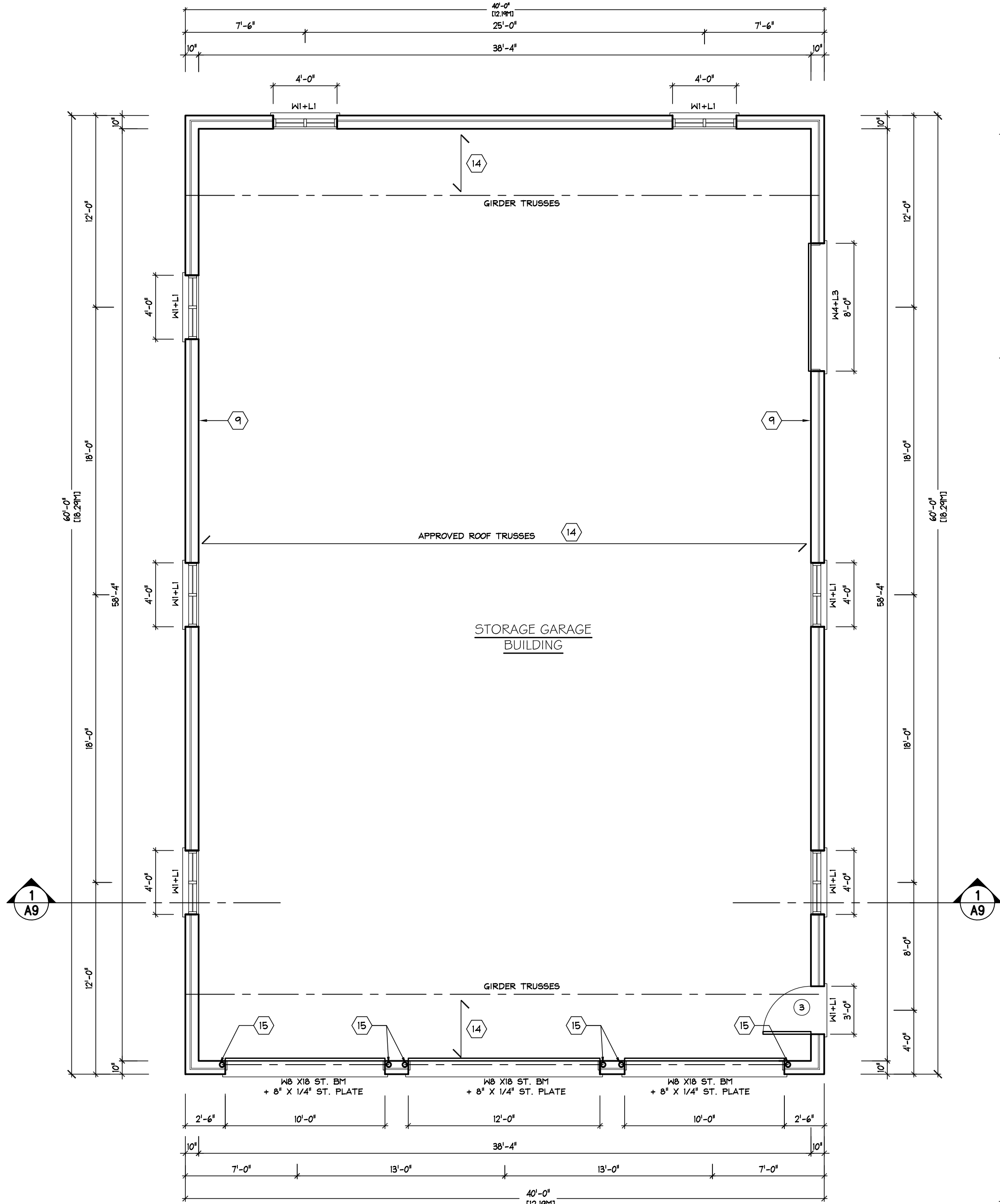
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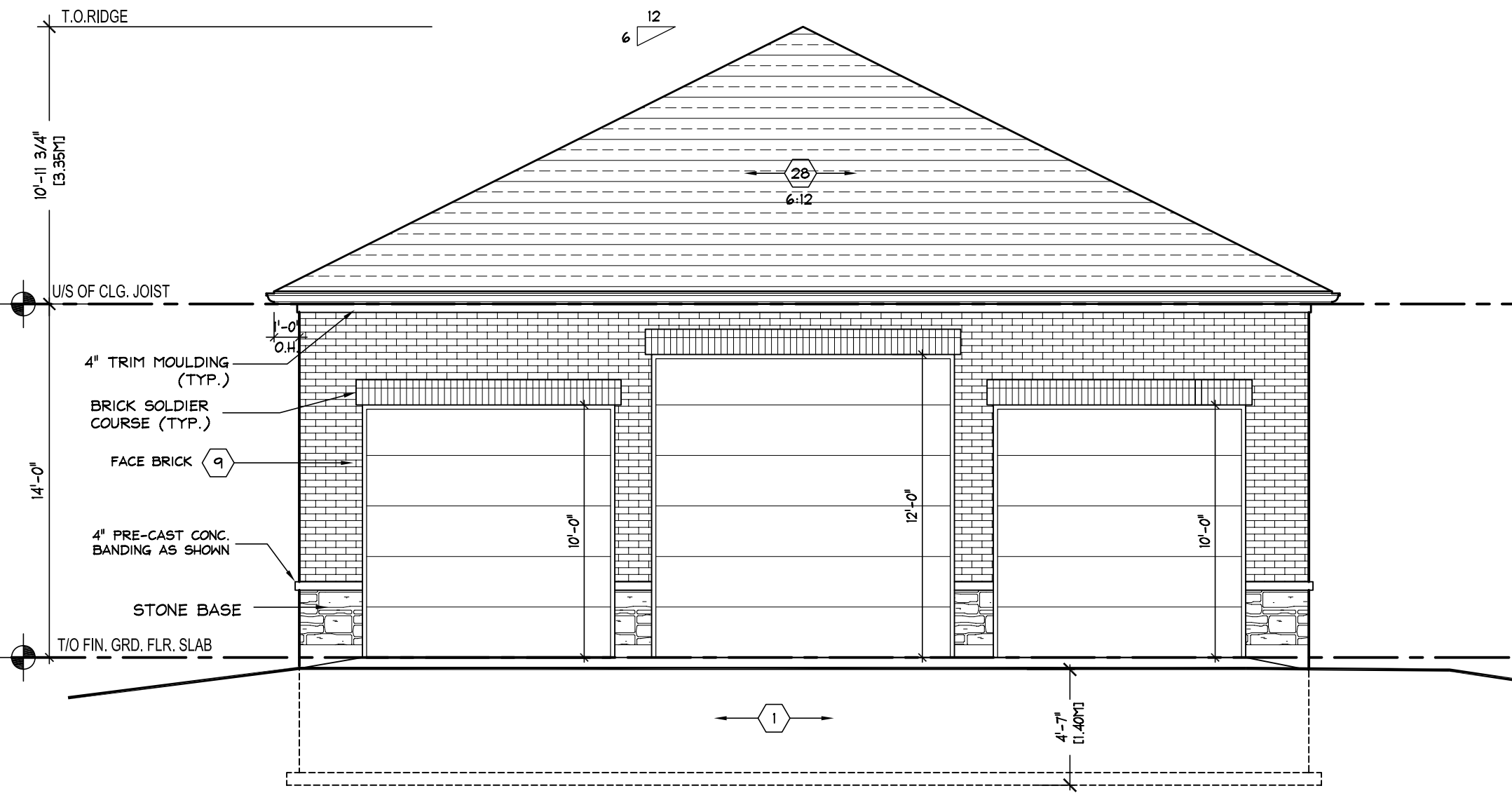
DATE:
MAY.2022

DRAWING No.

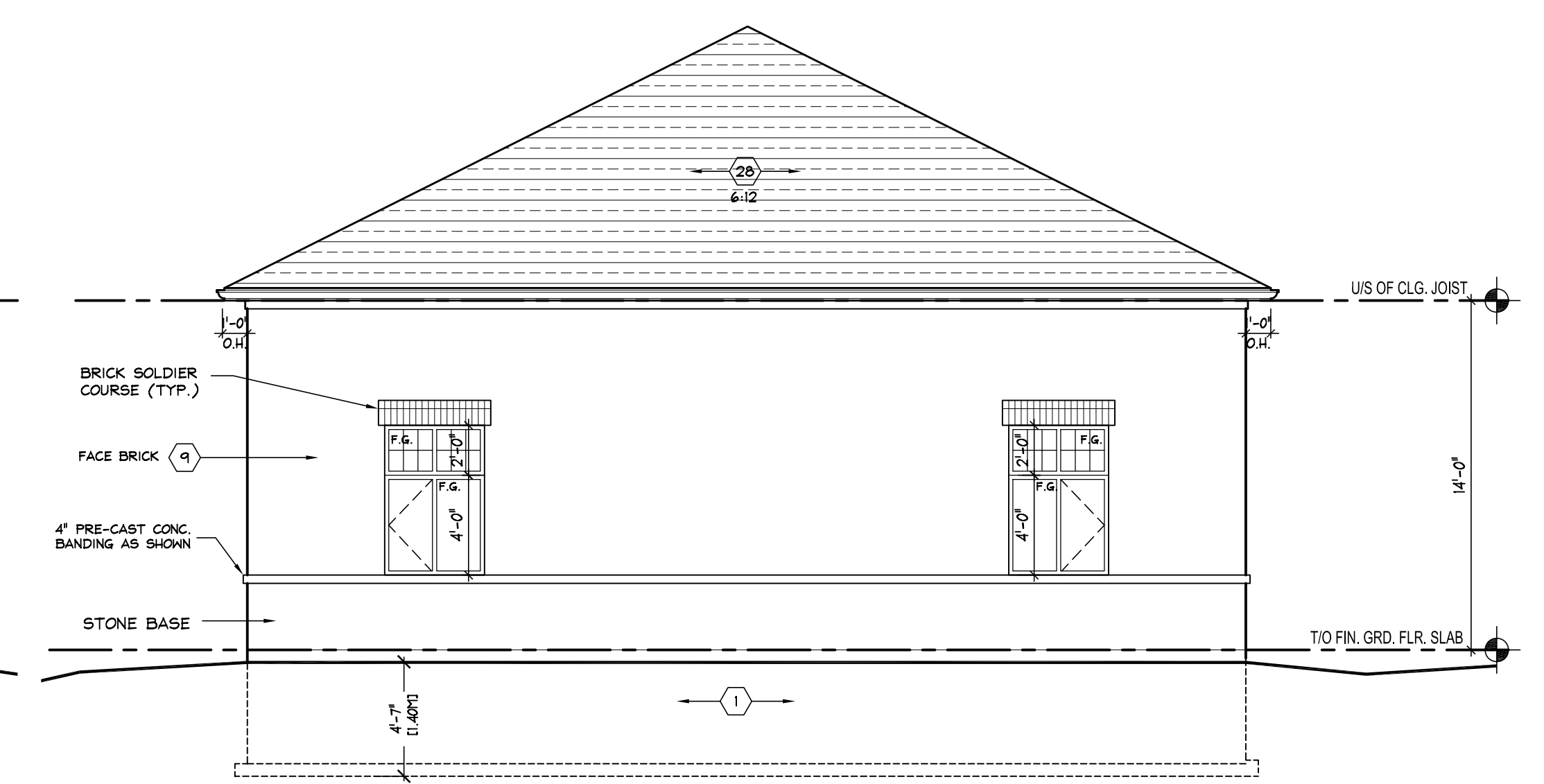
A-6



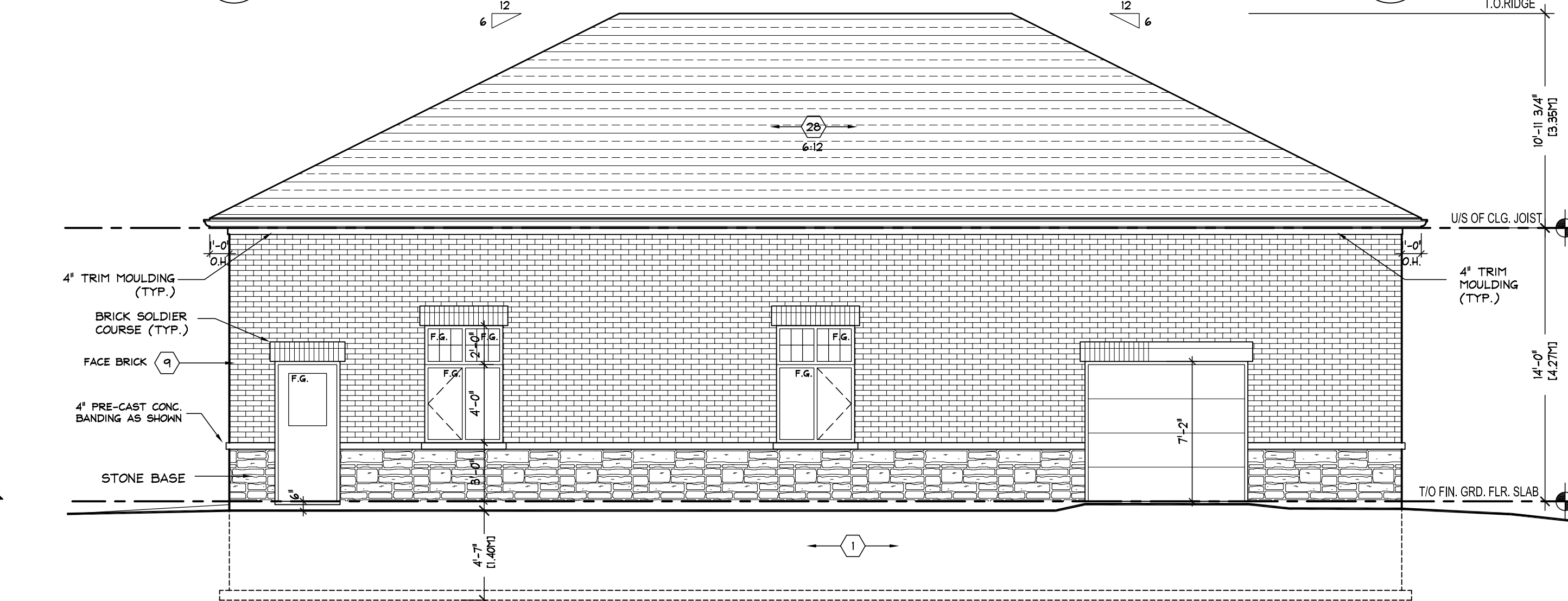
1 GROUND FLOOR PLAN
SCALE: 3/16"=1'-0"



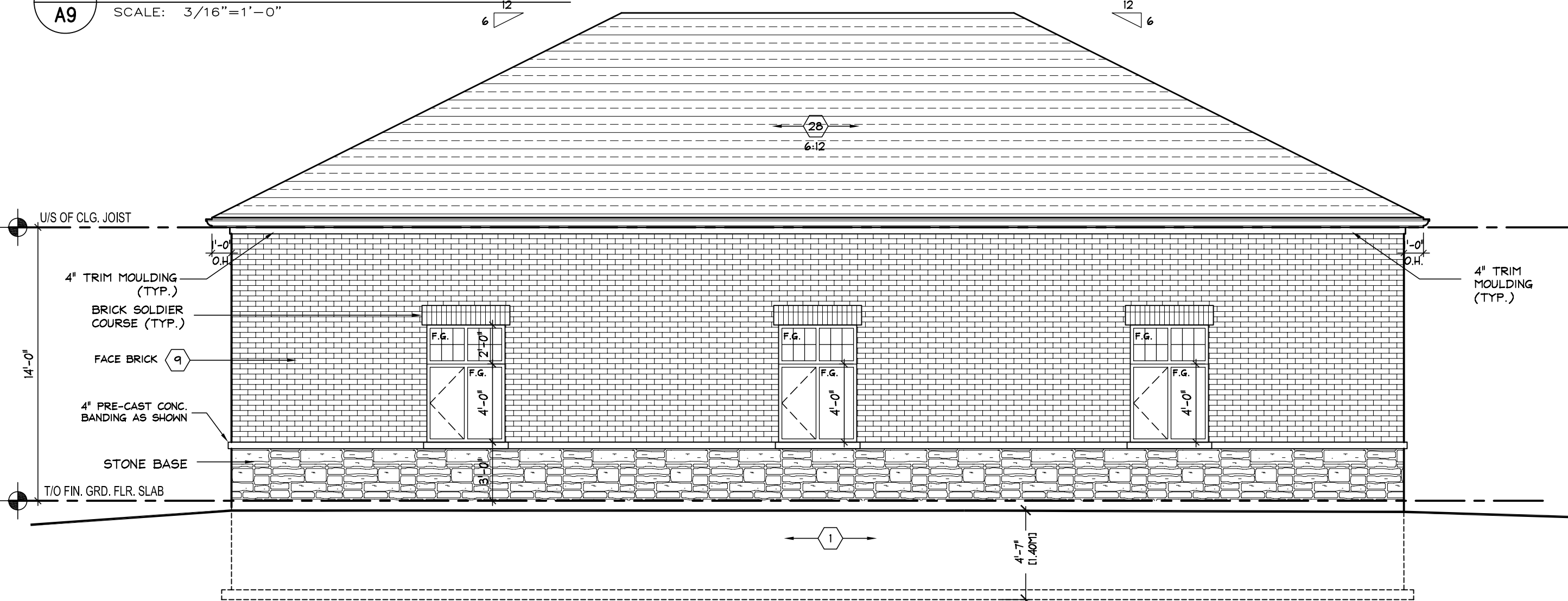
2 SOUTH ELEVATION
SCALE: 3/16"=1'-0"


























3 WEST ELEVATION
SCALE: 3/16"=1'-0"



4 EAST ELEVATION
SCALE: 3/16"=1'-0"



5 EAST ELEVATION
SCALE: 3/16"=1'-0"

LEGEND / PLANS		
	CLASS B VENT	
	EXHAUST VENT	
	DUPLEX OUTLET (12\" data-bbox="45 345 85 385"/>	DUPLEX OUTLET (HEIGHT AS NOTED)
	WATERPROOF DUPLEX OUTLET	
	HEAVY DUTY OUTLET	
	DOUBLE JOIST	
	TRIPLE JOIST	
	PRESSURE TREATED LUMBER	
	G.I. TRUSS	
	SMOKE ALARM	
	CARBON MONOXIDE DETECTOR	
	FLOOR DRAIN	
	POT LIGHT (LOW VOLTAGE)	
	HANGING LIGHT	
	LIGHT FIXTURE (PULL CHAIN)	
	LIGHT FIXTURE (WALL MOUNTED)	
	SWITCH	
	SWITCH (3 WAY)	
	SWITCH W/ DIMMER	
	SWITCH (DUPLEX)	
	HOSE BIB	
	DOUBLE VALVE WALL	
	3/2\" data-bbox="565 985 605 1025"/>	
	SOLID BEARING	
	POINT LOAD	
	T.V. OUTLET	
	TELEPHONE OUTLET	

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Planning & Design

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(416) 745-2940

DRAWING TITLE:

STORAGE GARAGE
PLAN+ELEVATIONS

PROJECT:

PROPOSED
STORAGE GARAGE BUILDING

1596b 2nd LINE
INNISFIL, ON

SCALE:

A5 NOTED

DRAWN:

F.B.

CHECKED BY:

F.B.

FILE NO:

-

DATE:

MAY.2022

DRAWING No.

A-9