



**COMMITTEE OF ADJUSTMENT NOTICE OF PUBLIC HEARING
APPLICATION NO. A-083-2022**

TAKE NOTICE that an application has been received by the Town of Innisfil from **Tony Troiano, Owner**, for a minor variance from Zoning By-law 080-13, pursuant to Section 45 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended.

The subject property is described legally as **CON 2 S PT LOT 20**, is known municipally as **1596 2nd Line**, and is zoned as **"Agricultural (AG)"**.

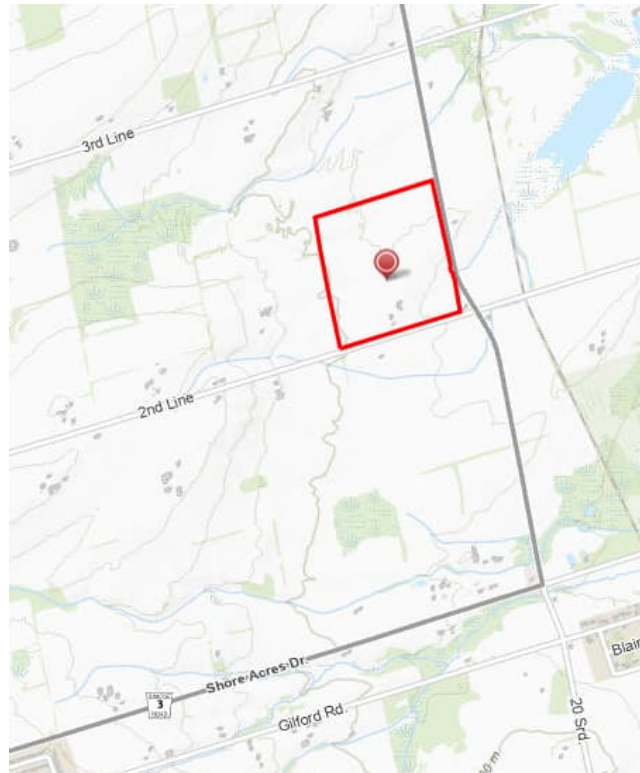
The applicant is proposing to construct a second dwelling containing more than 3 bedrooms. The applicant is seeking relief from Section 3.5 (c) of the Zoning By-law which permits a maximum of 3 bedrooms per accessory dwelling unit.

The Committee of Adjustment for the Town of Innisfil will consider this application through a conference call on **Thursday, December 8, 2022, at 6:30 PM.**

To participate in the hearing and/or provide comments, you must register by following the link below or scanning the above QR code:
<https://innisfil.ca/en/building-and-development/committee-of-adjustment-hearings.aspx>

Requests can also be submitted in writing to: Town of Innisfil Committee of Adjustment, 2101 Innisfil Beach Road, Innisfil, Ontario, L9S 1A1 or by email to planning@innisfil.ca.

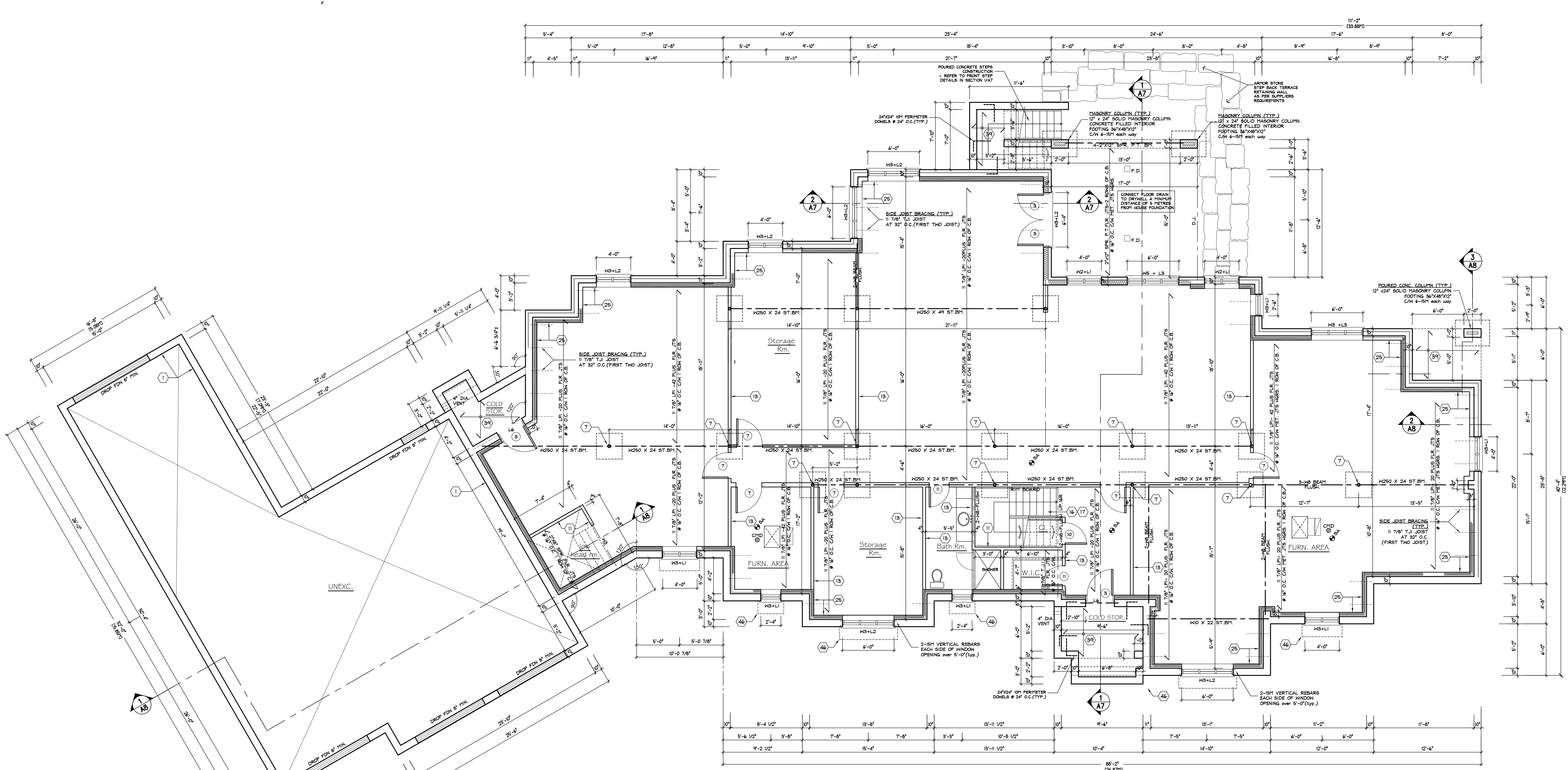
If you wish to receive a copy of the decision of the Committee of Adjustment in respect of the proposed minor variance, you must make a written request to the Secretary-Treasurer of the Committee of Adjustment by way of email or regular mail. The Notice of Decision will also explain the process for appealing a decision to the Local Planning Appeal Tribunal.



Additional information relating to the proposed application is available on the Town of Innisfil website. Accessible formats are available on request, to support participation in all aspects of the feedback process. To request an alternate format please contact Planning Services at planning@innisfil.ca.

Dated: **November 21, 2022**

Toomaj Haghshenas,
Secretary-Treasurer
thaghsheenas@innisfil.ca
705-436-3710 ext. 3316



1 BASEMENT FLOOR PLAN
SCALE: 3/16"=1'-0"

- LEGEND / PLANS**
- CLASS B VENT
 - EXHAUST VENT
 - DUPLEX OUTLET (12" HIGH)
 - DUPLEX OUTLET (HEIGHT AS NOTED)
 - WATERPROOF DUPLEX OUTLET
 - HEAVY DUTY OUTLET
 - DJ DOUBLE JOIST
 - TJ TRIPLE JOIST
 - P.T. PRESSURE TREATED LUMBER
 - G.T. GIRDER TRUSS
 - SMOKE ALARM
 - CARBON MONOXIDE DETECTOR
 - FLOOR DRAIN
 - POI LIGHT (LOW VOLTAGE)
 - HANGING LIGHT
 - LIGHT FIXTURE (12" HIGH)
 - LIGHT FIXTURE (PULL CHAIN)
 - LIGHT FIXTURE (WALL MOUNTED)
 - SWITCH
 - SWITCH W/ DIMMER
 - SWITCH (DUPLEX)
 - HOSE DIB
 - DOUBLE VOLUME WALL (3/2"x4" (2 JACK STUDS))
 - SOLID BEARING
 - POINT LOAD
 - T.V. OUTLET
 - TELEPHONE OUTLET

| | |
|--|-----------------------------------|
| STEEL LINTEL SCHEDULE | |
| L1 = L- 3 1/2" X 3 1/2" X 1/4" | ST. ANGLE =3'-11" MAX. SPAN(7.9) |
| L2 = L- 4" X 3 1/2" X 5/16" | ST. ANGLE =5'-11" MAX. SPAN(8.2) |
| L3 = L- 5" X 3 1/2" X 5/16" | ST. ANGLE =7'-10" MAX. SPAN(10.1) |
| L4 = L- 5" X 3 1/2" X 3/8" | ST. ANGLE =8'-10" MAX. SPAN(10.8) |
| L5 = L- 6" X 4" X 3/8" | ST. ANGLE =9'-10" MAX. SPAN(11.6) |
| L6 = 3-15M REBARS | |
| WOOD LINTEL SCHEDULE (2-PLY WOOD MEMBERS) | |
| W1 = 2-2" X 8" SPRUCE No.1 | (LVL- 20 f-E Grade) |
| W2 = 2-2" X 10" SPRUCE No.1 | W7 = 1 3/4" X 9 1/2" LVL |
| W3 = 2-2" X 12" SPRUCE No.1 | W8 = 1 3/4" X 11 7/8" LVL |
| | W9 = 1 3/4" X 14" LVL |
| | W10 = 1 3/4" X 16" LVL |
| (3-PLY WOOD MEMBERS) | |
| W4 = 3-2" X 8" SPRUCE No.1 | |
| W5 = 3-2" X 10" SPRUCE No.1 | |
| W6 = 3-2" X 12" SPRUCE No.1 | |

| No. | ISSUED FOR | DATE |
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| 1 | PERMIT APPLICATION- | 08/08/22 |
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| No. | REVISIONS | DATE |
|-----|------------------------|----------|
| 1 | FLOOR JOIST ALTERATION | 31/08/22 |
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The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.5.1 of the building code

FRANK BEALDI 25554 BCIN JUN.08/22

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.1 of the building code

ARCA DESIGN INC. 30785 BCIN

GENERAL NOTE:

This drawing, as an instrument of service, is provided by and is the property of the DESIGNER. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the DESIGNER of any variations from the supplied information. The Designer is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., engineering information shown on this drawing. Refer to the appropriate engineering drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction. This drawing is not to be scaled.



Planning & Design

202-A Oakdale Road, Suite 2
North York, Ontario. M3N 2S5
(416) 745-2940

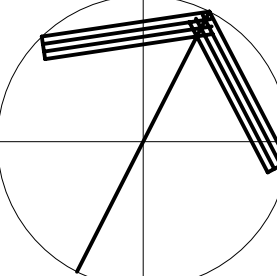
DRAWING TITLE:

BASEMENT FLOOR PLAN

PROJECT:

PROPOSED S.F.D. RESIDENCE

1596b 2nd LINE
INNISFIL, ON



SCALE: A5 NOTED

DRAWN: F.B.

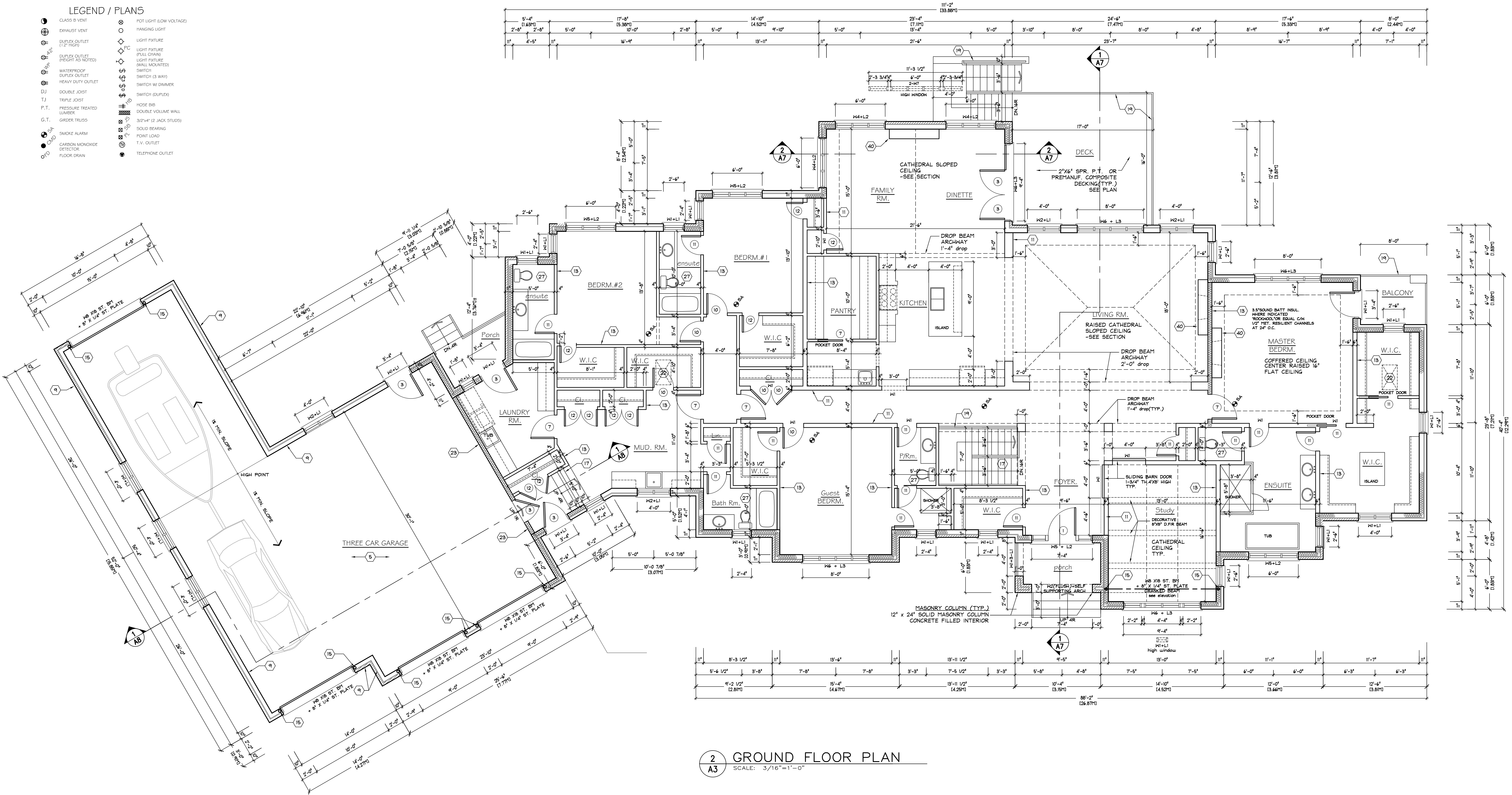
CHECKED BY: F.B.

FILE NO: -

DATE: MAY.2022

DRAWING No.

A-2



| No. | ISSUED FOR | DATE |
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| 1 | PERMIT APPLICATION- | 08/08/22 |
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QUALIFICATION INFORMATION
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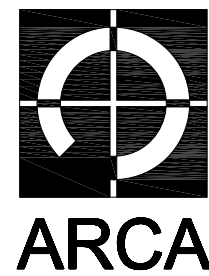
FRANK BECHER 2554 BC/NJ
JUN. 08/22

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.1 of the building code

ARCA DESIGN INC. 30785 BC/NJ
Firm Name

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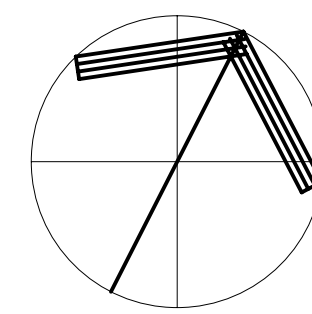
DRAWING TITLE:

GROUND
FLOOR PLAN

PROJECT:

PROPOSED
S.F.D. RESIDENCE

1596b 2nd LINE
INNISFIL, ON



SCALE:

A5 NOTED

DRAWN:

F.B.

CHECKED BY:

F.B.

FILE NO:

-

DATE:

MAY.2022

DRAWING No.

A-3

INTERIOR TRIM-POPULAR PAINT GRADE
GROUND FLOOR: Baseboard 9.25" high
plus shoe mould -1 5/8"
Casing 3.5" plus 1"x1.5" backband
BASEMENT FLOOR: Baseboard 5.25" high
plus shoe mould -1 5/8"
Casing 3.5" plus 1"x1.5" backband

STEEL LINTEL SCHEDULE

L1 = L- 3 1/2" X 3 1/2" X 1/4" ST. ANGLE =3'-11" MAX. SPAN(7.9)
L2 = L- 4" X 3 1/2" X 5/16" ST. ANGLE =5'-11" MAX. SPAN(8.2)
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L5 = L- 6" X 4" X 3/8" ST. ANGLE =9'-10" MAX. SPAN(11.6)
L6 = 3-15M REBARS

WOOD LINTEL SCHEDULE

(2-PLY WOOD MEMBERS)

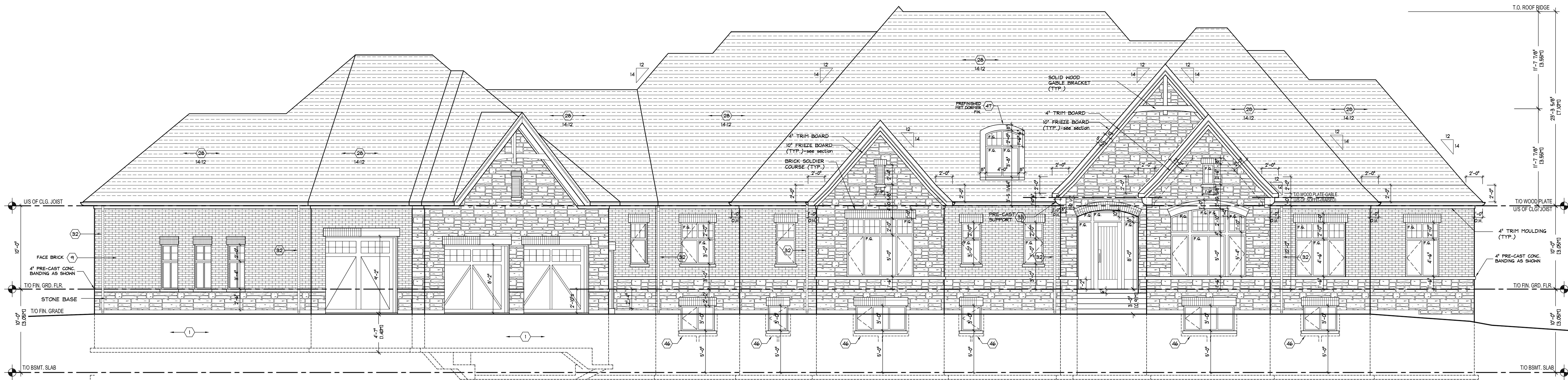
W1 = 2-2" X 8" SPRUCE No.1
W2 = 2-2" X 10" SPRUCE No.1
W3 = 2-2" X 12" SPRUCE No.1

(3-PLY WOOD MEMBERS)

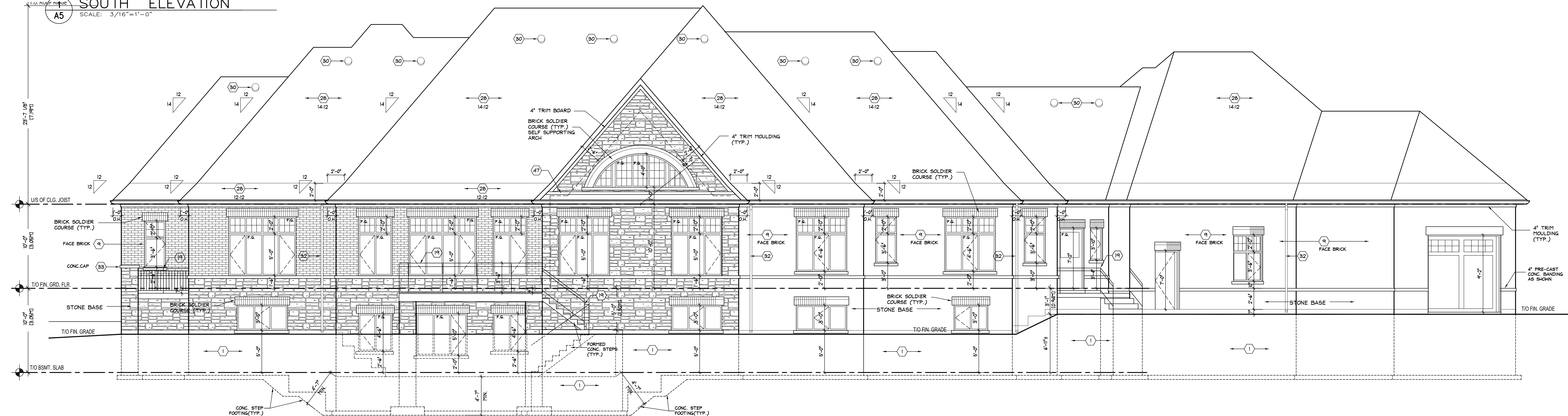
W4 = 3-2" X 8" SPRUCE No.1
W5 = 3-2" X 10" SPRUCE No.1
W6 = 3-2" X 12" SPRUCE No.1

(LVL- 20 f-E Grade)

W7 = 1 3/4" X 9 1/2" LVL
W8 = 1 3/4" X 11 7/8" LVL
W9 = 1 3/4" X 14" LVL
W10 = 1 3/4" X 16" LVL



1.50' PLUMB RUMBLE
A5 SOUTH ELEVATION
SCALE: 3/16"=1'-0"



2
A5 NORTH SIDE ELEVATION
SCALE: 3/16"=1'-0"

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QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.3.1 of the building code

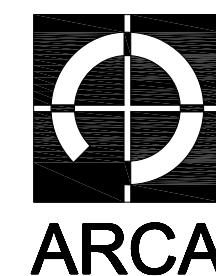
FRANK BRADY 25504
BCN# JUN.08/22
Signature Date

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.1 of the building code

ARCA DESIGN INC. 30785
Firm Name BCN#

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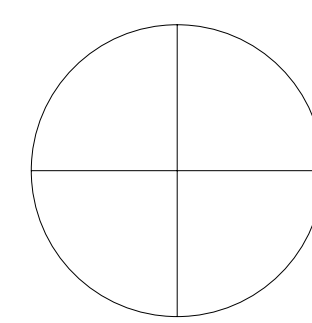
DRAWING TITLE:

SOUTH/NORTH
ELEVATIONS

PROJECT:

PROPOSED
S.F.D. RESIDENCE

1596b 2nd LINE
INNISFIL, ON



SCALE:
A5 NOTED

DRAWN:
F.B.

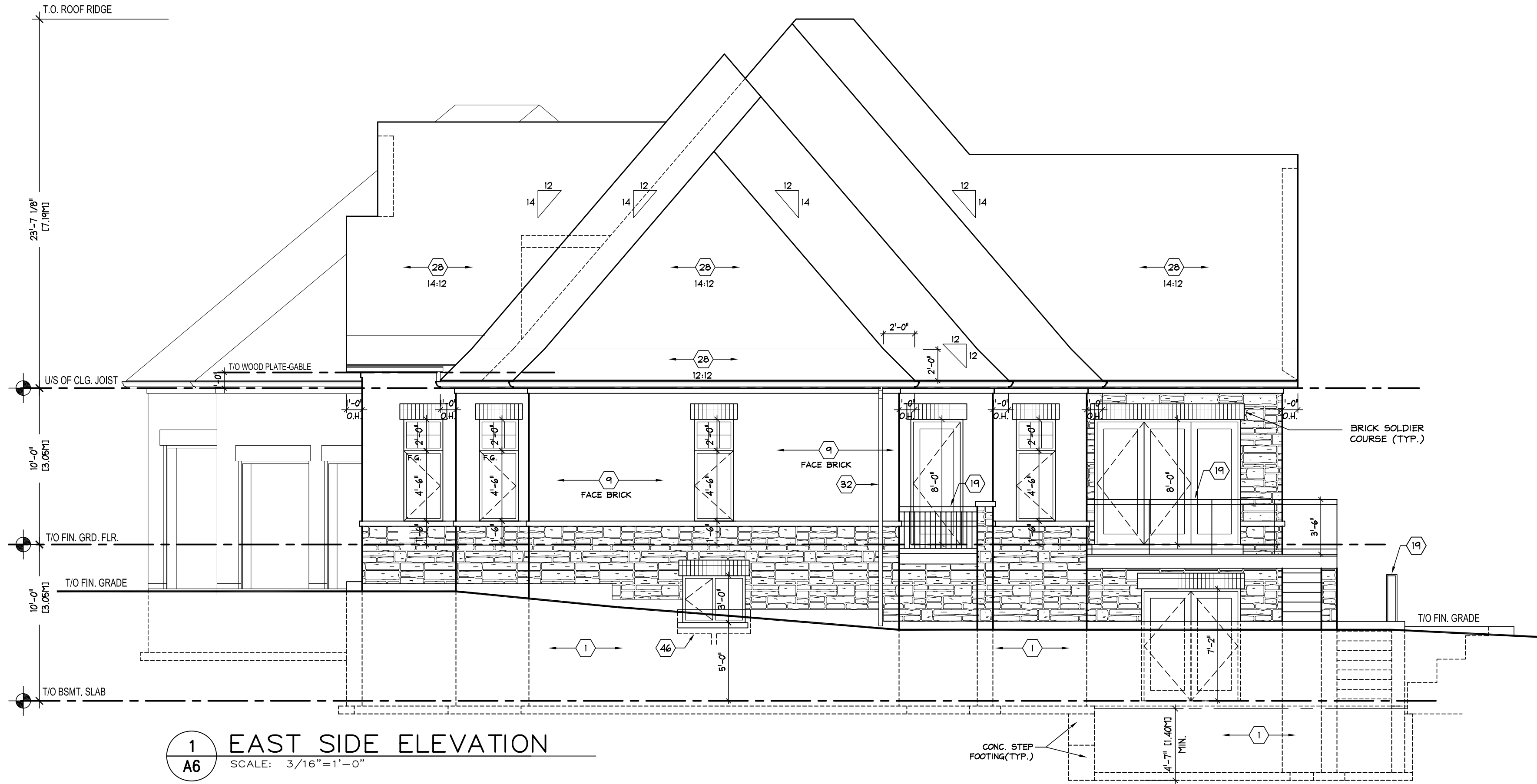
CHECKED BY:
F.B.

FILE NO:
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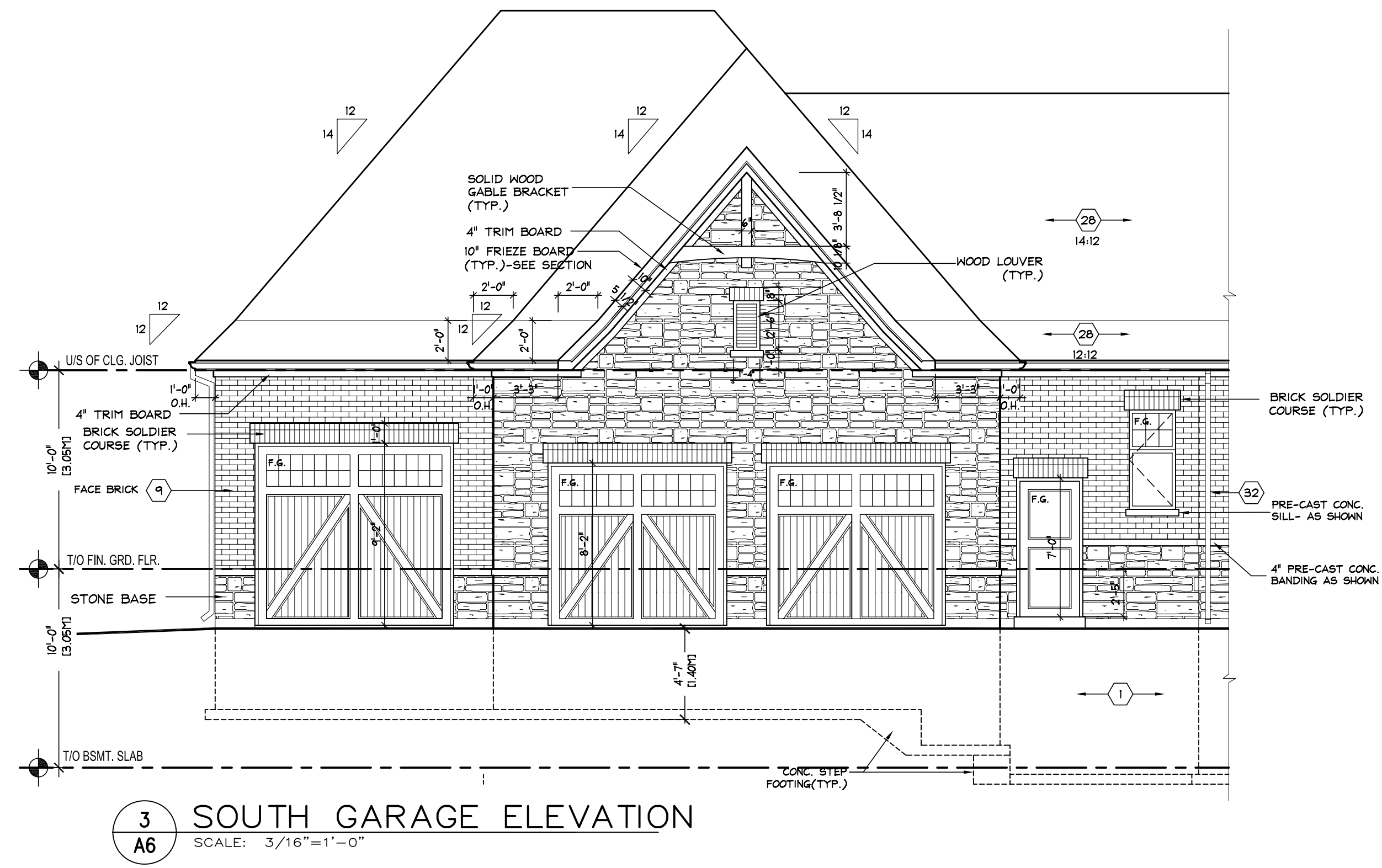
DATE:
MAY.2022

DRAWING No.

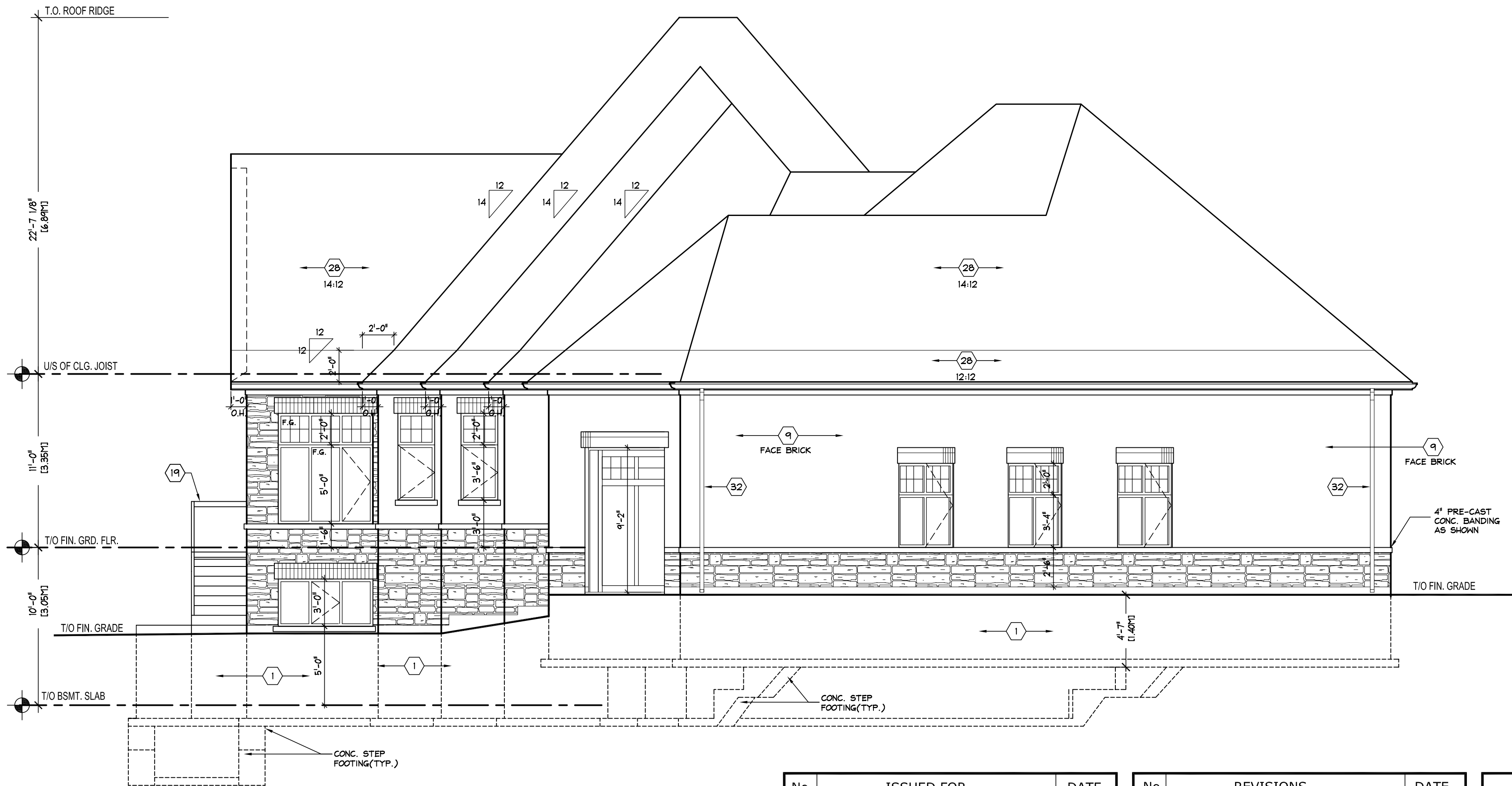
A-5



1 EAST SIDE ELEVATION
A6 SCALE: 3/16"=1'-0"



3 SOUTH GARAGE ELEVATION
A6 SCALE: 3/16"=1'-0"



2 WEST SIDE ELEVATION
A6 SCALE: 3/16"=1'-0"

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Required unless design is exempt under 3.2.4.1 of the building code

FRANK BELLINI 25554 BCR# JUN. 08/22 Date

Signature

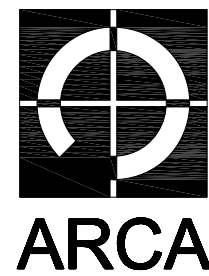
REGISTRATION INFORMATION

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ARCA DESIGN INC. 30785 BCR# Form Name

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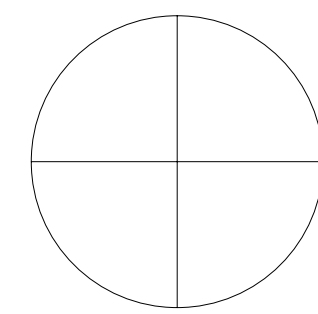
DRAWING TITLE:

GARAGE ELEVATION
SIDE ELEVATIONS

PROJECT:

PROPOSED
S.F.D. RESIDENCE

1596b 2nd LINE
INNISFIL, ON



SCALE:
AS NOTED

DRAWN:
F.B.

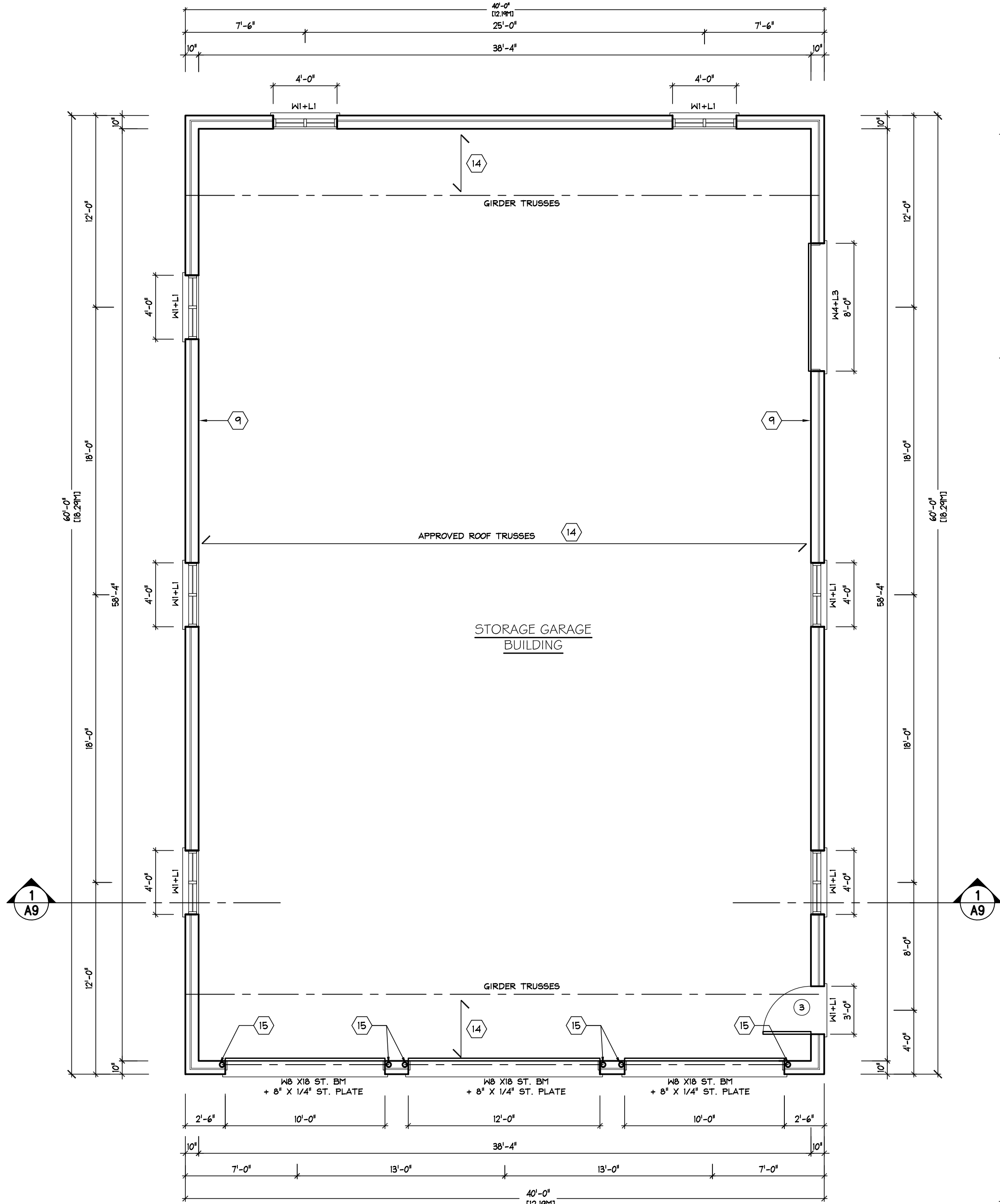
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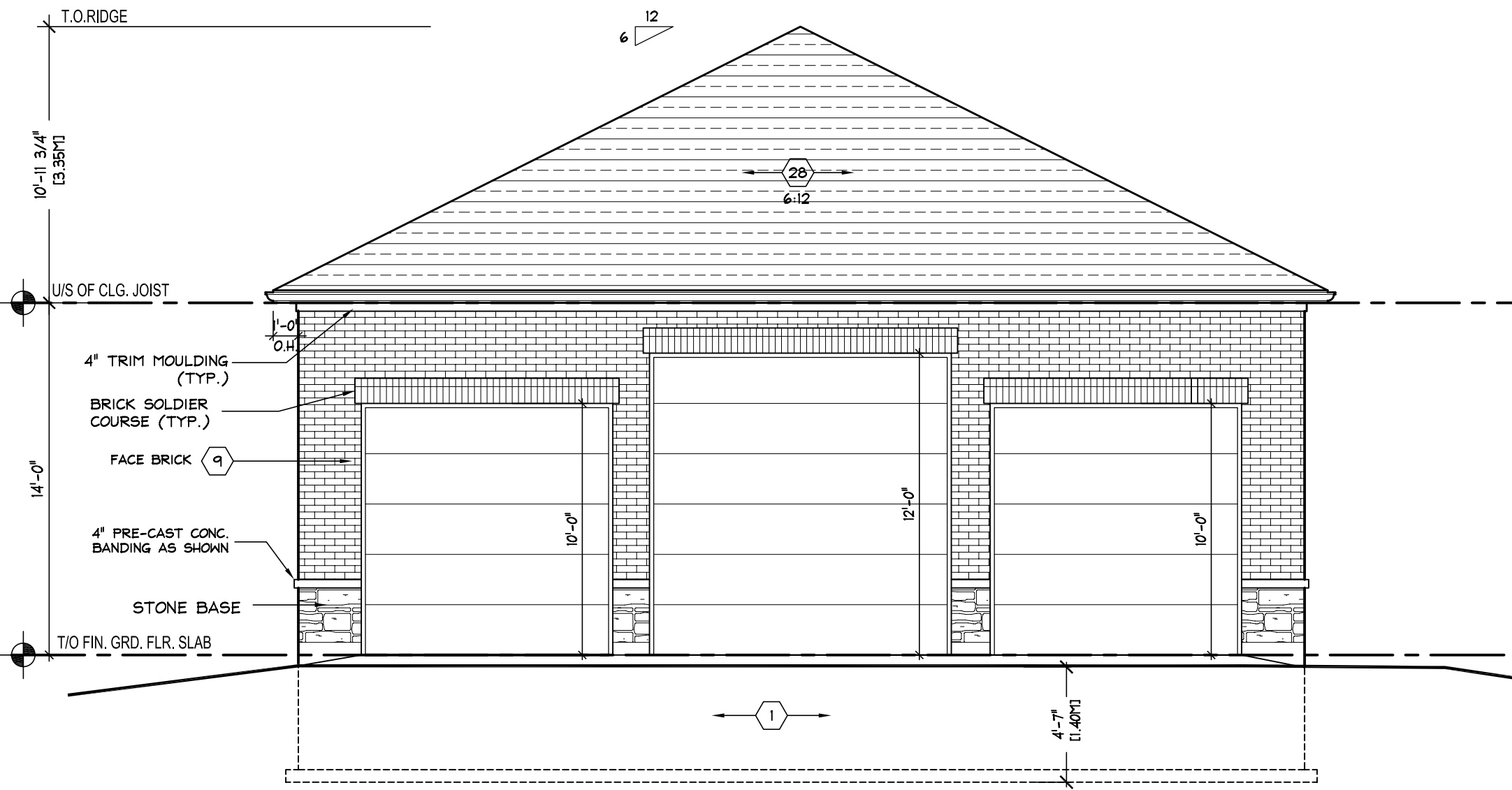
DATE:
MAY.2022

DRAWING No.

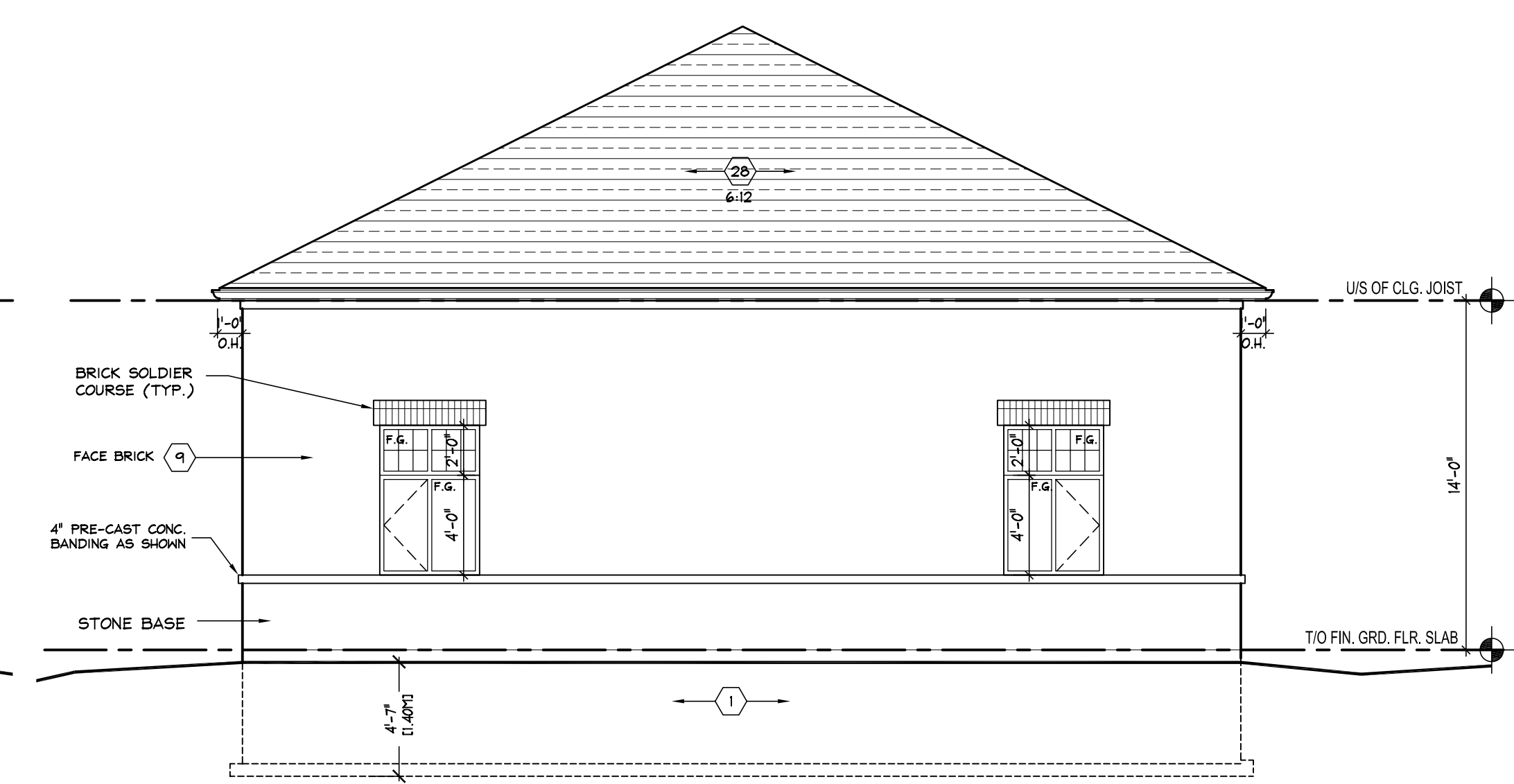
A-6



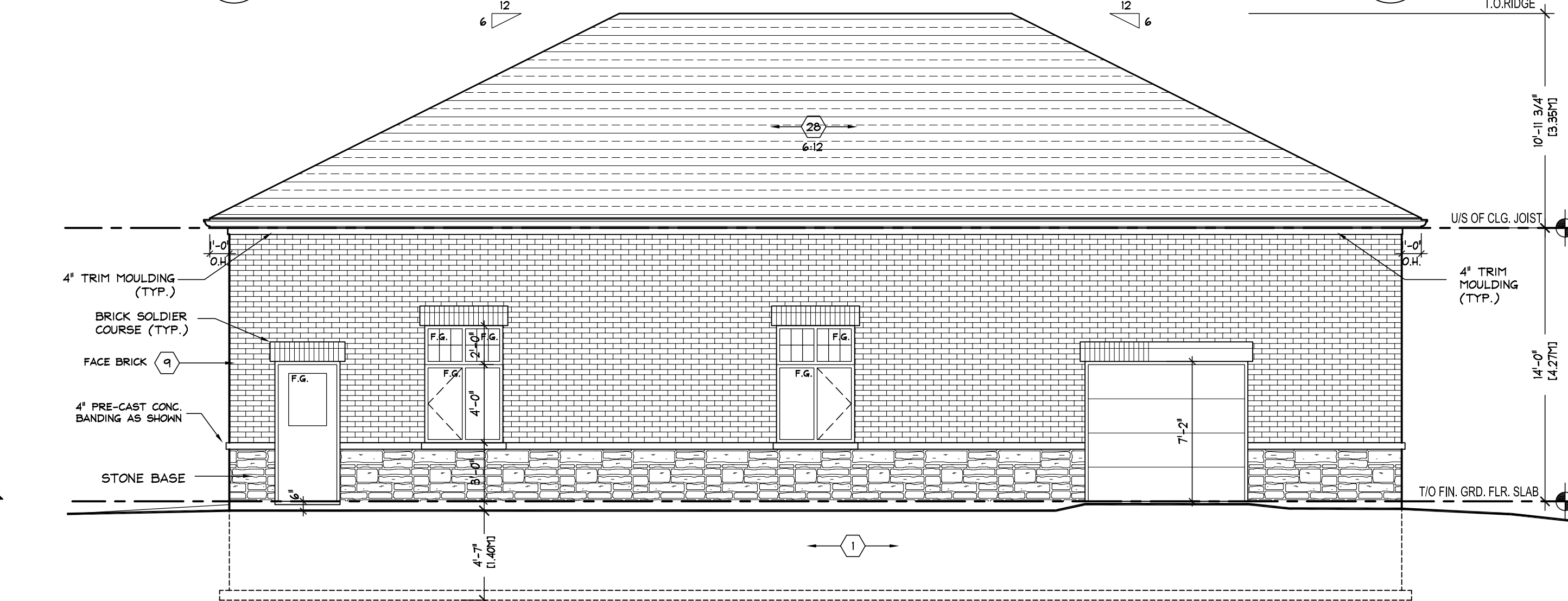
1 GROUND FLOOR PLAN
SCALE: 3/16"=1'-0"



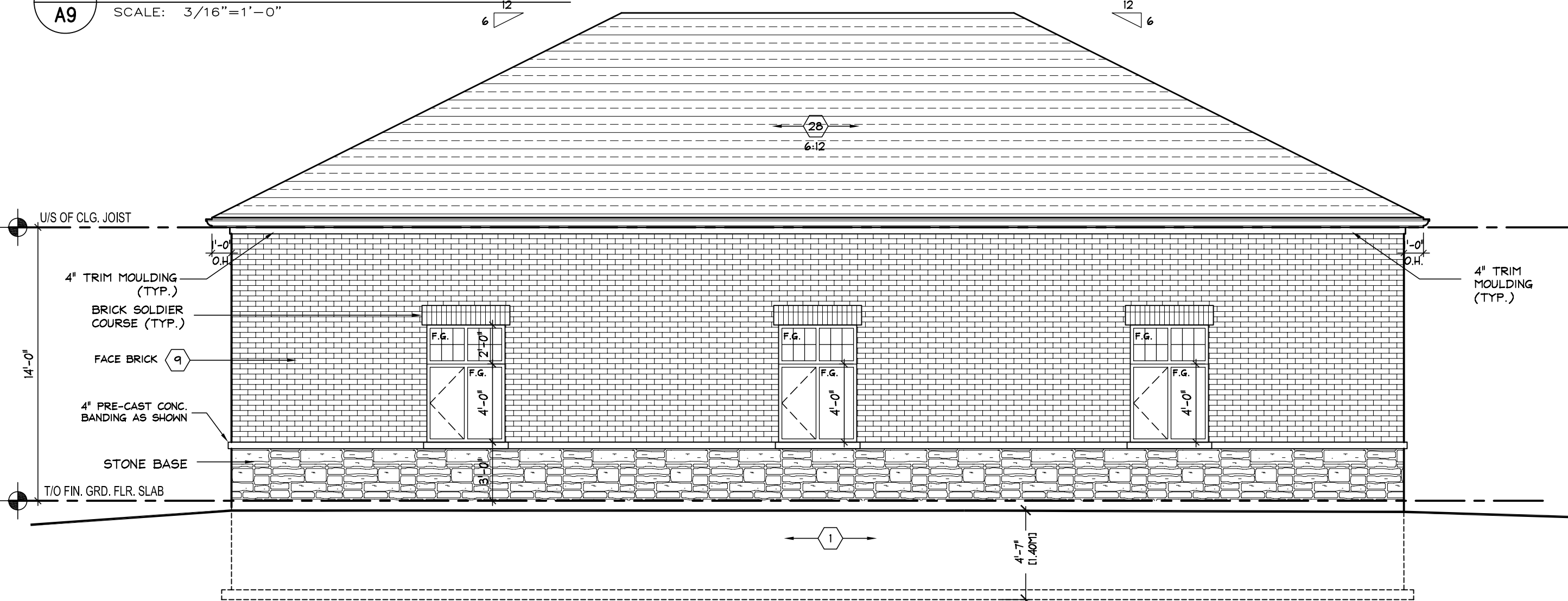
2 SOUTH ELEVATION
SCALE: 3/16"=1'-0"



3 WEST ELEVATION
SCALE: 3/16"=1'-0"



4 EAST ELEVATION
SCALE: 3/16"=1'-0"



5 EAST ELEVATION
SCALE: 3/16"=1'-0"

| LEGEND / PLANS | |
|----------------|---------------------------------|
| | CLASS B VENT |
| | EXHAUST VENT |
| | DUPLEX OUTLET (12" HIGH) |
| | DUPLEX OUTLET (HEIGHT AS NOTED) |
| | WATERPROOF DUPLEX OUTLET |
| | HEAVY DUTY OUTLET |
| | DOUBLE JOIST |
| | TRIPLE JOIST |
| | PRESSURE TREATED LUMBER |
| | GIRDER TRUSS |
| | SMOKE ALARM |
| | CARBON MONOXIDE DETECTOR |
| | FLOOR DRAIN |
| | POT LIGHT (LOW VOLTAGE) |
| | HANGING LIGHT |
| | LIGHT FIXTURE (FULL CHAIN) |
| | LIGHT FIXTURE (WALL MOUNTED) |
| | SWITCH |
| | SWITCH W/ DIMMER |
| | SWITCH (DUPLEX) |
| | HOSE BIB |
| | DOUBLE VOLUME WALL |
| | SOLID BEARING |
| | POINT LOAD |
| | T.V. OUTLET |
| | TELEPHONE OUTLET |

| STEEL UNTEL SCHEDULE | |
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| WOOD UNTEL SCHEDULE (2-PLY WOOD MEMBERS) | |
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| QUALIFICATION INFORMATION Required unless design is exempt under 3.2.5.1 of the building code | | |
| FRANK BLANCH | 25554 | REV |
| | JUN 08/22 | Date |
| REGISTRATION INFORMATION Required unless design is exempt under 3.2.4.1 of the building code | | |
| ARCA DESIGN INC. | 30765 | REV |
| Firm Name | | |

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DRAWING TITLE:

STORAGE GARAGE
PLAN+ELEVATIONS

PROJECT:

PROPOSED
STORAGE GARAGE BUILDING

1596b 2nd LINE
INNISFIL, ON

SCALE:

A5 NOTED

DRAWN:

F.B.

CHECKED BY:

F.B.

FILE NO:

-

DATE:

MAY.2022

DRAWING No.

A-9