



#### COMMITTEE OF ADJUSTMENT NOTICE OF PUBLIC HEARING APPLICATION NO. A-084-2022

**TAKE NOTICE** that an application has been received by the Town of Innisfil from **Tony Troiano**, **Owner**, for a minor variance from Zoning By-law 080-13, pursuant to Section 45 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended.

The subject property is described legally as CON 2 S PT LOT 20, is known municipally as 1596 2<sup>nd</sup> Line, and is zoned as "Agricultural (AG)".

The applicant is proposing to construct a second dwelling with a height of 11m. The applicant is seeking relief from Section 3.5 (g) of the Zoning By-law which states that a maximum height for a detached accessory dwelling shall not exceed the height of the principal dwelling or 6m, whichever is less.

The Committee of Adjustment for the Town of Innisfil will consider this application through a conference call on **Thursday**, **December 8**, **2022**, at 6:30 PM.

To participate in the hearing and/or provide comments, you must register by following the link below or scanning the above QR code: <u>https://innisfil.ca/en/building-and-</u> <u>ddevelopment/committee-of-adjustment-</u> <u>hearings.aspx</u>

Requests can also be submitted in writing to: Town of Innisfil Committee of Adjustment, 2101 Innisfil Beach Road, Innisfil, Ontario, L9S 1A1 or by email to <u>planning@innisfil.ca</u>.

If you wish to receive a copy of the decision of the Committee of Adjustment in respect of the proposed minor variance, you must make a written request to the Secretary-Treasurer of the Committee of Adjustment by way of email or regular mail. The Notice of Decision will also explain the process for appealing a decision to the Local Planning Appeal Tribunal.

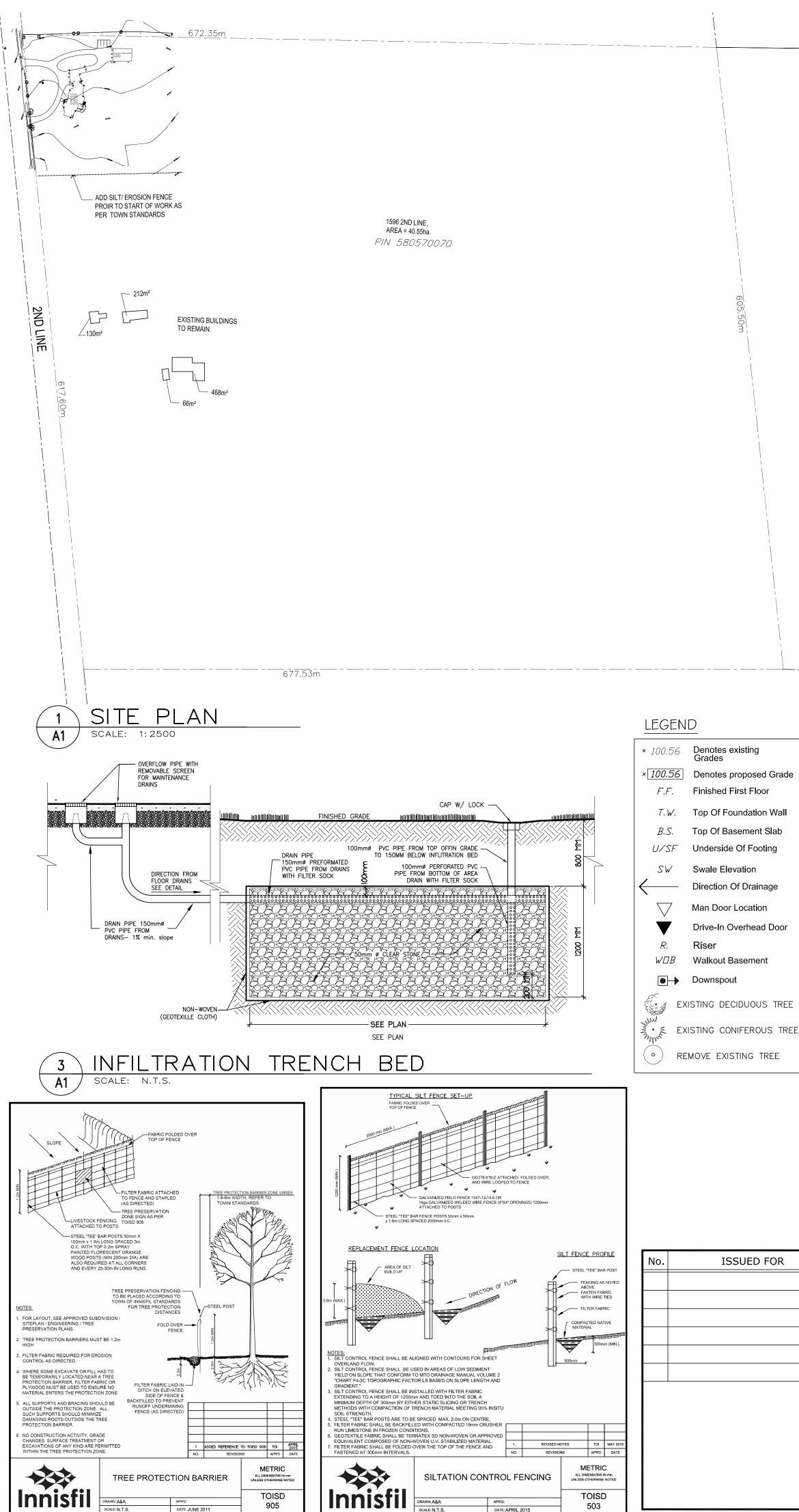


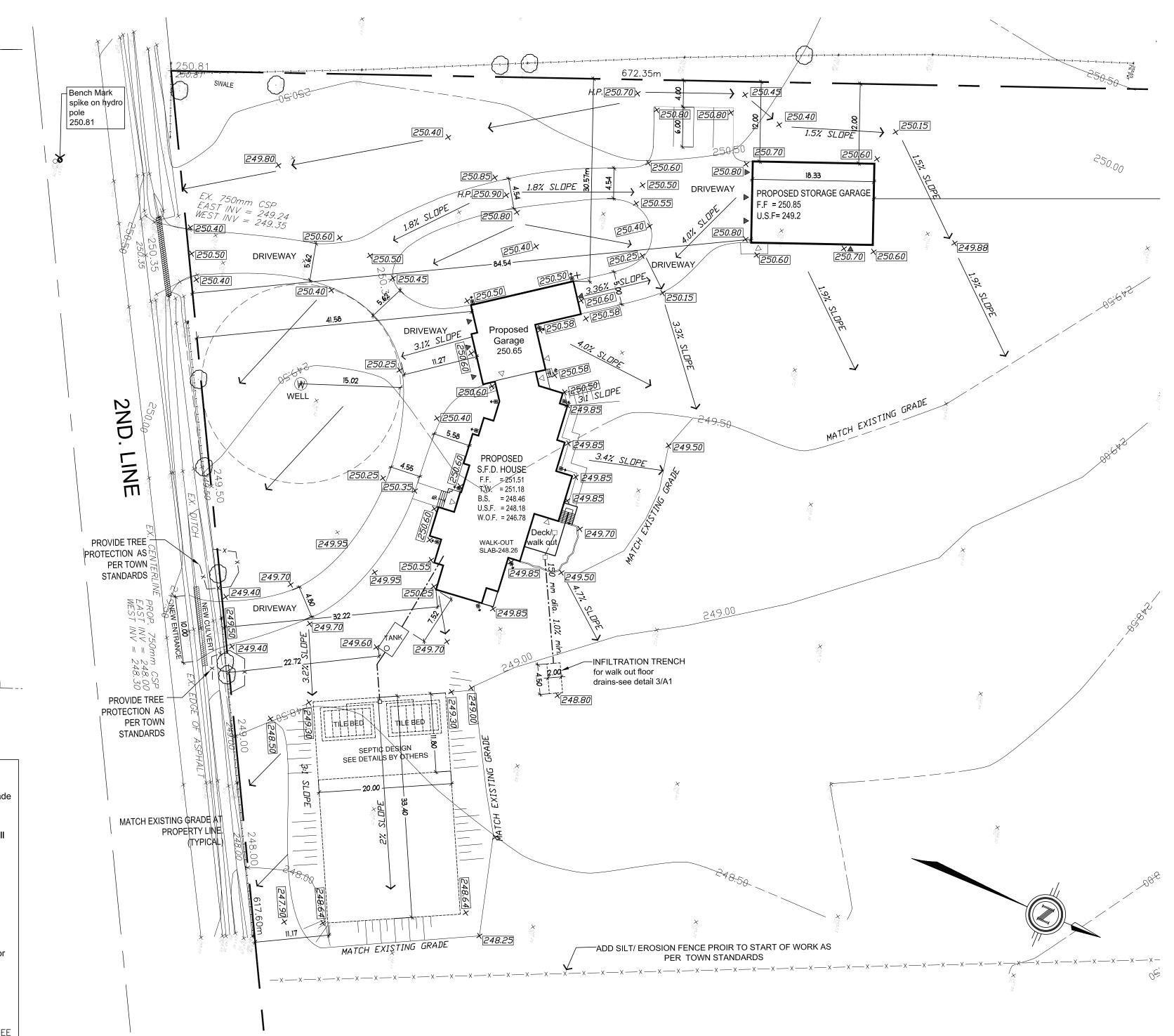
Additional information relating to the proposed application is available on the Town of Innisfil website. Accessible formats are available on request, to support participation in all aspects of the feedback process. To request an alternate format please contact Planning Services at <u>planning@innisfil.ca</u>.

Dated: November 21, 2022

Toomaj Haghshenas, Secretary-Treasurer thaghshenas@innisfil.ca 705-436-3710 ext. 3316

Town of Innisfil • 2101 Innisfil Beach Rd., Innisfil ON L9S 1A1 • 705-436-3710 • 1-888-436-3710 • Fax: 705-436-7120 www.innisfil.ca





### **TOPOGRAPHICAL INFORMATION**

SCALE: 1:400

SITE SURVEY INFORMATION PROVIDED BY JOE TOPO SURVEYING AND CADD, NOVEMBER 2020

GRADING PLAN

### LEGAL

BOUNDRY CREATED BY SIMCOE MAPS AND BARS FOUND ON SITE

#### BENCHMARK

2

A1

TOP OF SPIKE LOCATED ON THE HYDRO POLE LOCATED ON THE OPPOSITE SIDE OF 2ND. LINE SHOWN ON THE DRAWING WITH AN ELEVATION OF 250.81

SUED FOR	DATE	No.	REVISIONS	DATE

#### **GENERAL NOTES**

REGULATIONS.

- 1.ALL GRADING TO CONFORM TO CURRENT TOWN /CITY STANDARDS
- 2.ALL WORK TO CONFORM TO LATEST CURRENT OHSA
- 3.SEDIMENT AND EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO PREVENT MIGRATION OF SILT AND SEDIMENT FROM THE SUBJECT LOT TO ANY ADJACENT LOT, INCLUDING MUNICIPAL RIGHT OF WAY, CARE SHALL BE TAKEN TO ENSURE THAT SILT AND SEDIMENT LADEN WATER DOES NOT ENTER ANY WATERCOURSES OR ENVIRONMENTALLY SENSITIVE AREAS. EITHER OVERLAND OR THROUGH THE STORM SYSTEM.
- 4. THE OWNER/BUILDER IS RESPONSIBLE FOR OBTAINING UTILITY AND SERVICING LOCATES PRIOR TO ANY WORKS.

# GENERAL NOTE:

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6.ALL DISTURBED AREAS ARE TO BE SODDED OVER WITH A MINIMUM OF 150mm OF TOPSOIL OR APPROVED ALTERNATIVE GROUND COVER. SOD IS TO BE USED IN LIEU OF HYDROSEEDING WITH SWALES OR ANY OTHER FOCUS POINTS OF RUN OFF THAT WILL BE PRONE TO EROSION. FURTHERMORE ANY AREAS THAT HAVE BEEN HYDRO-SEED RATHER THAT SODDED CANNOT BE ACCEPTED UNTIL THE SEEDING HAS ESTABLISHED SUFFICIENT GROWTH FOR GROUND COVER TO THE SATISFACTION OF THE MUNICIPALITY

5. INTERIM GRADING MEASURES MAY BE REQUIRED DURING BUILDING CONSTRUCTION TO ENSURE THAT DRAINAGE DOES NOT ADVERSELY THE ADJACENT PROPERTIES. ROUGH GRADING OF THE PROPERTY SHALL BE COMPLETED SUCH THAT DRAINAGE IS CONTAINED ON THE SITE OR CONTROLLED TO A POSITIVE OUTLET.

7.THE CONTRACTOR/OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATES.

DRAWING TITLE:

Planning & Design

202-A Oakdale Road, Suite 2 North York, Ontario. M3N 2S5 (416) 745-2940

PROPOSED SINGLE FAMILY DWELLING

PROJECT: PROPOSED SINGLE FAMILY DETACHED DWELLING

15966 2ND LINE INNISFIL, ONTARIO



# **KEY PLAN**

**GENERAL NOTES** 

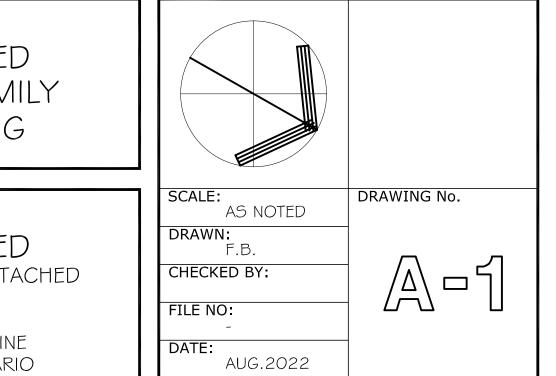
to be 3.1 maximum.

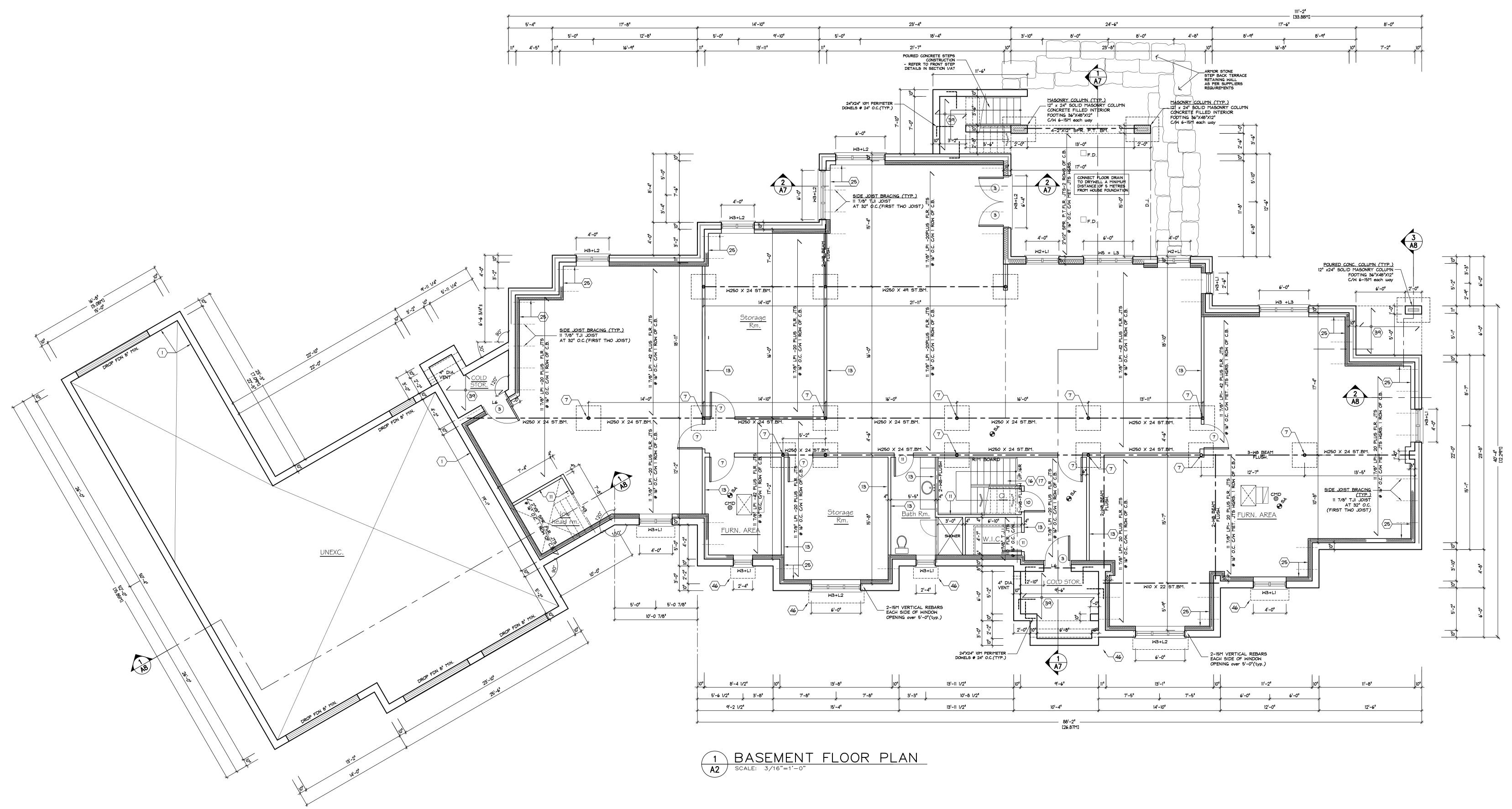
- 1) Where possible lots shall be designed with a minimun apron of 1.5 m. sloping away from the house with a minimum of 0.15 m. elevation differential.
- 2) All yards shall be designed with 2.0 % to 5.0
- 3) Swales shall be designed with a minimum grade of 2.0
- 4) All roof leaders shall discharge to the ground onto splash pads and shall not be connected to the storm sewer and shall discharge to swale conveying surface drainage toward street line. Roof downspouts will not be permitted at rear of house.
- 5) Windows shall be a minimum of 0.15 m. above finished grades. Where below finished grade the window wells are to be provided and properly connected to the foundation drain.
- 6) Where units are equipped with a sideyard entrance a 0.6 m. wide walkway is to be provided.
- 7) The maximum grade for access driveways shall be 7.0 minimum of 2.0 %.
- 8) All access driveways shall be located a minimum of 1.0 m. from all street hardware such as light poles, hydro, transformers, hydrants, etc.
- 9) Frost collars are to be provided and installed to town engineer's standards where a water service valve box is located within the limits of the driveway.
- 10) Underside of footing to be 1.4 m. minimum below below finished grade.
- 11) Provide guards as per building code requirements where required provide guard rails where grade difference exceeds 24" in height. see retaining walls
- 12) In Compliance with Sentence B 9.14.6.1. of the Ontario Building Code, the site is to be graded so that water will not accumulate at or near the building under construction and will not adversely affect any adjacent properties.

## SITE DATA

Zoning	AG		
Lot Area	405,500 sq.n	n. 40.55	i Ha.
Building area	-		
Gr	ound floor area	415.52 S	Sq.m
	Garage area	148.60 S	Sq.m
Covered Front Co	onc. porch area	11.33 5	Sq.m
Rear V	lood deck area	25.37 S	Sq.m
Detached S	storage building	222.96 \$	Sq.m
TOTAL GROSS	FLOOR AREA	415.52 S	Sq.m
Ground Floor Ar incl. Detached B		798.41 S ige = 0.41	
Other Buildings	Area Coverage	876.00 \$	Sq.m
Total		1674.41 S	Sq.m
Lot Frontage (15	50.0M)	617.60	m
Front yard Set-B	Back (10.0M)	32.0	m
Rear yard Set-B	ack (10.0M)	566.27	m
Side yard Set-Ba	ack (10.0M)	30.57	m
Max Height 11	0m(36.08') to T	on of roof	

Max. Height 11.0m (36.08') to Top of roof







o<sup>C</sup> FLOOR DRAIN

	LLGLND /	I LAI	NU
٩	CLASS B VENT	$\otimes$	POT LIGHT (LOW VOLTAGE)
	EXHAUST VENT	0	HANGING LIGHT
<b>₽</b>	DUPLEX OUTLET (1 2" HIGH)	ф Ф <sup>РС</sup>	LIGHT FIXTURE
€ <sup>NŽ</sup>	DUPLEX OUTLET (HEIGHT AS NOTED)	-\$'` +\$-	LIGHT FIXTURE (PULL CHAIN) LIGHT FIXTURE
₩ ₩	WATERPROOF DUPLEX OUTLET	Ф	(WALL MOUNTED) SWITCH
€	HEAVY DUTY OUTLET	\$ <u>3</u> \$	SWITCH (3 WAY) SWITCH W/ DIMMER
DJ	DOUBLE JOIST	-0 €	SWITCH (DUPLEX)
TJ	TRIPLE JOIST		
Ρ.Τ.	PRESSURE TREATED LUMBER	=#`` ‱∞	HOSE BIB DOUBLE VOLUME WALL
G.T.	GIRDER TRUSS	× ×	3/2"x4" (2 JACK STUDS)
€ <sup>SP</sup>	SMOKE ALARM	⊠ <sup>∢∕∨</sup>	SOLID BEARING POINT LOAD
	CARBON MONOXIDE DETECTOR	$\mathbb{N}$	T.V. OUTLET

T.V. OUTLET TELEPHONE OUTLET

#### STEEL LINTEL SCHEDULE

$L1 = L- 3 1/2" \times 3 1/2" \times 1/4"$	ST.
$L2 = L - 4" \times 3 1/2" \times 5/16"$	ST.
$L3 = L - 5" \times 3 1/2" \times 5/16"$	ST.
$L4 = L- 5" \times 3 1/2" \times 3/8"$	ST.
$L5 = L - 6" \times 4" \times 3/8"$	ST.
L6 = 3-15M REBARS	

\*

#### WOOD LINTEL SCHEDULE ( 2-PLY WOOD MEMBERS)

W1 = 2-2" X 8" SPRUCE No.1 W2 = 2-2" X 10" SPRUCE No.1 W3 = 2-2" X 12" SPRUCE No.1

#### ( 3-PLY WOOD MEMBERS)

W4 = 3-2" X 8" SPRUCE No.1  $W5 = 3-2" \times 10"$  SPRUCE No.1  $W6 = 3-2" \times 12"$  SPRUCE No.1

T.	ANGLE	=3'-11"	MAX.	SPAN(7.9)
T.	ANGLE	=5'-11"	MAX.	SPAN(8.2)
Τ.	ANGLE	=7'-10"	MAX.	SPAN(10.
Τ.	ANGLE	=8'-10"	MAX.	SPAN(10.8
ST.	ANGLE	=9'-10"	MAX.	SPAN(11.0

#### (LVL- 20 f-E Grade) $W7 = 1 \quad 3/4" \times 9 \quad 1/2" \quad LVL$ W8 = 1 3/4" X 11 7/8"LVL $W9 = 1 \quad 3/4" \times 14" LVL$ $W10 = 1 \quad 3/4" \times 16" LVL$

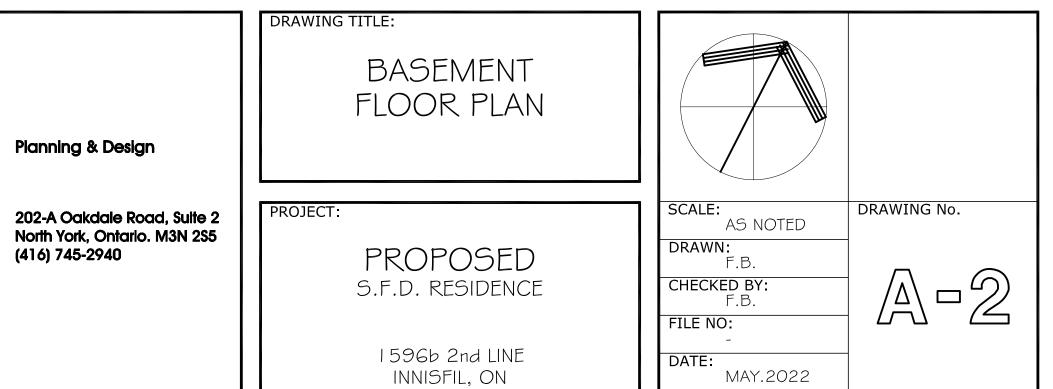
Ι	PERMIT APPLI

).	ISSUED FOR	DATE	No.	REVISIONS	DATE
	PERMIT APPLICATION-	08/08/22		FLOOR JOIST ALTERATION	31/08/23
				The undersigned has reviewed & taken responsibili Qualifications and meets the requirements set out be a designer. QUALIFICATION INFORMA Required unless design is exempt under 3.2	in the Ontario Building Code to TION
				FRANK BELEINN Norfie Signature REGISTRATION INFORMAT	25554 BCIN# JUN.08/22 Date
				Required unless design is exempt under 3.2 ARCA DESIGN INC.	
				Firm Name	BCIN#

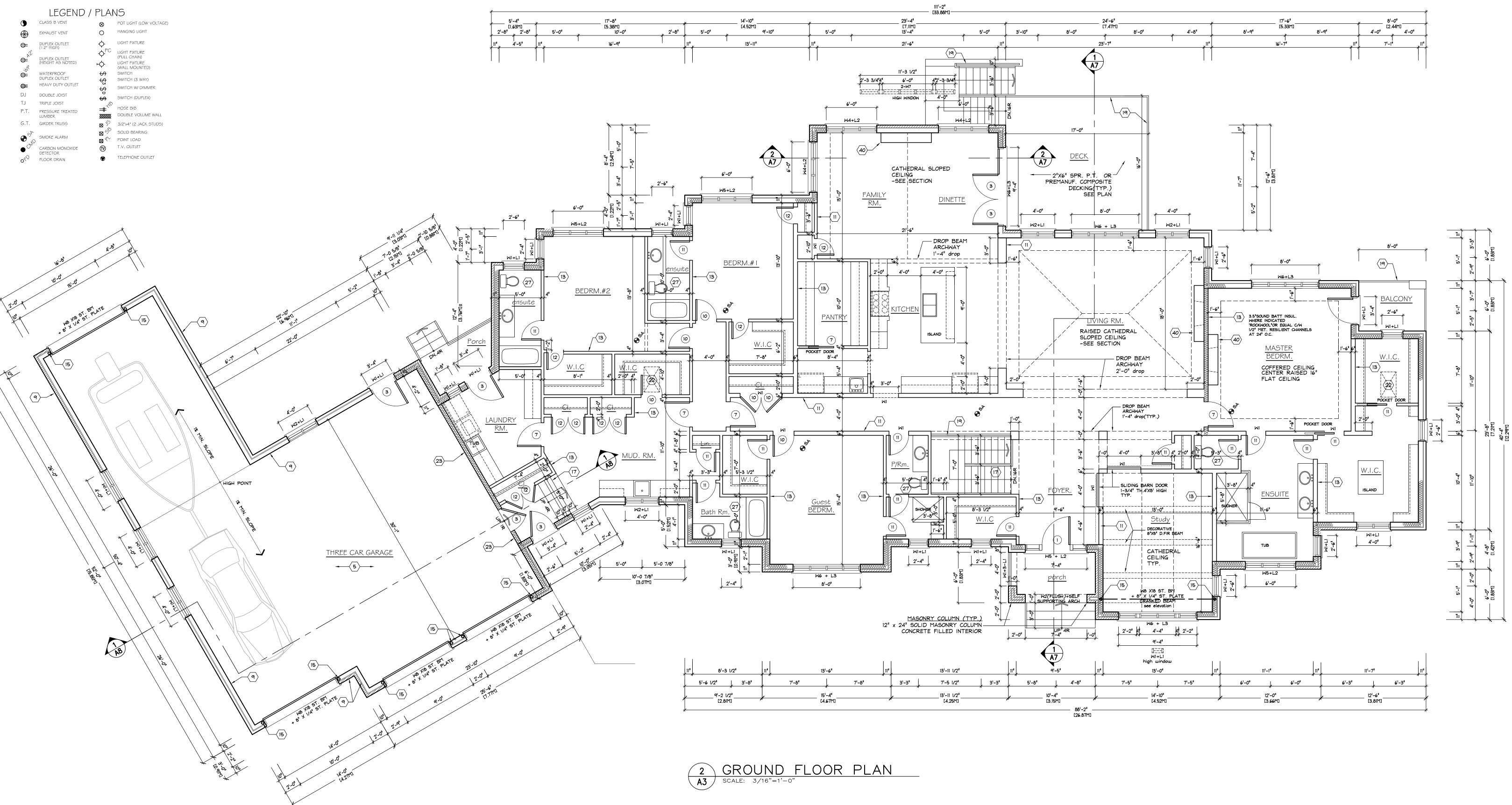
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	STEEL LINTEL SCHEDULE		No
	$L1 = L - 3 1/2" \times 3 1/2" \times 1/4"$		1
	$L2 = L - 4" \times 3 1/2" \times 5/16"$		
		ST. ANGLE =7'-10" MAX. SPAN(10.1)	
	L4 = L- 5" X 3 1/2" X 3/8"	ST. ANGLE =8'-10" MAX. SPAN(10.8)	
	$L5 = L - 6" \times 4" \times 3/8"$	ST. ANGLE =9'-10" MAX. SPAN(11.6)	
	L6 = 3-15M REBARS		
	WOOD LINTEL SCHEDULE		
	( 2-PLY WOOD MEMBERS)	(LVL- 20 f-E Grade)	
AR PAINT GRADE	W1 = 2-2" X 8" SPRUCE No.1	W7 = 1 3/4" X 9 1/2" LVL	
pard 9.25" high	$W2 = 2-2" \times 10"$ SPRUCE No.1	W8 = 1 3/4" X 11 7/8"LVL	
	W3 = 2-2" X 12" SPRUCE No.1	$W9 = 1  3/4" \times 14" LVL$	
ackband		$W10 = 1 \frac{3}{4} \times 16^{\circ} LVL$	
eboard 5.25" high	( 3-PLY WOOD MEMBERS)	,	
backband	W4 = 3-2" X 8" SPRUCE No.1		

W5 = 3-2" X 10" SPRUCE No.1 W6 = 3-2" X 12" SPRUCE No.1

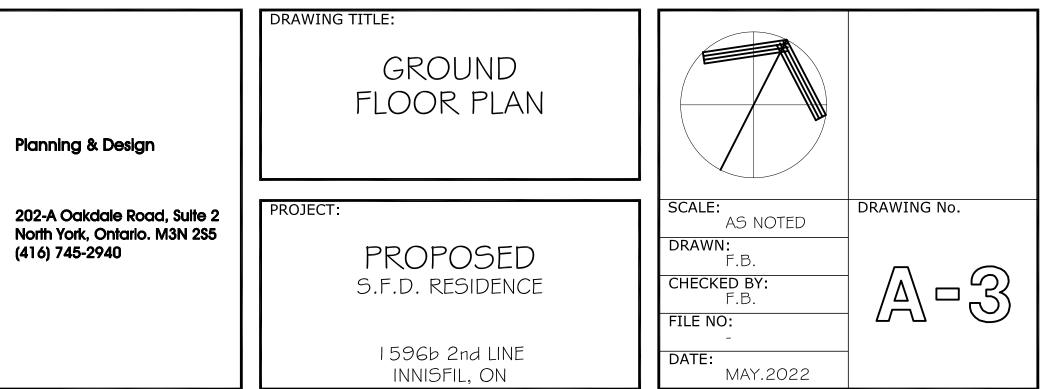
INTERIOR TRIM-POPULAR GROUND FLOOR: Baseboo plus shoe mould -1 5/8" Casing 3.5" plus 1"x1.5"bac BASEMENT FLOOR: Baseb plus shoe mould -1 5/8" Casing 3.5" plus 1"x1.5" backband PERMIT APPLI

SUED FOR	DATE	No.	REVISIONS		DATE
ICATION-	08/08/22				
			The undersigned has reviewed & taken responsibility Qualifications and meets the requirements set out in be a designer. QUALIFICATION INFORMATIC Required unless design is exempt under 3.2.5 FRANK BELLIN Name Signature REGISTRATION INFORMATIC	n the Ontario Building ( DN 1 of the building code 25554 BCIN# JUN.08/2 Date	2
			Required unless design is exempt under 3.2.4		

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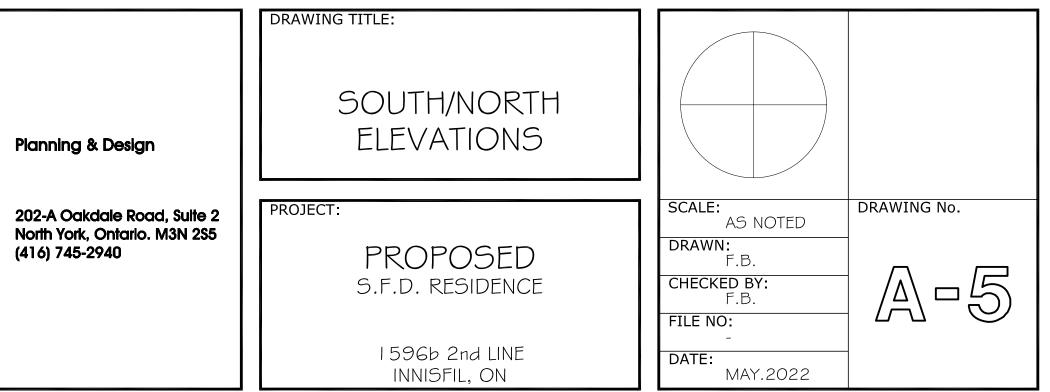


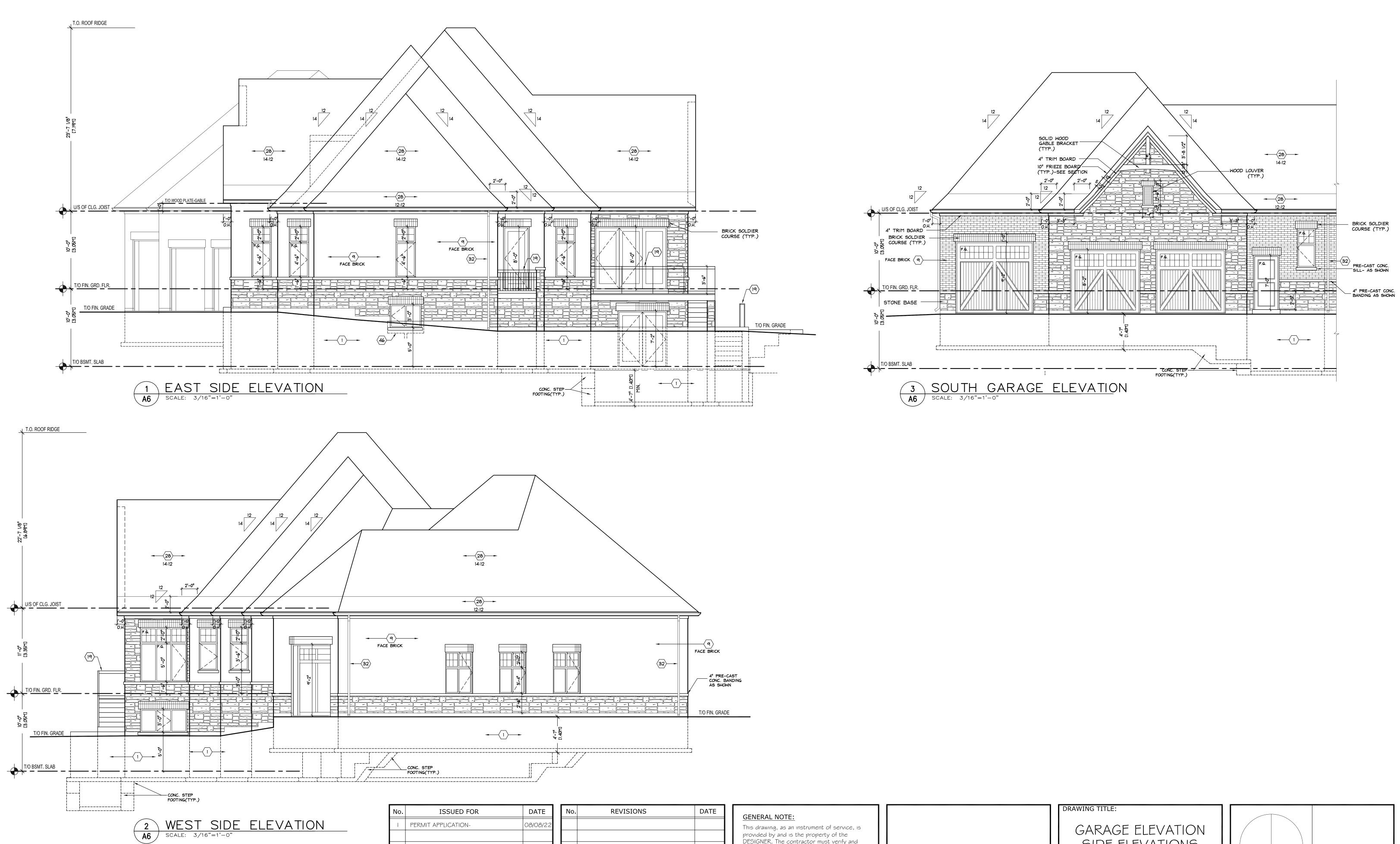


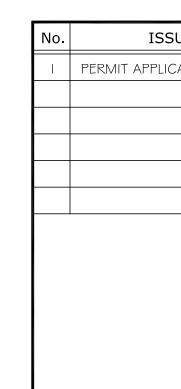
SUED FOR	DATE	No.	REVISIONS		DATE
ICATION-	08/08/22				
			The undersigned has reviewed & taken responsibility for Qualifications and meets the requirements set out in the be a designer. QUALIFICATION INFORMATION Required unless design is exempt under 3.2.5.1 c	e Ontario Building C	ode to
			FRANK BELLINI Signature REGISTRATION INFORMATION Required unless design is exempt under 3.2.4.1 c	25554 BCIN# JUN.08/22 Date	2
			ARCA DESIGN INC.	30785 BCIN#	
			Firm Nume	BUIN#	

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CATION-	08/08/22			
			The undersigned has reviewed & taken responsit Qualifications and meets the requirements set or be a designer.	ut in the Ontario Building Code to
			QUALIFICATION INFORM Required unless design is exempt under 3	MATION
			FRANK BELETIN	25554
			Nome	BCIN#
			( IN Jellin	VJUN.08/22
				BCIN# JUN.08/22 Date
			Required unless design is exempt under 3	
			ARCA DESIGN INC. Firm Name	BCIN#

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(416) 74

ng & Design	DRAWING TITLE: GARAGE ELEVATION SIDE ELEVATIONS			
Oakdale Road, Sulte 2 York, Ontarlo. M3N 2S5 745-2940	PROJECT: PROPOSED S.F.D. RESIDENCE	SCALE: AS NOTED DRAWN: F.B. CHECKED BY: F.B. FILE NO:	DRAWING No.	
	l 596b 2nd LINE INNISFIL, ON	- DATE: MAY.2022		

	LEGEND /		NS	STEEL LINTEL SCHEDULE		No.	ISSU
•	CLASS B VENT	∟/ (	POT LIGHT (LOW VOLTAGE)		ST. ANGLE = $3'-11"$ MAX. SPAN(7.9)		
-	EXHAUST VENT	0 0	HANGING LIGHT	$L2 = L - 4" \times 3 1/2" \times 5/16"$	ST. ANGLE =5'-11" MAX. SPAN(8.2)		PERMIT APPLIC
Ð			LIGHT FIXTURE	$L3 = L - 5" \times 3 1/2" \times 5/16"$	ST. ANGLE =7'-10" MAX. SPAN(10.1)		
5-	DUPLEX OUTLET (12" HIGH)	$\Phi_{PC}$		$L4 = L - 5" \times 3 1/2" \times 3/8"$	ST. ANGLE $= 8' - 10''$ MAX. SPAN(10.8)		
€ <sup>xv</sup>		$\mathbf{\dot{\Phi}}^{PC}$	LIGHT FIXTURE (PULL CHAIN)	$L5 = L - 6" \times 4" \times 3/8"$	ST. ANGLE =9'-10" MAX. SPAN(11.6)		
	DUPLEX OUTLET (HEIGHT AS NOTED)	ŀф	LIGHT FIXTURE (WALL MOUNTED)	L6 = 3-15M REBARS			
	WATERPROOF	\$	SWITCH	WOOD LINTEL SCHEDULE			
	DUPLEX OUTLET HEAVY DUTY OUTLET	$\mathfrak{P}$	SWITCH (3 WAY)	( 2-PLY WOOD MEMBERS)	(LVL- 20 f-E Grade)		
<u>A</u>		Ş	SWITCH W/ DIMMER		· · ·		
	DOUBLE JOIST	₩ _	SWITCH (DUPLEX)	$W1 = 2-2" \times 8"$ SPRUCE No.1	$W7 = 1  3/4" \times 9  1/2" LVL$		
	TRIPLE JOIST	#*	HOSE BIB	W2 = 2-2" X 10" SPRUCE No.1	W8 = 1 3/4" X 11 7/8"LVL		
	PRESSURE TREATED LUMBER		DOUBLE VOLUME WALL	W3 = 2-2" X 12" SPRUCE No.1	W9 = 1 3/4" X 14" LVL		
G.T.	GIRDER TRUSS	<b>x</b> 5	3/2"x4" (2 JACK STUDS)		$W10 = 1  3/4" \times 16" LVL$		
A.		~ ⊠ ∽	SOLID BEARING	( 3-PLY WOOD MEMBERS)			
<b>B</b> or	SMOKE ALARM	⊠≪	POINT LOAD				
Ch.	CARBON MONOXIDE	$\mathbb{W}$	T.V. OUTLET	W4 = 3-2" X 8" SPRUCE No.1			

