



**COMMITTEE OF ADJUSTMENT NOTICE OF PUBLIC HEARING
APPLICATION NO. A-023-2025 & A-024-2025**

TAKE NOTICE that an application has been received by the Town of Innisfil from **Amy & Adam Skidmore, Owner**, for a minor variance from Zoning By-law 080-13, pursuant to Section 45 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended.

The subject properties are described legally as **PLAN 1065 LOT 23 RP 51R7727 PART 5** known municipally as **3867 Dixon Rd** and is zoned “**Residential (R1)**”.

The applicant is seeking relief from Section 3.3b of the Zoning By-Law which limits the gross floor area of an accessory building to 50m². The applicant is proposing to construct a detached garage with ADU with a gross floor area of approximately 185m².

The applicant is seeking relief from Section 3.5i) of the Zoning By-Law which does not permit detached accessory dwelling units in the front yard. In the case of this through lot, the front yard has been identified as Big Bay Point Rd as per Section 2.125e) of the Zoning By-law.

The Committee of Adjustment for the Town of Innisfil will consider this application in person at Town Hall and virtually through Zoom on **Thursday, July 17, 2025, at 6:30 PM.**

To participate in the hearing and/or provide comments, you must register by following the link below or scanning the above QR code:

<https://innisfil.ca/en/building-and-development/committee-of-adjustment-hearings.aspx>

Requests can also be submitted in writing to: Town of Innisfil Committee of Adjustment, 2101 Innisfil Beach Road, Innisfil, Ontario, L9S 1A1 or by email to planning@innisfil.ca.

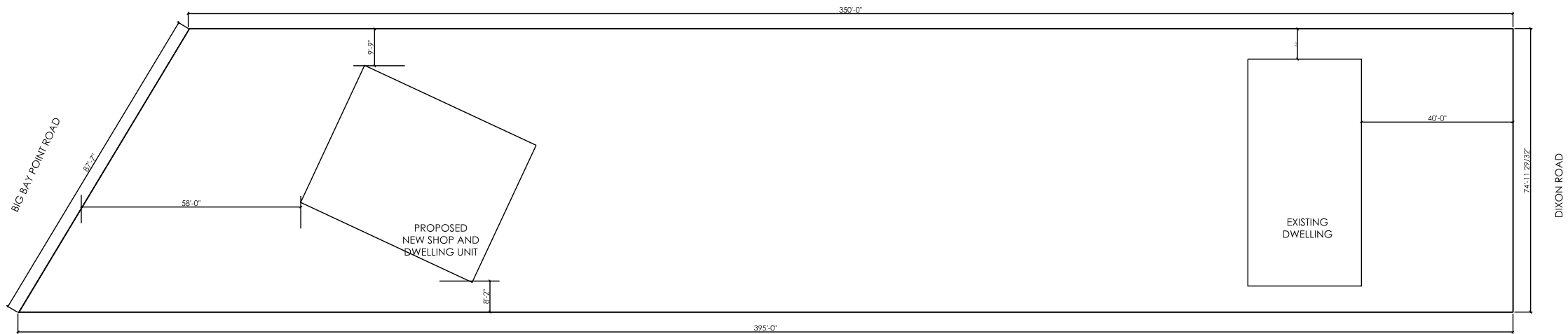
If you wish to receive a copy of the decision of the Committee of Adjustment in respect of the proposed consent, you must make a written request to the Secretary-Treasurer of the Committee of Adjustment by way of email or regular mail. The Notice of Decision will also explain the process for appealing a decision to the Ontario Land Tribunal (OLT).



Additional information relating to the proposed application is available on the Town of Innisfil website. Accessible formats are available on request, to support participation in all aspects of the feedback process. To request an alternate format please contact Planning Services at planning@innisfil.ca.

Dated: **June 27, 2025**

Sarah Burton Hopkins,
Secretary Treasurer
sburtonhopkins@innisfil.ca
705-436-3710 ext. 3504



FINE LINE DESIGN SERVICES
GLENN & HEATHER MIDDLEBROOK
8254 8th Lne
Utopia, On
PHONE (705) 424 8800 CELL (705) 796 8380
E-MAIL: heather@finelinedrafting.ca
www.finelinedrafting.ca

NOTE: THE CONTRACTOR IS RESPONSIBLE TO CONFIRM ALL DIMENSIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, AND REPORT ANY DISCREPANCIES TO THE DESIGNER. THE CONTRACTOR MUST COMPLY WITH ALL LOCAL AND PROVINCIAL BUILDING CODES

INDIVIDUAL BCIN:	14607
FIRM BCIN:	108381
DRAWN BY:	H.M.

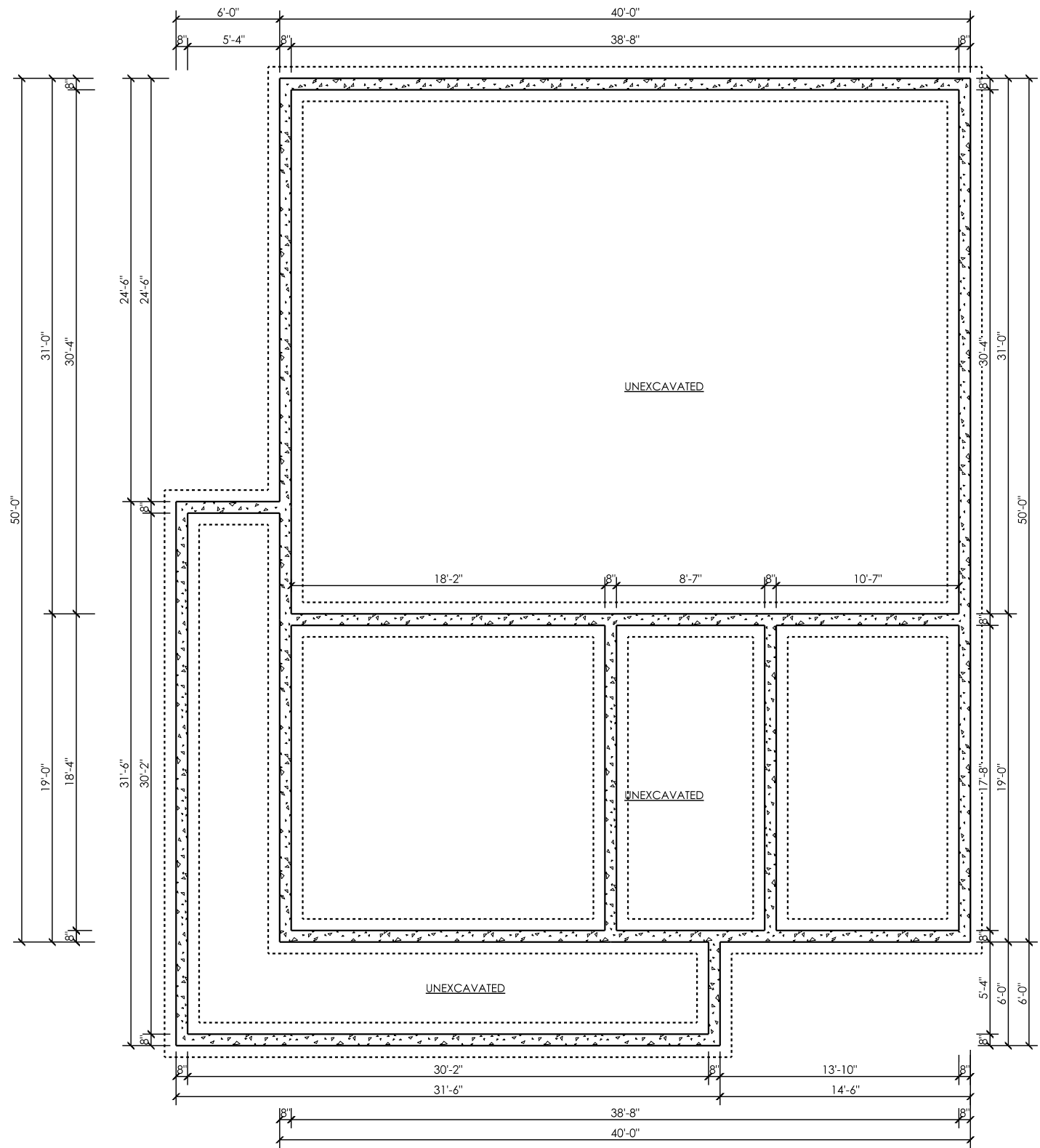
The undersigned has reviewed and takes responsibility for this design, and meets the requirements set out in the 2012 Ontario Building Code to be a designer.

QUALIFICATION INFORMATION	
Required unless exempt under 3.2.5.1 Division C of the Building Code	
HEATHER MIDDLEBROOK	14607
NAME	BCIN
REGISTRATION INFORMATION	
Required unless exempt under 3.2.4.1 Division C of the Building Code	
FINE LINE DESIGN SERVICES	108381
FIRM NAME	BCIN

<u>Site Plan</u>	
PROJECT ADDRESS:	3867 Dixon Road Innisfil

CLIENT NAME:	SKIDMORE
PROJECT:	PROPOSED NEW SHOP AND DWELLING UNIT
START DATE:	April 1 2024
PRINT DATE:	Sept 8 2024

SCALE:	n.t.s
JOB NUMBER:	24-052
DRAWING NUMBER:	S1



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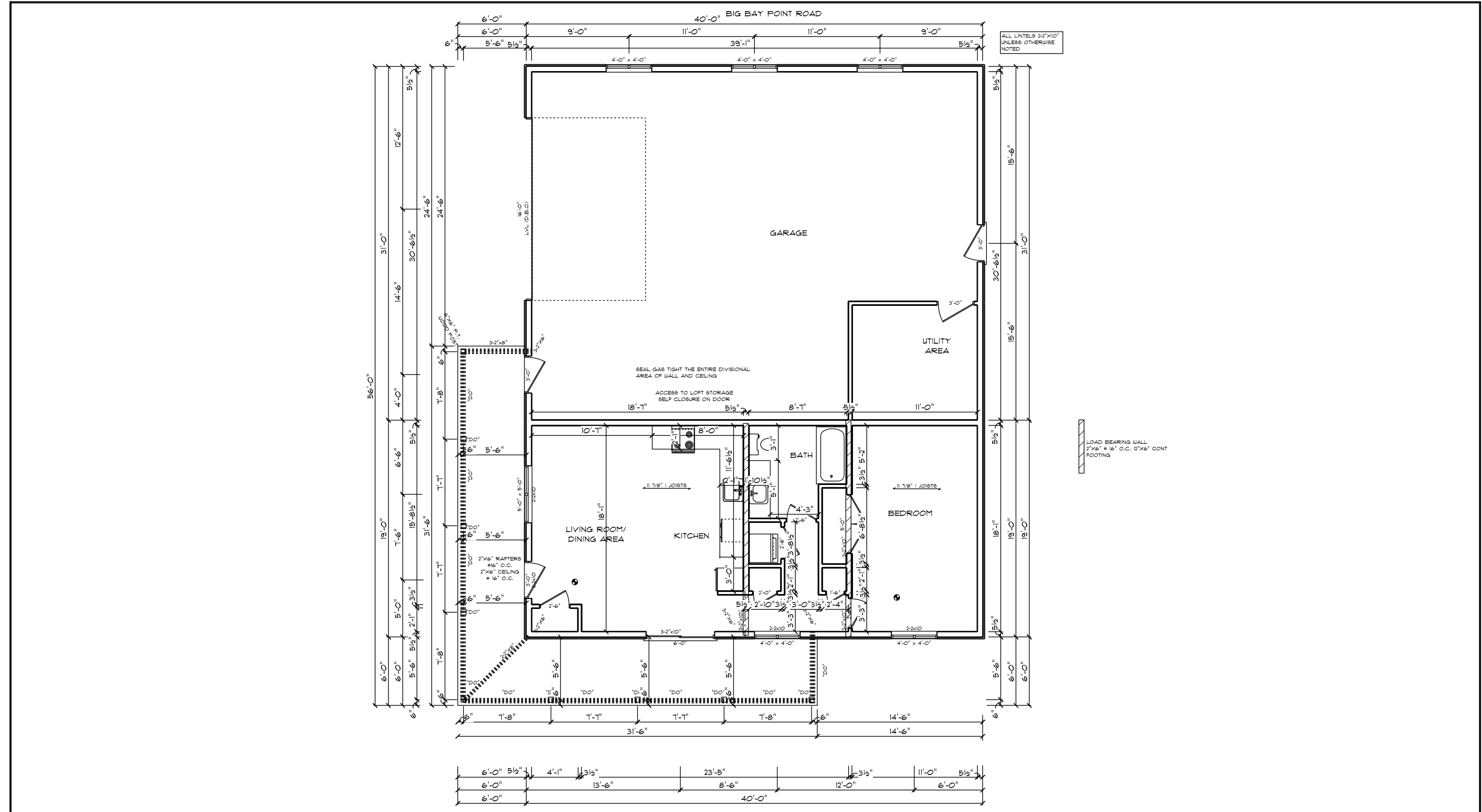
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HEATHER MIDDLEBROOK NAME	14607 BCIN
REGISTRATION INFORMATION Required unless exempt under 3.2.4.1 Division C of the Building Code	
FINE LINE DESIGN SERVICES FIRM NAME	108381 BCIN

<u>Foundation</u>	
PROJECT ADDRESS:	3867 Dixon Road Innisfil

CLIENT NAME:	SKIDMORE
PROJECT:	PROPOSED NEW SHOP AND DWELLING UNIT
START DATE:	April 1 2024
PRINT DATE:	Sept 8 2024

SCALE:	1/8"=1'-0"
JOB NUMBER:	24-052
DRAWING NUMBER:	A1



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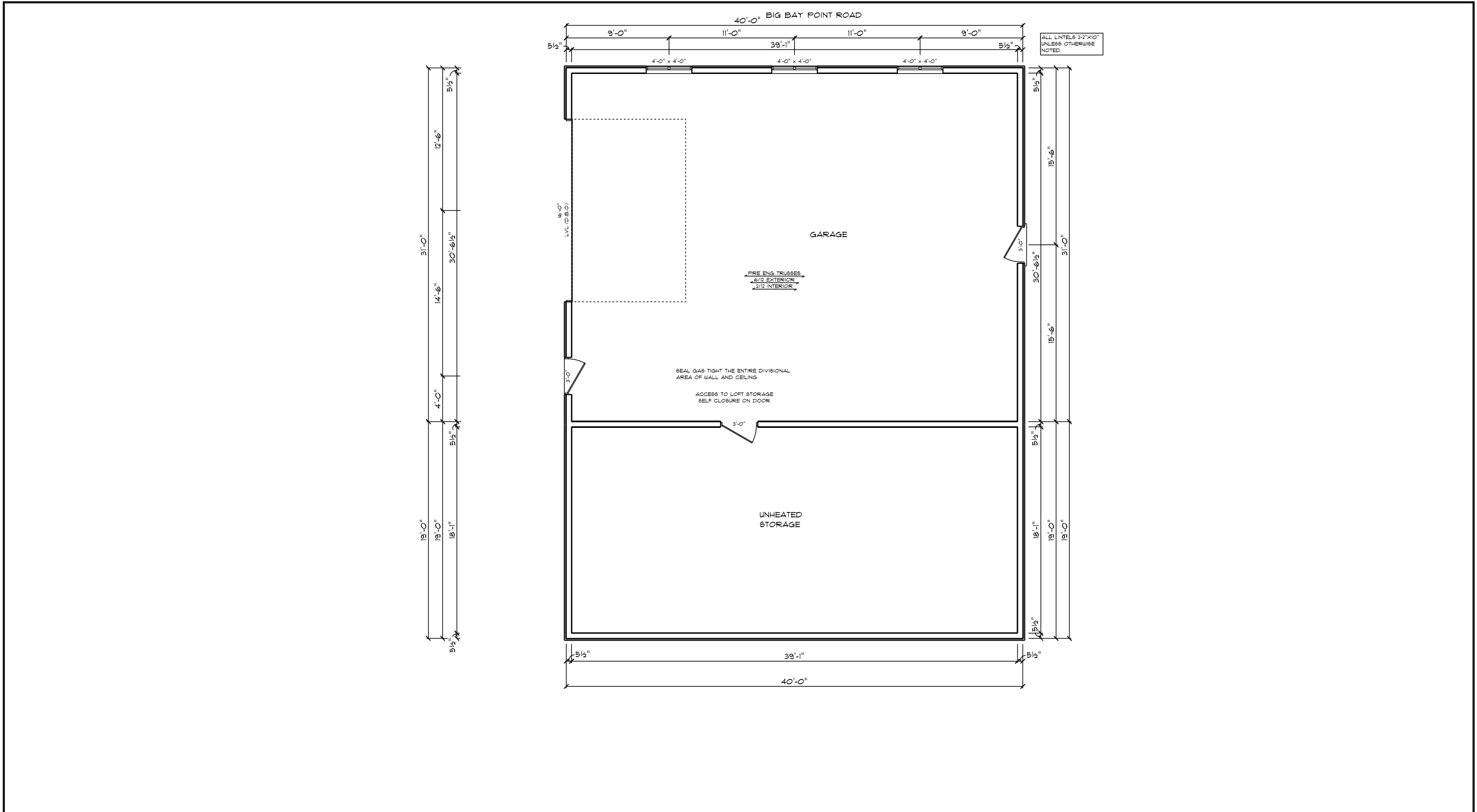
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Main Floor	
PROJECT:	PROPOSED NEW SHOP AND DWELLING UNIT
START DATE:	April 1 2024
PRINT DATE:	Sept 3 2024

CLIENT NAME:	SKIDMORE
JOB NUMBER:	24-052
DRAWING NUMBER:	A2

SCALE:
1/8"=1'-0"



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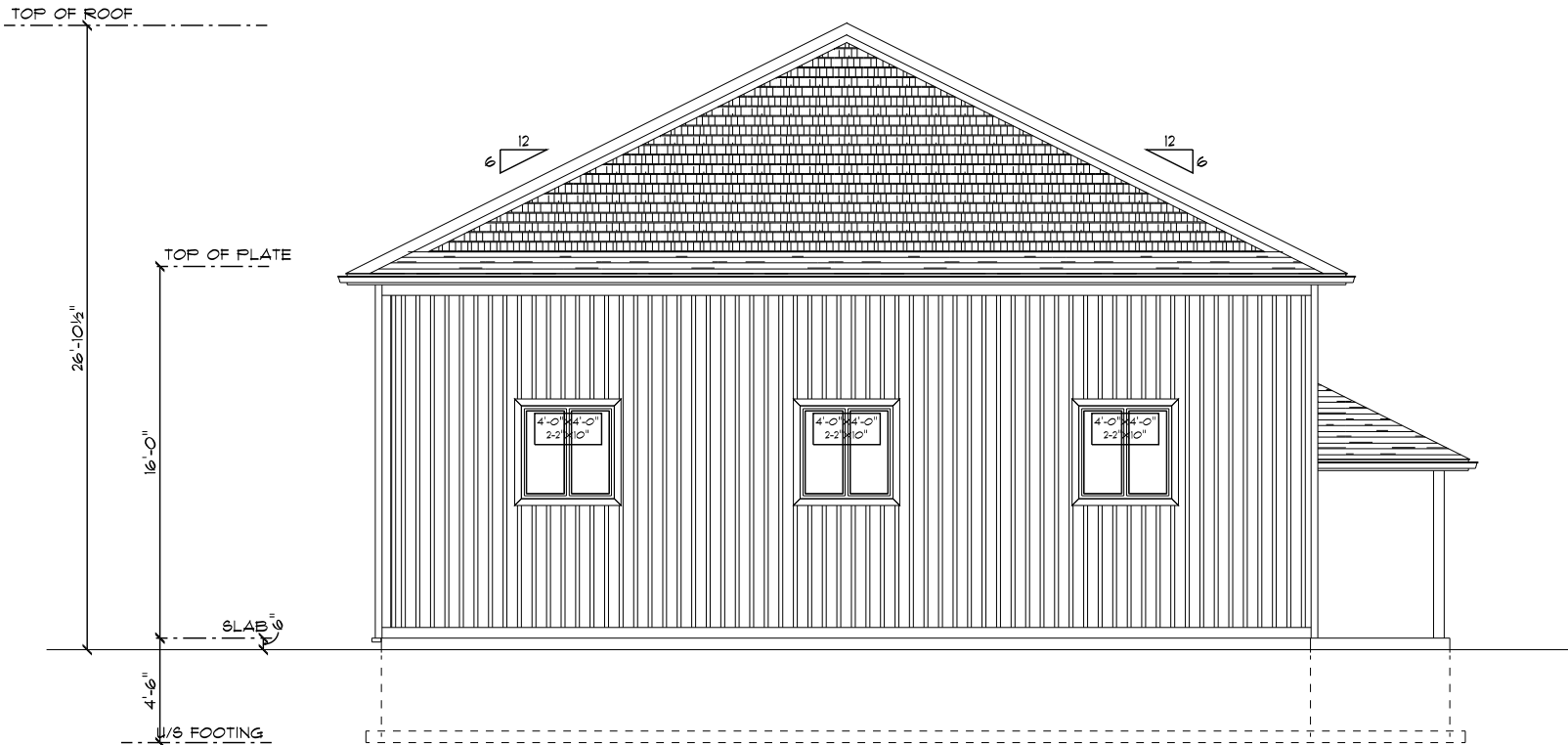
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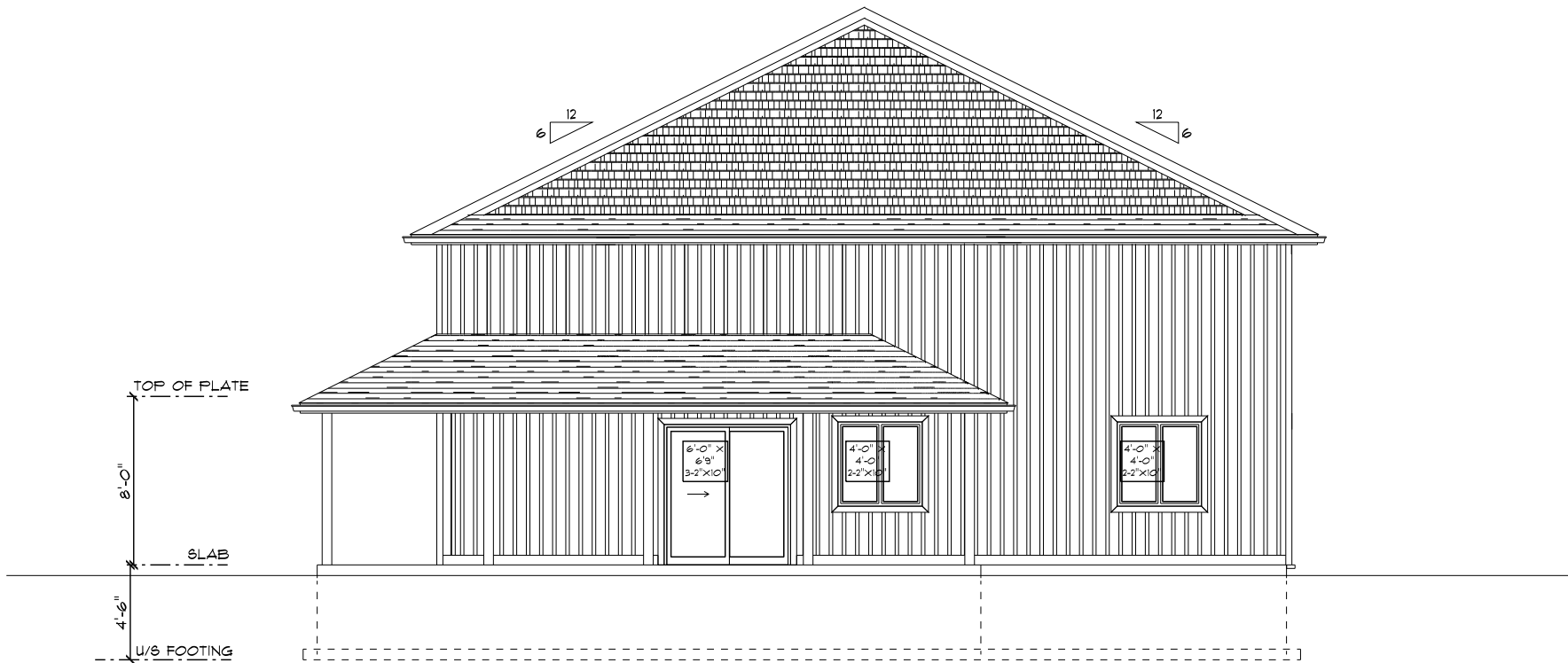
<u>Loft Area</u>	
PROJECT ADDRESS:	3867 Dixon Road Innisfil

CLIENT NAME:	SKIDMORE
PROJECT:	PROPOSED NEW SHOP AND DWELLING UNIT
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DRAWING NUMBER:	A3



BIG BAY POINT RD
HABITABLE WALL AREA: 0 SQFT
OPENING AREA: 0



DIXON ELEVATION
HABITABLE AREA ONLY: 340 SQFT
OPENING AREA: 14 SQFT

**FINE LINE DESIGN
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**Front /Rear
Elevation**

PROJECT ADDRESS: 3867 Dixon Road
Innisfil

CLIENT NAME:
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PROJECT: PROPOSED
NEW SHOP AND
DWELLING UNIT

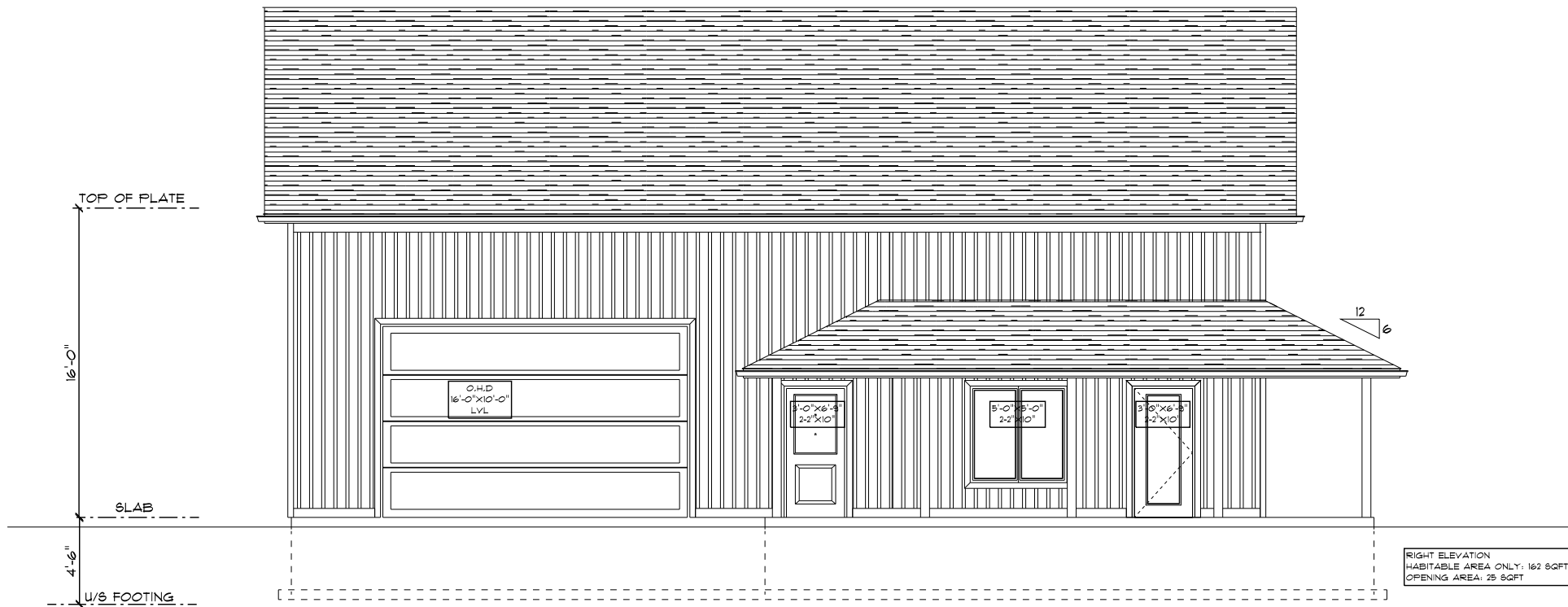
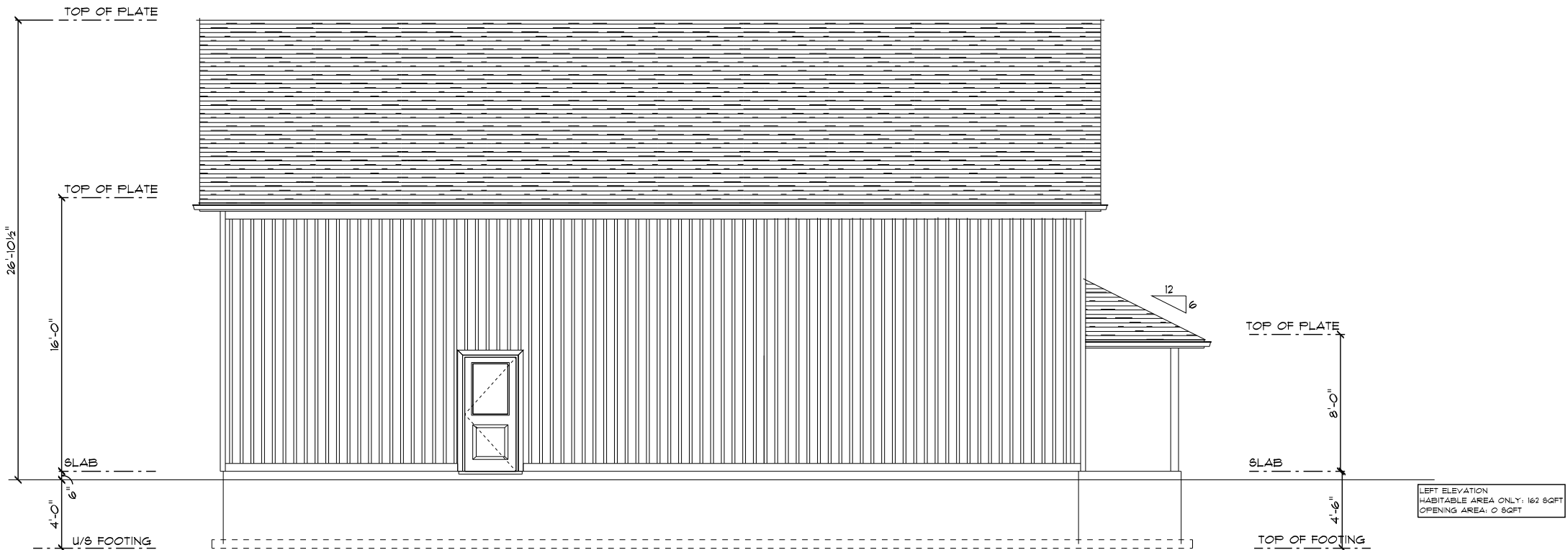
START DATE: April 1 2024

PRINT DATE: Sept 3 2024

SCALE:
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JOB NUMBER:
24-052

DRAWING
NUMBER:
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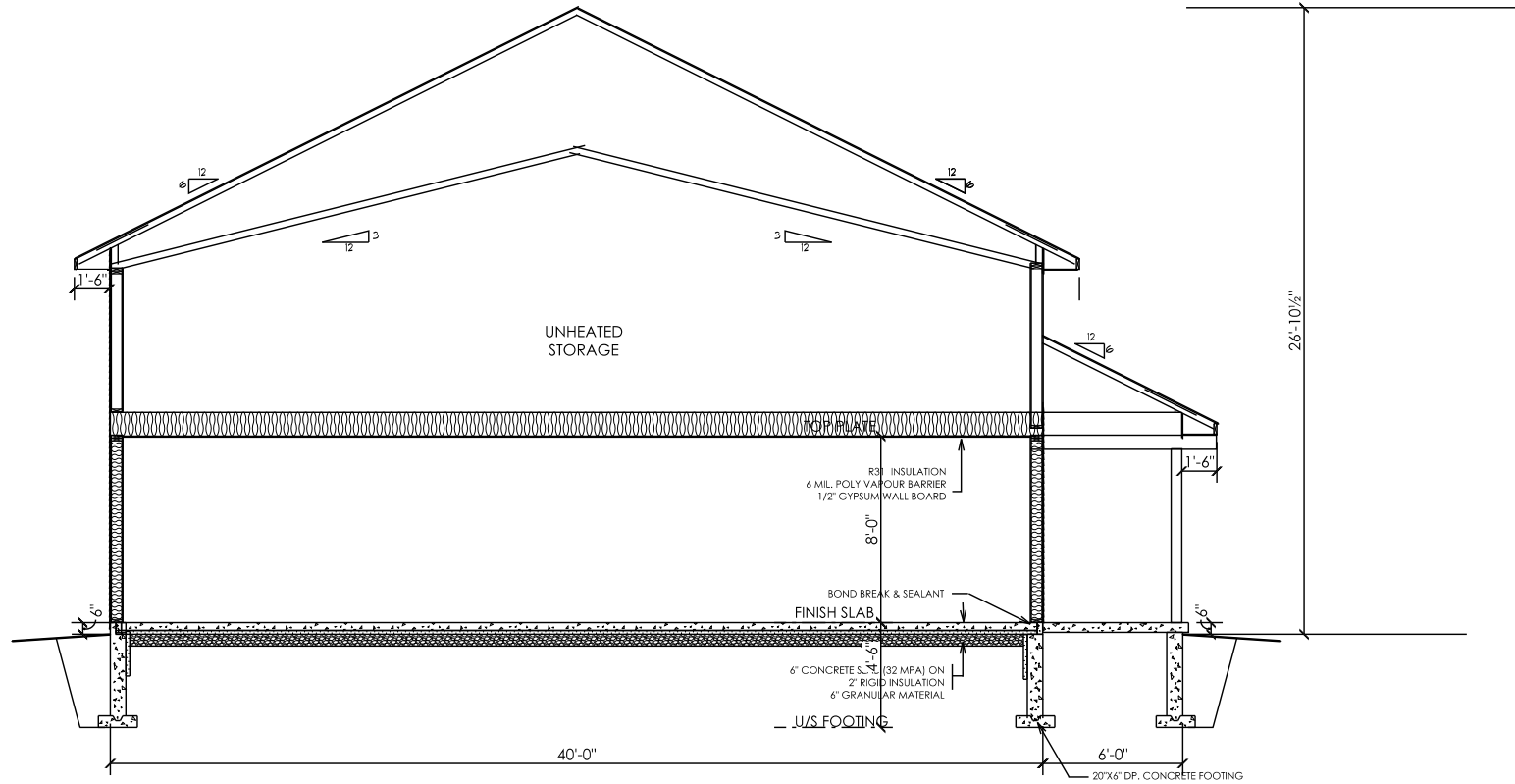


<div><div>FINE LINE DESIGN SERVICES</div><div>GLENN & HEATHER MIDDLEBROOK</div><div>8254 8th Lne Utopia, On</div><div>PHONE (705) 424 8800 CELL (705) 796 8380</div><div>E-MAIL: heather@finelinedrafting.ca</div><div>www.finelinedrafting.ca</div></div>	NOTE: THE CONTRACTOR IS RESPONSIBLE TO CONFIRM ALL DIMENSIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, AND REPORT ANY DISCREPANCIES TO THE DESIGNER. THE CONTRACTOR MUST COMPLY WITH ALL LOCAL AND PROVINCIAL BUILDING CODES		The undersigned has reviewed and takes responsibility for this design, and meets the requirements set out in the 2012 Ontario Building Code to be a designer.		<div>Elevations</div>	CLIENT NAME: SKIDMORE		SCALE: 1/8"=1'-0"
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	FIRM BCIN: 108381	FINE LINE DESIGN SERVICES		108381 BCIN		START DATE: April 1 2024	DRAWING NUMBER: A5	
	DRAWN BY: H.M.	FIRM NAME				PRINT DATE: Sept 8 2024		
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ASPHALT SHINGLES
1/2" PLYWOOD ROOF SHEATHING C/W H-CLIPS
PRE-ENGINEERED ROOF TRUSSES @ 24" O.C. (12" RAISED HEEL)
EAVE PROTECTION
INSULATION BAFFLE
INSULATION STOP

2" X 6" FASCIA BOARD
ALUMINUM SOFFIT AND FASCIA

DOUBLE 2" X 6" TOP PLATE
SIDING
APPROVED AIR BARRIER
3/8" PLYWOOD SHEATHING
2"X6" STUDS @ 16" O.C.
R22 BATT INSULATION
6 MIL. POLY VAPOUR BARRIER
1/2" GYPSUM WALL BOARD
2" X 6" BASE PLATE
2"X6" SILL PLATE ATTACHED TO FOUNDATION
WITH 1/2" DIA. ANCHOR BOLTS @ 7'10" O.C. MAX.
APPROVED SILL GASKET

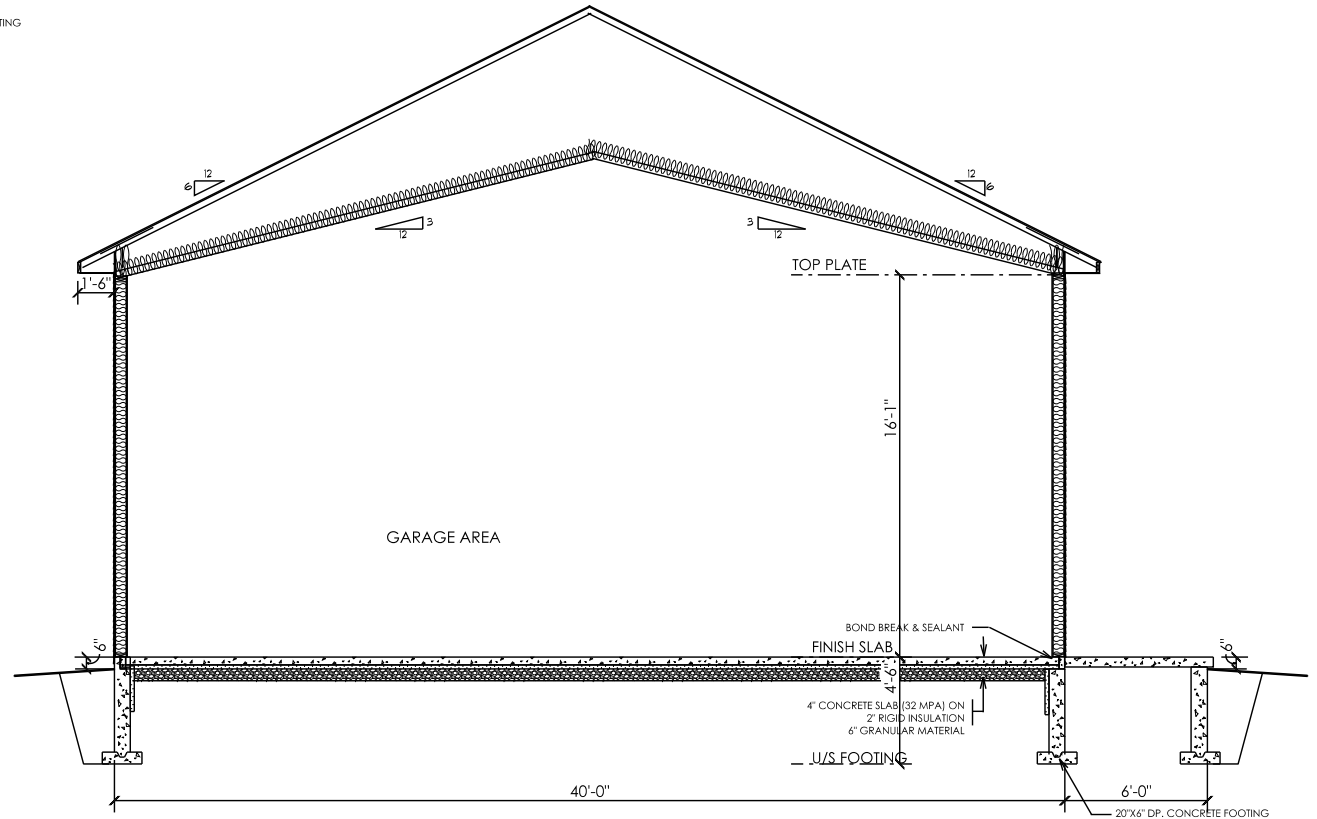
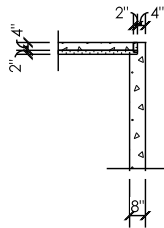


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2" X 6" FASCIA BOARD
ALUMINUM SOFFIT AND FASCIA
DOUBLE 2" X 6" TOP PLATE

SIDING
APPROVED AIR BARRIER
3/8" PLYWOOD SHEATHING
2"X6" STUDS @ 12" O.C.
C/W BLOCKING 4'-0" O.C.
R22 BATT INSULATION
6 MIL. POLY VAPOUR BARRIER
1/2" GYPSUM WALL BOARD

2" X 6" BASE PLATE
2"X6" SILL PLATE ATTACHED TO FOUNDATION
WITH 1/2" DIA. ANCHOR BOLTS @ 7'10" O.C. MAX.
APPROVED SILL GASKET



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FINE LINE DESIGN SERVICES 108381
FIRM NAME BCIN

Section

PROJECT ADDRESS: 3867 Dixon Road
Innisfil

CLIENT NAME:
SKIDMORE

PROJECT: PROPOSED
NEW SHOP AND
DWELLING UNIT

START DATE: April 1 2024
PRINT DATE: Sept 8 2024

SCALE:
1/8"=1'-0"
JOB NUMBER:
24-052
DRAWING NUMBER:
A6

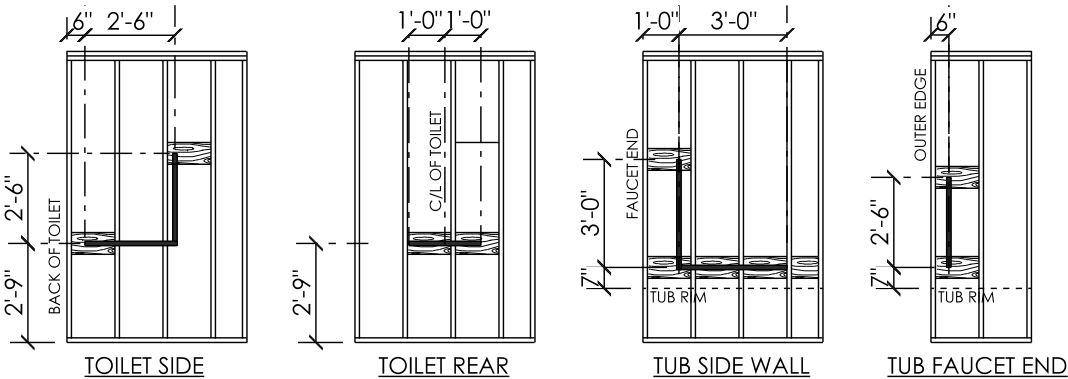
ENERGY EFFICIENCY COMPLIANCE PATH

SB-12 PRESCRIPTIVE PACKAGE A1 (TABLE 3.1.1.2.A)

MINIMUM INSULATION LEVELS & MECHANICALS:

CEILING WITH ATTIC SPACE	R 60 (EFFECTIVE R 59.22)
CEILING WITHOUT ATTIC SPACE	R 31 (EFFECTIVE R 29.80)
EXPOSED FLOOR	R 31 (EFFECTIVE R 29.80)
WALLS ABOVE GRADE	R 22 (EFFECTIVE R 17.03)
BASEMENT WALLS	R 20 ci (EFFECTIVE R 21.12)
BELOW GRADE SLAB > 600mm (1'11 5/8") BELOW GRADE	N/A
HEATED SLAB OR SLAB < 600mm (1'11 5/8") BELOW GRADE	R 10 (EFFECTIVE R 11.13)
EDGE OF BELOW GRADE SLAB < 600mm (1'11 5/8") BELOW GRADE	R 10
WINDOWS AND SLIDING GLASS DOORS	MAX. U-VALUE 0.28 / 25 ER
SKYLIGHTS	MAX. U-VALUE 0.49
SPACE HEATING EQUIPMENT	MIMIMUM AFUE 96 %
HEAT RECOVERY VENTILATOR (HRV)	MINIMUM SRE 75 %
DOMESTIC HOT WATER TANK	MINIMUM EF 0.80
DRAIN WATER HEAT RECOVERY (DWHR)	MINIMUM EFFICIENCY 42 %

STUD WALL REINFORCEMENT



STUD WALL REINFORCEMENT

- STUD WALL REINFORCEMENT SHALL BE PROVIDED IN THE MAIN BATHROOM OF THE DWELLING UNIT FOR THE FUTURE INSTALLATION OF GRAB BARS.
- BLOCKING SHOWN SHALL CONSIST OF MINIMUM 2" X 8" ON THE FLAT ATTACHED TO WALL STUDS WITH 4 - 3 1/4" ARDOX. NAILS EACH END.

GENERAL NOTES

1. ALL WORK SHALL COMPLY WITH THE LATEST EDITION OF THE ONTARIO BUILDING CODE.
2. ALL WORK SHALL ALSO COMPLY WITH ALL LOCAL MUNICIPAL BY-LAWS, AND OTHER AUTHORITIES HAVING JURISDICTION RELATED TO THE CONSTRUCTION OF THIS PROJECT.
3. WINDOW AND DOOR R.S.O. TO BE VERIFIED BY CONTRACTOR AND / OR OWNER.
4. ATTIC ACCESS HATCH TO BE A MINIMUM OF 3.4 SQ. FT. WITH NO DIMENSION LESS THAN 21 1/2".
5. ROOF VENTILATION TO BE MIN. 1 SQ.FT. FOR EVERY 300 SQ.FT. OF INSULATED CEILING IF CEILING CONTAINS AN ATTIC SPACE.
6. ROOF VENTILATION TO BE MIN 1 SQ. FT. FOR EVERY 150 SQ.FT. OF INSULATED CEILING IF CEILING DOES NOT CONTAIN AN ATTIC SPACE.
7. SMOKE ALARMS TO BE INTERCONNECTED AND INSTALLED IN AREAS LOCATED ON THE DRAWINGS.
8. SMOKE ALARMS SHALL COMFORM TO CAN/ULC-S531 AND INSTALLED BY PERMANENT CONNECTION TO AN ELECTRICAL CIRCUIT WITH NO DISCONNECT SWITCH.
9. CARBON MONOXIDE DETECTORS TO BE INTERCONNECTED AND INSTALLED IN LOCATIONS NOTED ON THE DRAWINGS.
10. EXTERIOR DOOR TO BE RESISTANT TO FORCED ENTRY AND INCLUDE:
 - DEAD BOLT LOCK
 - SOLID BLOCKING AT LOCK HEIGHT
 - DOOR VIEWER, WINDOW OR SIDELIGHT
 - HINGES TO BE SCREWED TO PENETRATE SOLID WOOD BY NOT LESS THAN 1 3/16"
11. EXTERIOR AND INTERIOR LOADBEARING LINTELS TO BE 2-2"x10" #1 - # 2 SPF UNLESS OTHERWISE INDICATED.
12. STEEL LINTELS TO BE PROVIDED FOR BRICK VENEER AND STONE AS FOLLOWS:
 - SPAN UP TO 8'1" L 3 1/2" X 3 1/2" X 1/4"
 - SPAN 8'1" - 8'9" L 4" X 3 1/2" X 1/4"
 - SPAN 8'9" - 10'10" L 4 7/8" X 3 1/2" X 5/16"
 - SPAN 10'10" - 11'5" L 4 7/8" X 3 1/3" X 3/8"
 - SPANS GREATER THAN 11'5" REFER TO DRAWINGS
13. UNLESS NOTED OTHERWISE STEEL COLUMNS SHALL BE 4" DIA. WITH 1/4" WALL C/W 6" X 6" TOP PLATE, AND 6" X 6" BASE PLATE.
14. FRAMING AROUND FLOOR OPENINGS:
 - HEADER JOISTS OVER 3'11" IN LENGTH TO BE DOUBLED
 - SIZE OF HEADER JOISTS EXCEEDING 10'6" IN LENGTH TO BE DESIGNED BY OTHERS
 - TRIMMER JOISTS OVER 2'7" IN LENGTH TO BE DOUBLED
 - SIZE OF TRIMMER JOISTS TO BE DESIGNED BY OTHERS WHEN HEADER JOIST EXCEEDS 6'7" IN LENGTH
15. SUPPORT OF NON-LOAD BEARING WALLS BY DOUBLE JOISTS UNDER OR SOLID BLOCKING @ 3'11" O.C.
16. PROVIDE MINIMUM BEARING FOR WOOD FRAMING MEMBERS AS FOLLOWS:
 - BEARING FOR BEAMS - 3 1/2" UNLESS NOTED OTHERWISE
 - BEARING OF LINTELS - 1 1/2" UNLESS NOTED OTHERWISE
 - CEILING JOISTS - 1 1/2" UNLESS NOTED OTHERWISE
 - ROOF RAFTERS - 1 1/2" UNLESS NOTED OTHERWISE
17. FOOTING DESIGN
 - FOOTING DESIGN ASSUMES STABLE SOILS WITH AN ALLOWABLE BEARING PRESSURE OF 75 KPa
 - SEE DRAWINGS FOR FOOTING SIZES
 - FOOTING SIZED TO BE DOUBLED IF HIGH WATER TABLE IS ENCOUNTERED
18. BRICK VENEER
 - GALVANIZED 7"x 7/8" .03" BRICK TIES MINIMUM 16"O.C. HORIZONTAL AND 24" VERTICAL. TIE BRICK VENEER TO WOOD FRAMING
 - PROVIDE WEEP HOLES AT 2'7" MAX. AT BOTTOM OF AIR SPACE / CAVITY, AND OVER DOOR AND WINDOWS
 - PROVIDE BASE FLASHING FOR WEEP HOLES MINIMUM 6" UP THE WOOD FRAME WALL

GENERAL NOTES CONTINUED

19. MINIMUM LUMBER GRADE TO BE #1 - # 2 SPRUCE-PINE-FIR (S-P-F) UNLESS NOTED OTHERWISE.
20. CONCRETE STRENGTH - UNLESS NOTED OTHERWISE:
 - FOUNDATION WALL 20 MPa
 - FOOTINGS 20 MPa
 - BASEMENT OR CRAWL SPACE FLOOR SLAB 25 MPa
 - GARAGE SLAB AND EXTERIOR STAIRS AND PORCHES 32 MPa WITH 5 % - 8 % AIR
21. STEP FOOTING
 - MINIMUM HORIZONTAL RUN 1'11 5/8"
 - MAXIMUM VERTICAL RISE 1'11 5/8"
22. STAIRS
 - MAINTAIN 6'5" HEADROOM MINIMUM
 - MAXIMUM RISER HEIGHT 7 7/8"
 - MINIMUM RISER HEIGHT 4 7/8"
 - MINIMUM RUN DEPTH 11 1/4"
 - MAXIMUM RUN DEPTH 14"
 - MINIMUM TREAD DEPTH 11 1/4"
 - MAXIMUM TREAD DEPTH 14"
 - RISE AND RUN TO BE UNIFORM THROUGHOUT THE FLIGHT
23. GUARDS
 - PROVIDE GUARDS WHERE THE ELEVATION DIFFERENCE IS 1'11 5/8"
 - PROVIDE GUARDS ON INTERIOR STAIRS GREATER THAN 2 RISERS ON EACH SIDE NOT PROTECTED BY A WALL.
 - GUARD HEIGHT WITHIN THE DWELLING MINIMUM 2'11"
 - GUARD HEIGHT NOT WITHIN THE DWELLING
 - MINIMUM 2'11" HIGH WHERE THE ELEVATION DIFFERENCE IS BETWEEN 1'11 5/8" AND 5'11" ABOVE THE ADJACENT SURFACE
 - MINIMUM 42" HIGH WHERE THE ELEVATION DIFFERENCE IS GREATER THAN 5'11" ABOVE THE ADJACENT SURFACE.
 - PICKET SPACING IN GUARDS NOT TO EXCEED 4" BETWEEN PICKETS.
 - GUARD TO BE DESIGNED TO PREVENT CLIMBING WITH NO MEMBER LOCATED BETWEEN 5 1/2" AND 2'11" THAN WOULD ENABLE CLIMBING.
24. HANDRAILS
 - HANDRAILS TO BE CONTINUOUS
 - HANDRAILS TO BE LOCATED ON BOTH SIDES OF STAIRS 42' OR WIDER
 - HANDRAIL HEIGHTS TO BE BETWEEN 2'10" AND 3'2" MEASURED VERTICALLY FROM THE NOSING OF THE STAIR.

DESIGNER NOTES

1. CONTRACTOR OR OWNER TO OBTAIN DESIGNS FOR ENGINEERED COMPONENTS AS INDICATED (DESIGN BY OTHER) (DBO)
2. DESIGNER ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR, SUBCONTRACTOR, OWNER OR THEIR AGENTS TO CARRY OUT THE WORK IN ACCORDANCE WITH THESE DRAWINGS
3. SINGLE PAGE OF THESE DRAWINGS ARE NOT TO BE READ INDEPENDENTLY OF ALL PAGES OF THE CONSTRUCTION DRAWING SET.
4. DRAWINGS ARE NOT TO BE SCALED
5. CONTRACTOR AND / OR OWNER TO VERIFY ALL DIMENSIONS ON THE CONSTRUCTION DRAWING SET. ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
6. MODIFICATIONS TO THE DRAWINGS OR CONSTRUCTION DUE TO SITE CONDITIONS OR ANY OTHER REASON SHALL NOT BE MADE WITHOUT FIRST CONSULTING WITH THE DESIGNER.
7. UNDER NO CIRCUMSTANCE SHALL THE WORK PROCEED IF THEIR IS ANY UNCERTANTY.

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HEATHER MIDDLEBROOK 14607
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless exempt under 3.2.4.1 Division C of the Building Code
FINE LINE DESIGN SERVICES 108381
FIRM NAME BCIN

Notes

PROJECT ADDRESS: 3867 Dixon Road
Innisfil

CLIENT NAME:
SKIDMORE

PROJECT: PROPOSED
NEW SHOP AND
DWELLING UNIT

START DATE: April 1 2024


PRINT DATE: Sept 8 2024

SCALE:
1/8"=1'-0"

JOB NUMBER:
24-052

DRAWING
NUMBER:
A7

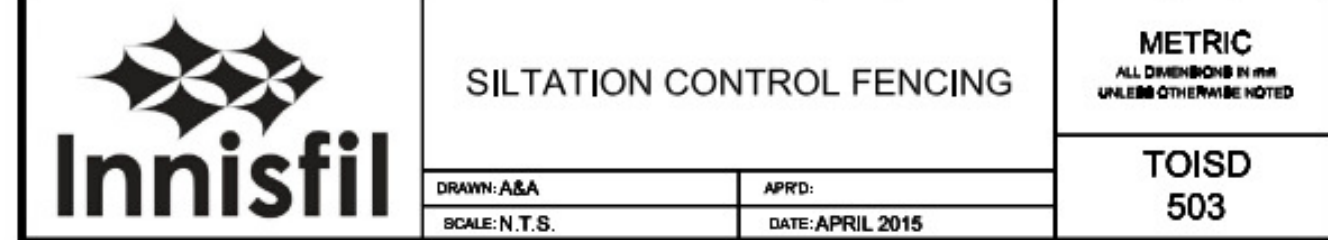
SCALE 1: 250



5 0 5 10 15 20 METRES

MeasEarth Inc.
ONTARIO LAND SURVEYORS

1. SEDIMENT AND EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO PREVENT MIGRATION OF SILT AND SEDIMENT FROM THE SUBJECT LOT TO ANY ADJACENT LOT, INCLUDING MUNICIPAL OR PUBLIC RIGHT-OF-WAY. SPECIAL CARE SHALL BE TAKEN TO ENSURE THAT SILT AND SEDIMENT LADEN SURFACE WATER DOES NOT ENTER ANY WATERCOURSES OR ENVIRONMENTALLY SENSITIVE AREAS, EITHER OVERLAND OR THROUGH THE STORM DRAINAGE SYSTEM. THE OWNER/BUILDER/APPLICANT SHALL COMPLY WITH ALL DIRECTIVES ISSUED BY ANY APPLICABLE ENVIRONMENTAL AGENCY.
2. INTERIM GRADING MEASURES MAY BE REQUIRED DURING BUILDING CONSTRUCTION TO ENSURE THAT DRAINAGE DOES NOT ADVERSELY AFFECT THE NEIGHBORING PROPERTIES. ROUGH GRADING OF THE PROPERTY SHALL BE COMPLETED SUCH THAT DRAINAGE IS CONTAINED ON SITE OR CONTROLLED TO A POSITIVE OUTLET.
3. ALL DOWNSPOUTS, SUMP PUMP AND OTHER DRAINAGE DISCHARGE POINTS SHALL DISCHARGE ONTO A SLOSH PAD OR APPROVED EQUIVALENT. DRAINAGE DIRECTLY TO A MUNICIPAL DITCH IS NOT PERMITTED, WHICH INCLUDES ROOF LEADERS, BASEMENT SUMPS AND FOUNDATION DRAINS.
4. THE OWNER/BUILDER/APPLICANT IS RESPONSIBLE FOR OBTAINING UTILITY NO SERVICING LOCATES PRIOR TO ANY WORKS.
5. THIS LOT GRADING PLAN HAS BEEN DESIGNED/COMPLETED SUCH THAT MUNICIPAL COUNTY AND PROVINCIAL LANDS ADJACENT TO AND IN THE VICINITY OF THIS LOT ARE NOT AFFECTED.
6. A COPY OF "ACCEPTED FOR CONSTRUCTION" LOT GRADING PLAN IS TO BE ON SITE FOR REFERENCE AT ALL TIMES DURING CONSTRUCTION.
7. IF THERE IS NOT AN OVERALL LOT GRADING PLAN IN EXISTENCE FOR THE LOT THEN THE FOLLOWING CLAUSES MUST BE INCLUDED:
 - A. THIS LOT GRADING PLAN HAS BEEN DESIGNED/COMPLETED TO PREVENT DRAINAGE TOWARDS THE FOUNDATION AFTER SETTLING.
 - B. THIS LOT GRADING PLAN HAS BEEN DESIGNED/COMPLETED SUCH THAT SURFACE DRAINAGE (WATER) FROM THE LOT WILL NOT ADVERSELY AFFECT NEIGHBORING PROPERTIES OR MUNICIPAL LANDS/ROADWAYS.
8. THE BUILDING ELEVATIONS HAVE BEEN SET SUCH THAT THERE IS NO RISK OF HYDROSTATIC PRESSURE AFFECTING THE BUILDING.
9. POST CONSTRUCTION AND UPON COMPLETION OF THE LOT GRADING AS PER APPROVED LOT GRADING PLAN, THE OWNER IS RESPONSIBLE TO REPAIR ANY SETTLEMENTS IN ORDER TO MAINTAIN POSITIVE DRAINAGE AWAY FROM THE BUILDING AT ALL TIMES.
10. POST CONSTRUCTION AND UPON COMPLETION OF THE LOT GRADING AS PER APPROVED LOT GRADING PLAN, THE OWNER IS RESPONSIBLE TO MAINTAIN ALL DOWNSPOUTS AND TO ENSURE THAT NO SUBSEQUENT MODIFICATIONS TO THE GRADING OF THE LOT ARE MADE WHICH WILL ADVERSELY AFFECT THE DRAINAGE OF ADJACENT LOTS.
11. THE DIMENSIONS AND GRADE ELEVATIONS ARE EXPRESSED IN SI UNITS.
12. THE CONTRACTOR SHALL CHECK AND VERIFY ALL GIVEN GRADE ELEVATIONS AND DRAINAGE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
13. UNDERSIDE OF FOOTING SHOWN IS TAKEN FROM ARCHITECTURAL PLANS AND MAY NOT REPRESENT ACTUAL FOOTING DEPTH.
14. FOOTINGS MUST BEAR ON NATIVE, UNDISTURBED SOIL OR ROCK, AND BE A MINIMUM OF 1.22m BELOW FINISHED GRADE.
15. ALL CONSTRUCTION WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS.
16. THE OWNER AND/OR HIS REPRESENTATIVE SHALL RECTIFY ALL DISTURBED AREAS TO ORIGINAL CONDITION OR BETTER AND TO THE SATISFACTION OF THE CITY.
17. PROPOSED SILT FENCE IS TO BE NON-WOVEN GEOTEXTILE FABRIC, TERRAFIX 270R OR EQUIVALENT TO BE INSTALLED TO APPLICABLE STANDARDS.
18. TOP OF FOUNDATION WALL TO BE A MINIMUM OF 0.15m ABOVE FINISHED GRADE.



P1	DENOTES	PLAN 51R-7727
P2	DENOTES	PLAN 51R-7727
P3	DENOTES	PLAN 51R-8028
P4	DENOTES	PLAN 51R-28871
P5	DENOTES	PLAN OF SURVEY BY R. C. KIRKPATRICK, O.L.S.
		DATED JULY 30, 1976
■	DENOTES	SURVEY MONUMENT FOUND
□	DENOTES	SURVEY MONUMENT SET
IR	DENOTES	IRON BAR
IP	DENOTES	IRON PIPE
RIB	DENOTES	ROUND IRON BAR
SIB	DENOTES	STANDARD IRON BAR
SSIB	DENOTES	SHORT STANDARD IRON BAR
WIT	DENOTES	WITNESS
MS	DENOTES	MEASURED
OU	DENOTES	ORIGIN UNKNOWN
615	DENOTES	J. H. DIAMOND, O.L.S.
738	DENOTES	R. C. KIRKPATRICK, O.L.S.
967	DENOTES	W. N. WILDMAN, O.L.S.
1448	DENOTES	J. K. YOUNG, O.L.S.
1546	DENOTES	R. MAK, O.L.S.
PROD	DENOTES	PRODUCTION OF LINE
PROP	DENOTES	PROPORTION
SIGN	DENOTES	SIGN
BELL	DENOTES	BELL PEDESTAL
⊙	DENOTES	LIGHT POST
⊙	DENOTES	UTILITY POLE
●	DENOTES	WELL/SEPTIC LID
+	DENOTES	CONIFEROUS TREE
+	DENOTES	DECIDUOUS TREE
+	DENOTES	CONTOUR ELEVATION
---	DENOTES	OVERHEAD WIRES
---	DENOTES	FENCE LINE
BP	DENOTES	BELL PEDESTAL
BS	DENOTES	BOTTOM OF SLOPE
CLF	DENOTES	CHAIN LINE FENCE
CV	DENOTES	CULVERT
EA	DENOTES	EDGE OF ASPHALT
FENCE	DENOTES	FENCE
FFE	DENOTES	FINISHED FLOOR ELEVATION
LP	DENOTES	LIGHT POST
RTW	DENOTES	RETAINING WALL
TS	DENOTES	TOP OF SLOPE
DOWNSPOUT	DENOTES	DOWNSPOUT
▲	DENOTES	PROPOSED BUILDING ENTRANCE
○	DENOTES	SILT FENCE
12x45	DENOTES	PROPOSED ELEVATION
DENOTES	DENOTES	DIRECTION OF SLOPE
TFW	DENOTES	TOP OF FOUNDATION WALL
USF	DENOTES	UNDERSIDE OF FOOTING

ISSUED OR REVISION COMMENTS		
No.	DESCRIPTION	DATE
A	INITIAL SUBMISSION	2025-05-26
B		
C		
D		

244 BARRIE STREET, THORNTON, ONTARIO, L0L 2N0 • PHONE (705) 434-0411 • www.MeasEarth.com

CHECKED BY:	DRAWN BY: SG	REV. DATE 2025/05/26	W.O. 25-4345-G1	REV. A
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