



**COMMITTEE OF ADJUSTMENT NOTICE OF PUBLIC HEARING
APPLICATION NO. A-070-2022**

TAKE NOTICE that an application has been received by the Town of Innisfil from **Paul Simone, Applicant**, on behalf of **David Simone, Owner**, for a minor variance from Zoning By-law 080-13, pursuant to Section 45 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended.

The subject property is described legally as **INNISFIL CON 4 PLAN 759 PT BLK A RP 51R40813 PART 1**, is known municipally as **1163 Belle Aire Beach Road**, and is zoned as **“Residential 1 Zone (R1)”**.

The applicant is proposing to construct a single detached home with an attached garage projecting 2 m ahead of the main front wall of the principal building. The applicant is seeking relief from Section 3.18.1(e) of the Zoning By-law which allows for a maximum 1 m projection beyond the main front wall of the principal building where a porch is provided.

The Committee of Adjustment for the Town of Innisfil will consider this application through a conference call on **Thursday, December 8, 2022, at 6:30 PM**.

To participate in the hearing and/or provide comments, you must register by following the link below or scanning the above QR code:
<https://innisfil.ca/en/building-and-development/committee-of-adjustment-hearings.aspx>

Requests can also be submitted in writing to: Town of Innisfil Committee of Adjustment, 2101 Innisfil Beach Road, Innisfil, Ontario, L9S 1A1 or by email to planning@innisfil.ca.

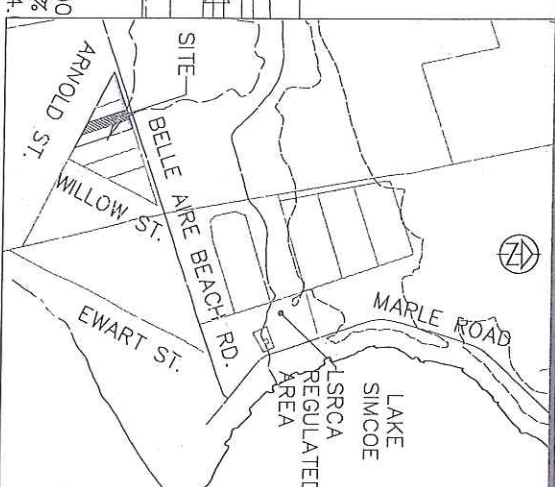
If you wish to receive a copy of the decision of the Committee of Adjustment in respect of the proposed minor variance, you must make a written request to the Secretary-Treasurer of the Committee of Adjustment by way of email or regular mail. The Notice of Decision will also explain the process for appealing a decision to the Local Planning Appeal Tribunal.



Additional information relating to the proposed application is available on the Town of Innisfil website. Accessible formats are available on request, to support participation in all aspects of the feedback process. To request an alternate format please contact Planning Services at planning@innisfil.ca.

Dated: **November 21, 2022**

Toomaj Haghshenas,
Secretary-Treasurer
thaghsheenas@innisfil.ca
705-436-3710 ext. 3316

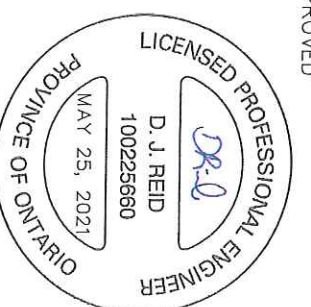


ZONING INFORMATION		
ZONE DESIGNATION	PERMITTED	PROVIDED
R1		
LOT AREA (sq. m)	600 (MIN)	1037
LOT FRONTAGE (m)	15.0 (MIN)	15.2
FRONT YARD SETBACK (m)	8.0 (MIN)	10
INTERIOR SIDE YARD SETBACK (m)	1.2 (MIN)	1.2
EXTERIOR SIDE YARD SETBACK (m)	6.0 (MIN)	N/A
REAR YARD SETBACK (m)	6.0 (MIN)	33.3
GROSS FLOOR AREA (sq. m)	N/A	207
LOT COVERAGE (%)	35 (MAX)	20.0
BUILDING HEIGHT (m)	9 (MAX)	5.5

EXISTING SANITARY AND WATER SERVICES TO BE LOCATED IN FIELD PRIOR TO CONSTRUCTION

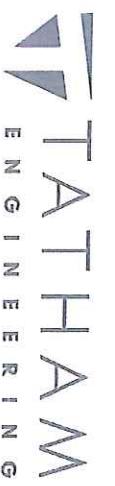
TOPOGRAPHIC NOTE
TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY PLAN PREPARED BY J.D. BARNES, DATED APRIL 12, 2017, WHICH MAY NOT BE FINAL AND ARE NOT GUARANTEED. THE FINAL REGISTERED PLAN OF SURVEY SHALL BE REFERRED TO FOR CONFIRMATION OF THE DATA.

BENCHMARK
ELEVATIONS SHOWN ON THIS PLAN ARE RELATED TO GEODETIC DATUM AND ARE DERIVED FROM BENCH MARK NO 00119050649 HAVING A PUBLISHED ELEVATION OF 236.060 METRES.



1.	ISSUED FOR BUILDING PERMIT	MAY 25/21
No.	REVISION DESCRIPTION	DATE

TOWN OF INNISFIL
1163 BELLE AIRE BEACH ROAD
LOT GRADING PLAN



SCALE: 1:300 DATE: APRIL/17 JOB NO. 417364

FFE: FIRST FLOOR ELEV.
TFW: TOP OF FOUNDATION WALL
FBS: FINISHED BASEMENT FLOOR SLAB
USF: UNDERSIDE OF FOOTING
USFR: UNDERSIDE OF FOOTING (REAR)

AREA TO BE UNDISTURBED

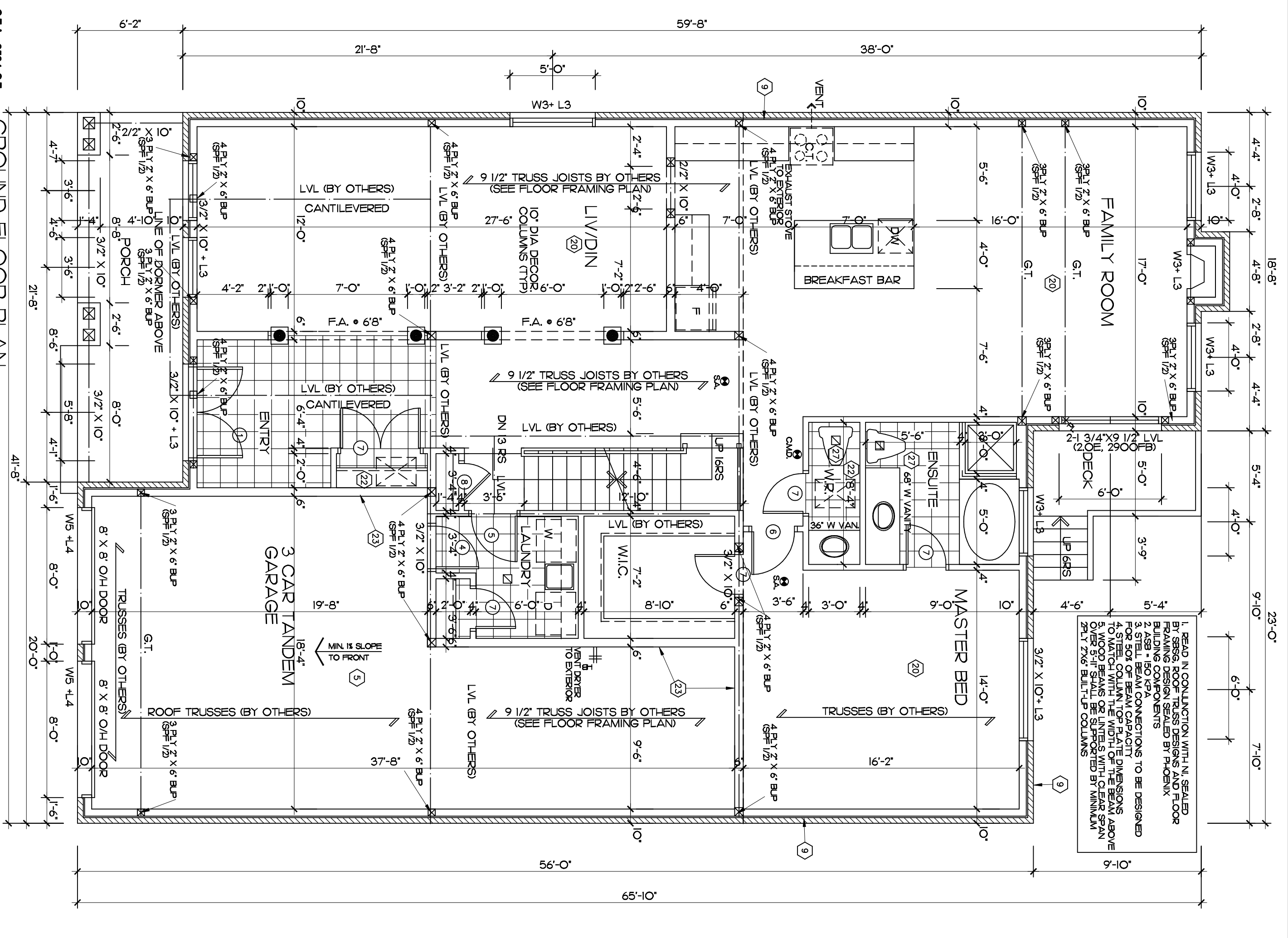
911#-1159

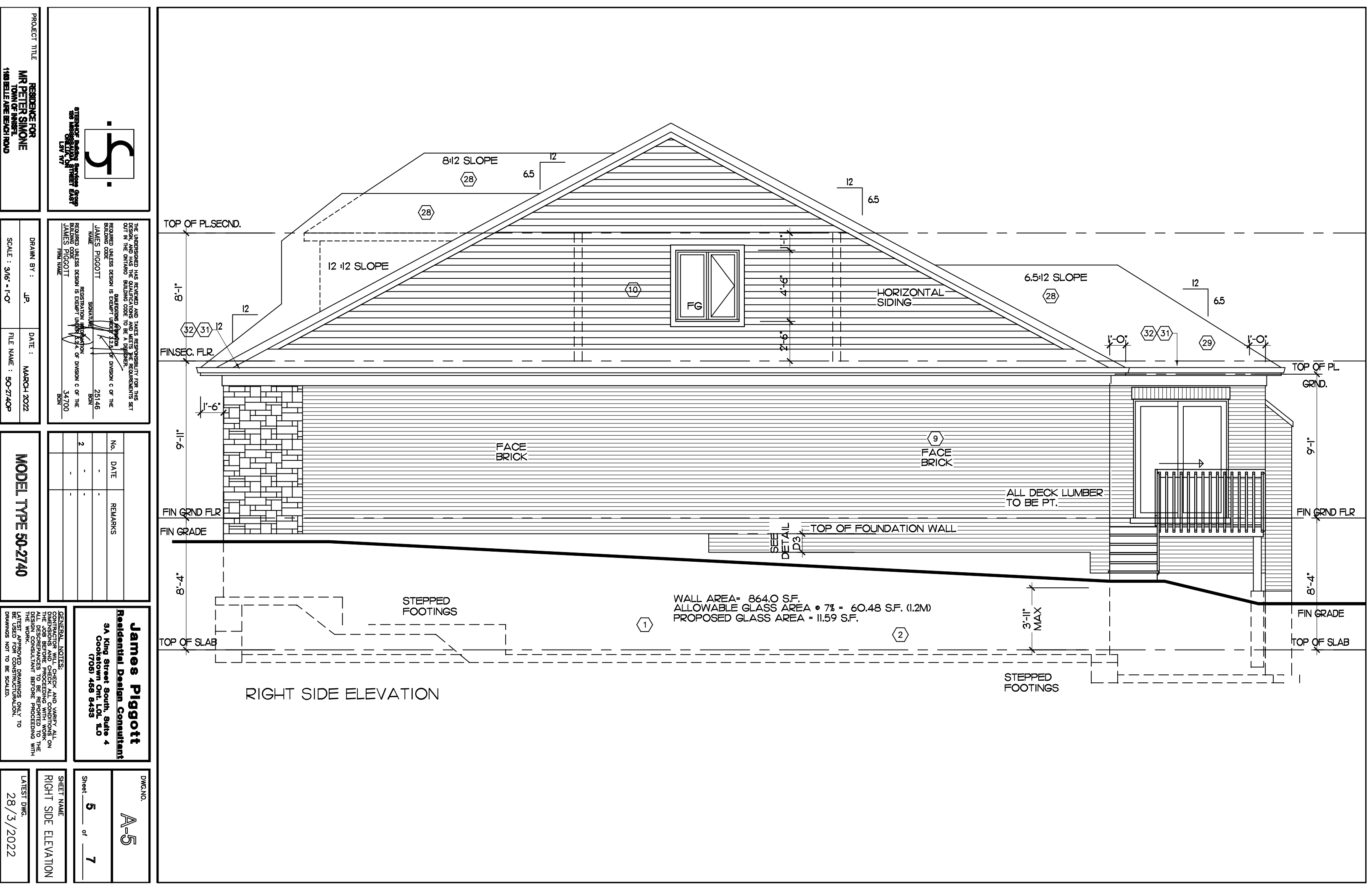
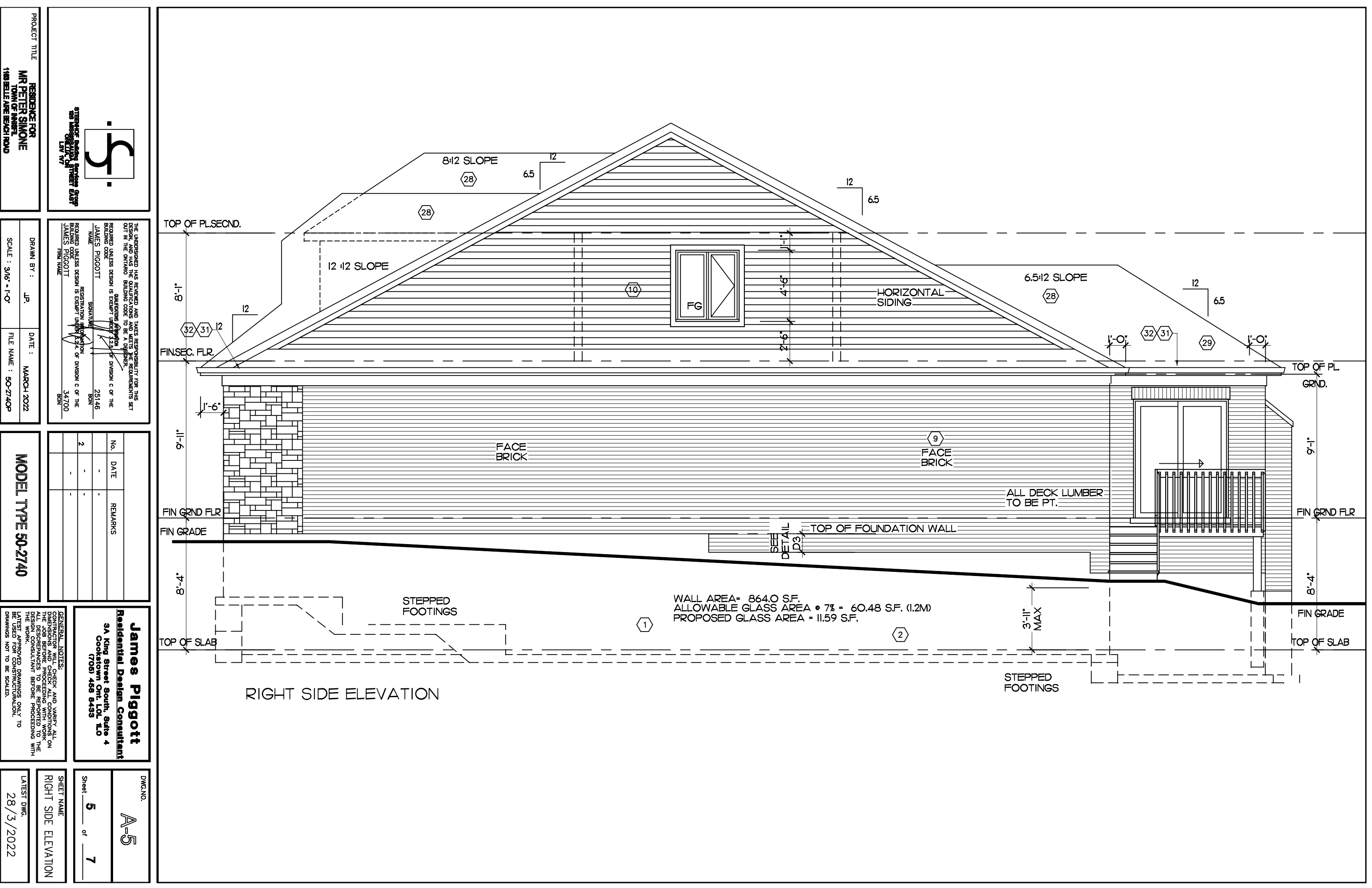
911#-1163

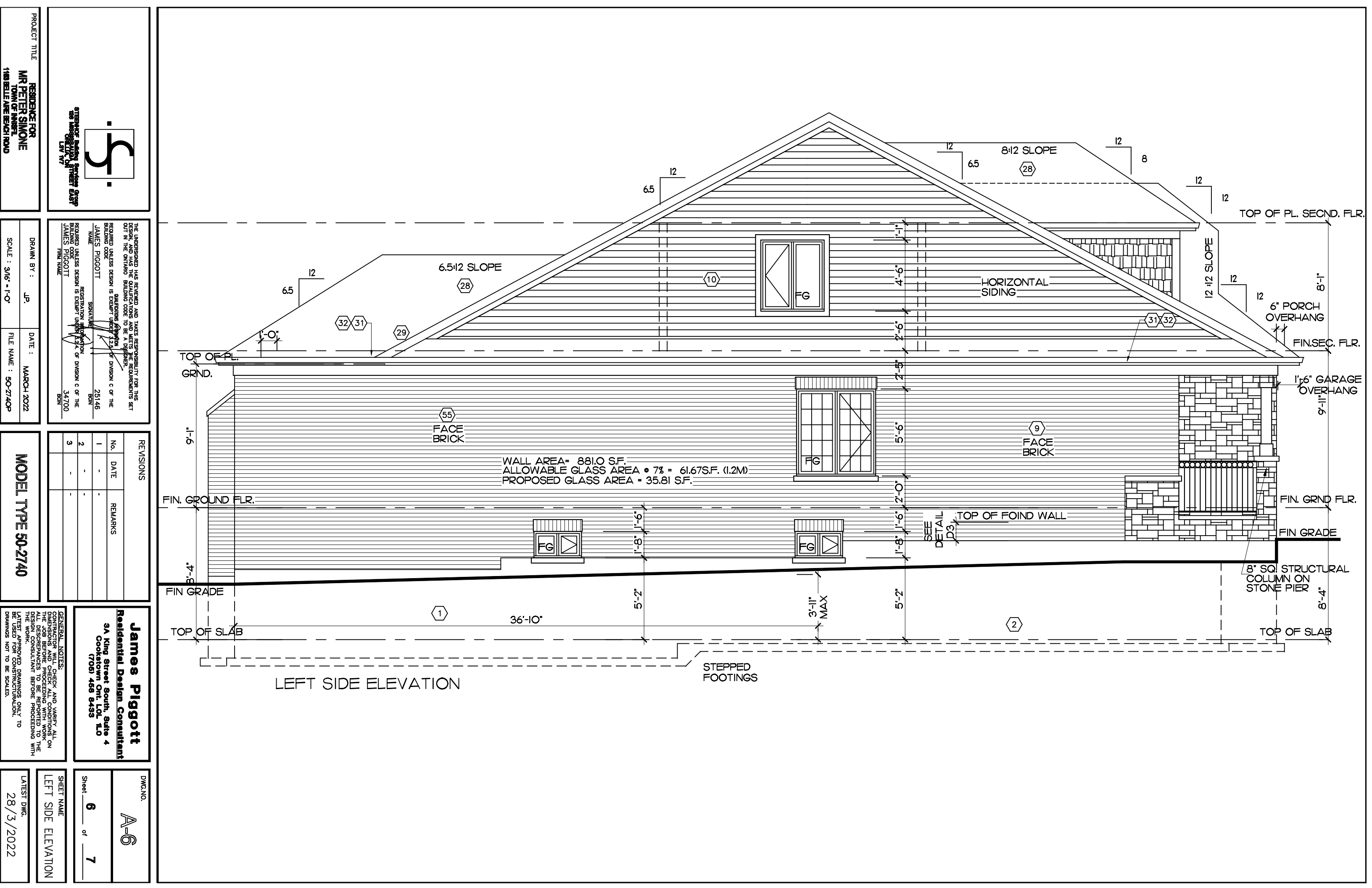
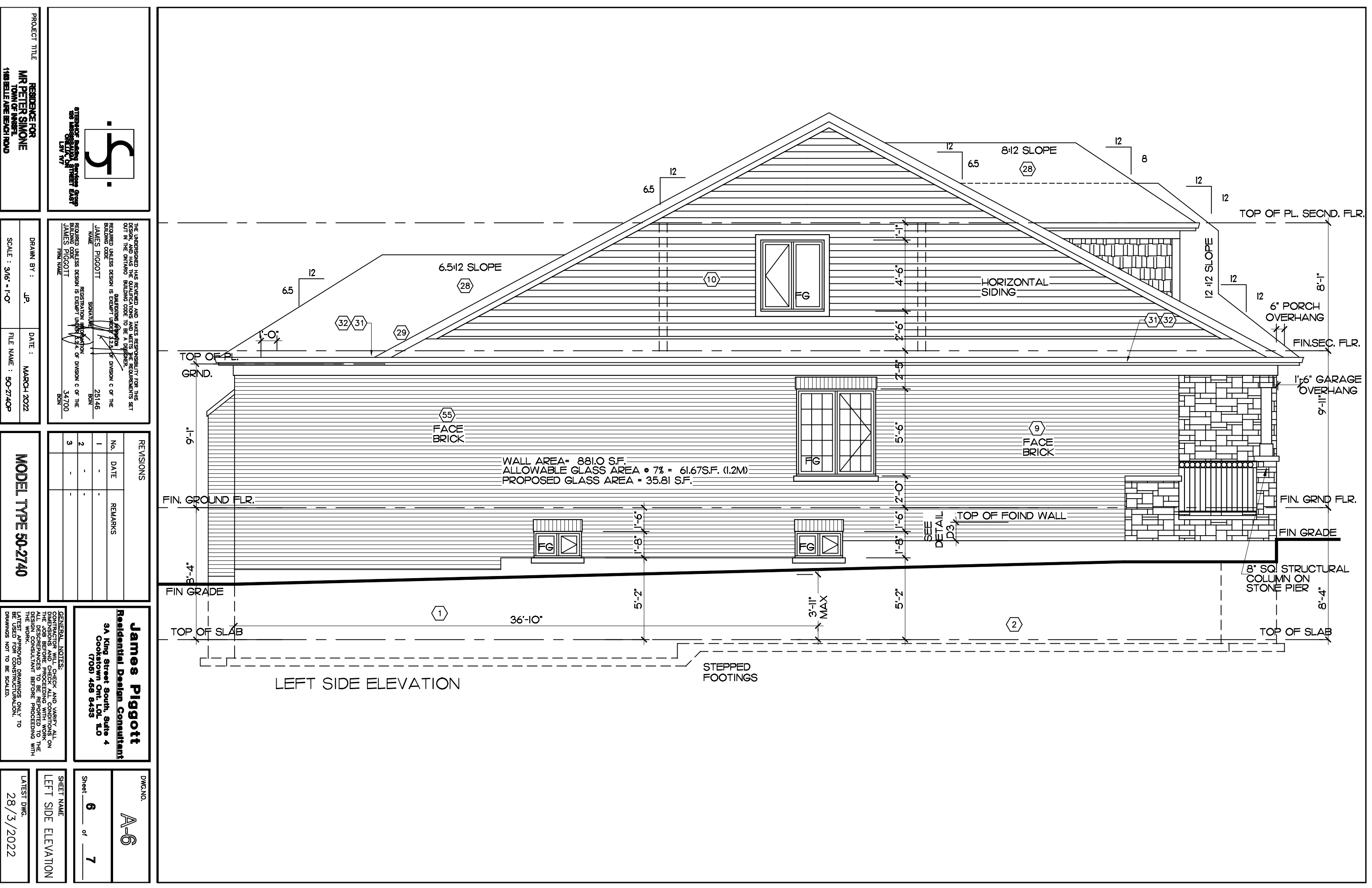
- *RAIN GARDEN (LID) COMPLETE WITH 0.5m DEEP BIO-RETENTION FILTER MEDIA AND 0.65m DEEP CLEAR STONE TO PROMOTE INFILTRATION
*BIO-RETENTION MEDIA IS COMPOSED OF:
(65% TO 88% BY WEIGHT)
• FINES <0.05mmø
(8% TO 12 % BY WEIGHT)
• ORGANIC MATTER
(3% TO 5% BY WEIGHT)
• PHOSPHORUS SOIL TEST (P-INDEX) VALUE 10-30 ppm
• CATIONIC EXCHANGE CAPACITY (CEC) GREATER THAN 10meq/100g pH BETWEEN 5.5 TO 7.5

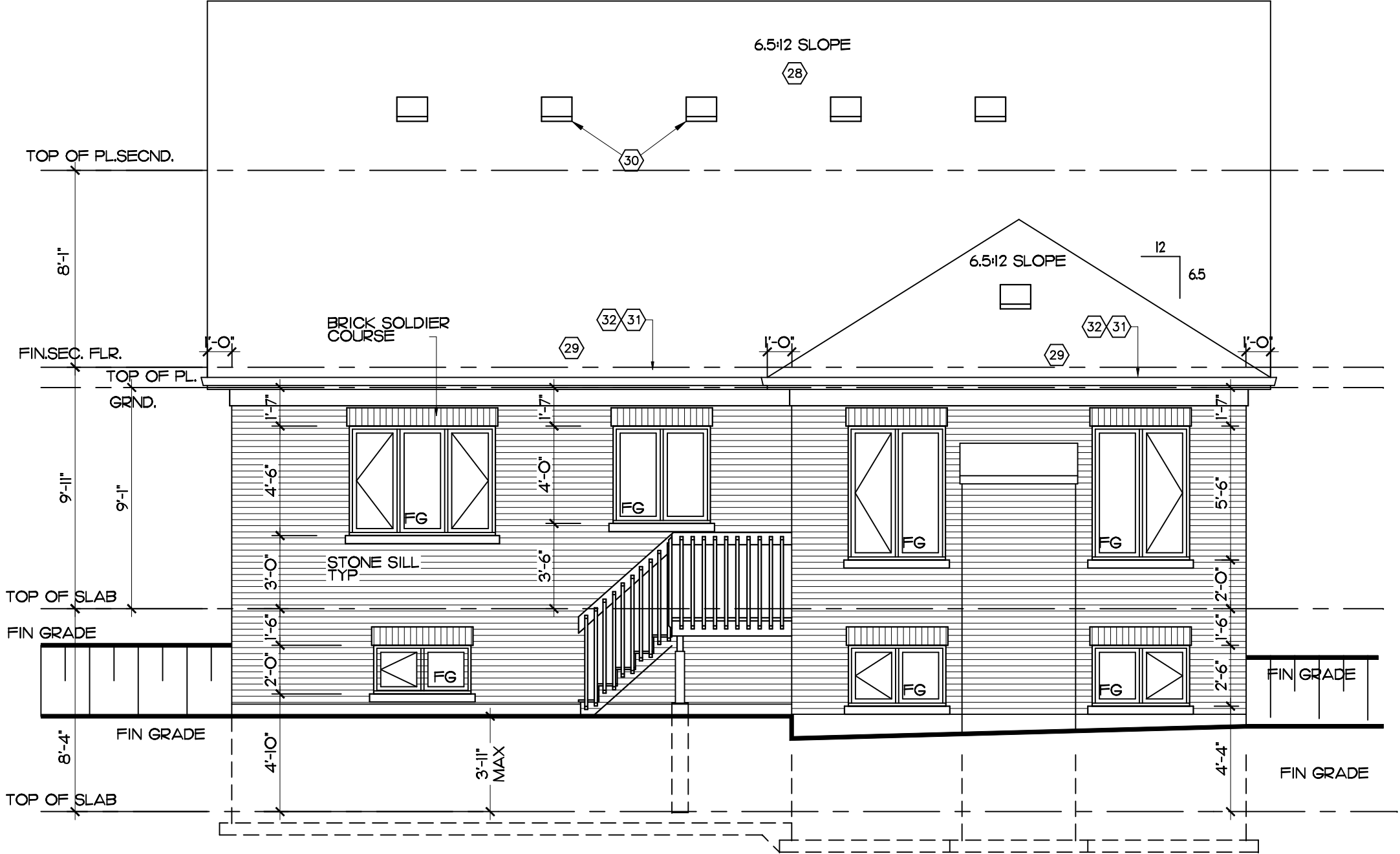
RAIN GARDEN (LID)
CONTRIBUTING DRAINAGE AREA = 600m²
VOLUME FROM 15mm STORM = 9.0m³
INFILTRATION VOLUME
LID SURFACE AREA = 25m²
BIORETENTION FILTER MEDIA DEPTH = 0.5m
VOID RATIO = 0.2
INFILTRATION VOLUME = 2.5³
CLEAR STONE DEPTH = 0.65m
VOID RATIO = 0.4
INFILTRATION VOLUME = 6.5m³
TOTAL INFILTRATION VOLUME = 9.0m³
THEREFORE, LID HAS BEEN DESIGNED TO INFILTRATE 15mm STORM EVENT

- LEGEND
- PROPERTY LINE
 - MAN DOORS
 - DOWN-SPOUT DIRECTION
 - DRAINAGE SWALE
 - PROPOSED CULVERT
 - PROPOSED GRADE
 - EXISTING GRADE
 - EX. DITCH
 - SUMP PUMP OUTLET
 - EX. TREE
 - WELL
 - EX. WELL
 - PROPOSED WELL
 - EXISTING WATERMAIN
 - EXISTING SANITARY SEWER









REAR ELEVATION

PROJECT TITLE

RESIDENCE FOR
MR PETER SIMONE
TOWN OF TAVEL
1108 BELLE AVE BENCH ROAD

STANDARD BUILDING SERVICES GROUP
250 MISSISSAUGA AVENUE, SUITE 100
L7Y 1V7

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUADRADES ASSOCIATION
REQUIRED CODE
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 12.3 OF DIVISION C OF THE BUILDING CODE
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.2.4 OF DIVISION C OF THE BUILDING CODE
JAMES PIGGOTT
FINN NAME

SIGNATURE
25146
BCN
34700

REGISTRATION NO. OF THE DESIGNER
MARCH 2022
SCALE : 3/16" = 1'-0"

DRAWN BY : JP.

DATE : MARCH 2022

FILE NAME : 50-2740P

REVISIONS		
No.	DATE	REMARKS
1	-	-
2	-	-
3	-	-

James Piggott

Residential Design Consultant

3A King Street South, Suite 4
Cookstown Ont. L0L 1L0
(705) 465 8455

GENERAL NOTES:

CONTRACTOR WILL CHECK ALL DIMENSIONS ON THE JOB BEFORE PROCEEDING WITH WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DESIGN CONSULTANT BEFORE PROCEEDING WITH THE WORK.

LATEST APPROVED DRAWINGS ONLY TO BE USED FOR CONSTRUCTION. DRAWINGS NOT TO BE SCALED.

DWG. NO.

A=7

SHEET NAME

REAR ELEVATION

Sheet 7 of 7

28/3/2022