



**COMMITTEE OF ADJUSTMENT NOTICE OF PUBLIC HEARING
APPLICATION NO.**

A-2025-041, A-2025-042, A-2025-043, A-2025-044, A-2025-045 & A-2025-046

TAKE NOTICE that an application has been received by the Town of Innisfil from **Nick Skerratt, Applicant** on behalf of **John Paul Decaria-Stopay, Owner**, for a minor variance from Zoning By-law 080-13, pursuant to Section 45 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended.

The subject properties are described legally as **INNISFIL CON 8 S PT LOT 24 and PLAN 1052 PT LOT 10** known municipally as **946-950 Innisfil Beach Rd** and is zoned **“Mixed Use (MU)”**.

Table 5.2b.C of the Zoning By-law, which requires a 7.5m interior side yard setback and compliance with the 45 degree angular plane where abutting an R1 Zone. A 3m eastern interior side yard setback is proposed for the parking structure, with a portion extending to 49 degrees.

Table 5.2b.E of the Zoning By-law, which requires a 7.5m rear yard setback and compliance with the 45 degree angular plane. A 3.7m rear yard setback is proposed for the parking structure and a portion at 48.8 degrees, and a 25.18m rear yard setback is proposed for the mixed-use building and 45.8 degrees is proposed for the parapet.

Table 5.2b.F of the Zoning By-law, which limits building height to 24m and subject to the 45-degree angular plane. A height of 25.4m is proposed, with the parapet at 45.8 degrees.

Table 5.2b, Note 3 of the Zoning By-law, requires the minimum width of the landscaped strip in the front yard to correspond with the setback provided of 1.9m. The applicant is proposing a landscaped strip of 0.2m.

Table 5.2b, Note 6 of the Zoning By-law, requires a minimum of 116m² of indoor amenity space and proposed is 0m².

Section 3.35.1.1.d of the Zoning By-law, requires a minimum of 87 parking spaces for residential use, proposed is 85 parking spaces.

The Committee of Adjustment for the Town of Innisfil will consider this application in person at Town Hall and virtually through Zoom on **Thursday, September 18, 2025, at 6:30 PM.**

To participate in the hearing and/or provide comments, you must register by following the link below or scanning the above QR code:

<https://innisfil.ca/en/building-and-development/committee-of-adjustment-hearings.aspx>

Requests can also be submitted in writing to: Town of Innisfil Committee of Adjustment, 2101 Innisfil Beach Road, Innisfil, Ontario, L9S 1A1 or by email to planning@innisfil.ca.

If you wish to receive a copy of the decision of the Committee of Adjustment in respect of the proposed consent, you must make a written request to the Secretary-Treasurer of the Committee of Adjustment by way of email or regular mail. The Notice of Decision will also explain the process for appealing a decision to the Ontario Land Tribunal (OLT).

Additional information relating to the proposed application is available on the Town of Innisfil website. Accessible formats are available on request, to support participation in all aspects of the feedback process. To request an alternate format please contact Planning Services at planning@innisfil.ca.

Dated: **August 28, 2025**

Sarah Burton Hopkins
Secretary Treasurer
sburtonhopkins@innisfil.ca
705-436-3710 ext. 3504



8 STOREY CONDOMINIUM

946 & 950 INNISFIL BEACH ROAD, INNISFIL, ON

ARCHITECT
MCKNIGHT CHARRON ARCHITECTS LTD.
48 ALLIANCE BOULEVARD, UNIT 110
BARRIE, ONTARIO. L4M 5K3
TELEPHONE: (705) 722-6739

ARCHITECTURAL SHEET LIST	
A1.1	SITE PLAN
A1.2	SITE PLAN SECTIONS
A1.3	SITE PLAN DETAILS
A3.1	GROUND FLOOR PLAN
A3.2	GARAGE LEVELS
A3.3	SECOND FLOOR PLAN
A3.4	THIRD FLOOR PLAN
A3.5	FOURTH AND SIXTH FLOOR PLANS
A3.6	FIFTH AND SEVENTH FLOOR PLANS
A3.7	EIGHTH FLOOR PLAN
A3.8	PENTHOUSE PLAN
A3.9	ROOF PLAN
A5.1	UNIT PLANS
A5.2	UNIT PLANS
A5.3	UNIT PLANS
A5.4	UNIT PLANS
A5.5	UNIT PLANS
A5.6	UNIT PLANS
A5.7	UNIT PLANS
A5.8	UNIT PLANS
A5.9	UNIT PLANS
A6.1	ELEVATIONS
A6.2	ELEVATIONS
A12.1	RENDERINGS



LOCATION KEYMAP

ISSUED FOR SPA

(ALL DRAWINGS, SPECIFICATIONS, AND ADDENDA FOR ALL DISCIPLINES TO BE READ AS A COMPLETE PACKAGE)

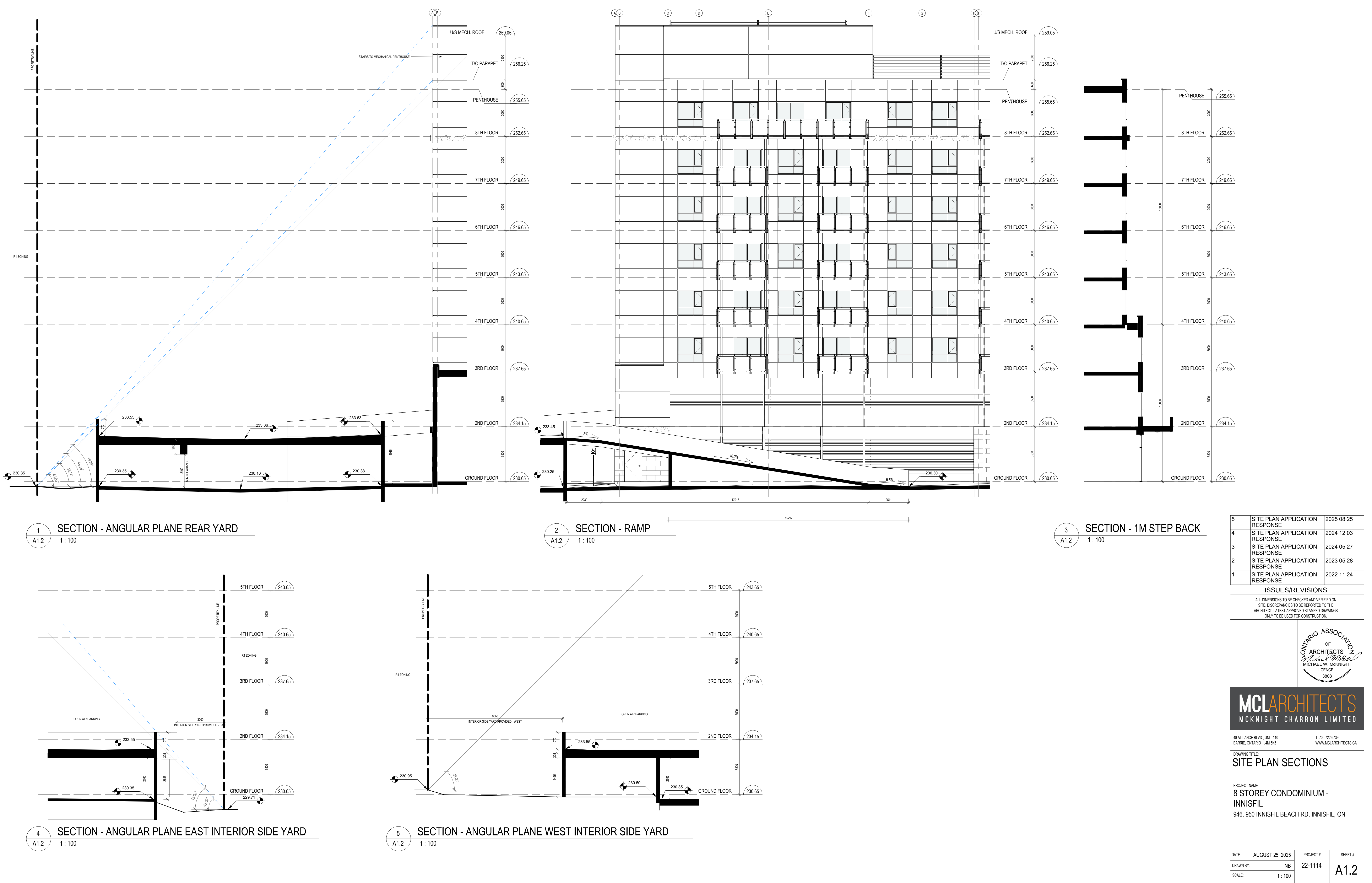


NAME OF PRACTICE:																	
McKnight Charron Limited Architects 48 Alliance Blvd. Unit 110, Barrie, Ontario Tel: (705) 722-6739																	
NAME OF PROJECT:																	
INNISFIL BEACH ROAD																	
PROJECT LOCATION:																	
946 & 950 INNISFIL BEACH ROAD INNISFIL, ON.																	
ITEM	ONTARIO'S 2024 BUILDING CODE DATA MATRIX PARTS 3 AND 9							OBC REFERENCE									
REFERENCES ARE TO DIVISION B UNLESS NOTED (A) FOR DIVISION A OR (C) FOR DIVISION C.																	
1	PROJECT DESCRIPTION:			<input type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION	<input type="checkbox"/> CHANGE OF USE	<input type="checkbox"/> PART 11 1.3.B [A]	<input type="checkbox"/> PART 3	<input type="checkbox"/> PART 9									
2	MAJOR OCCUPANCY(S): Group C, Group D on Ground Floor, F3 Ground & Second Floor							3.1.2.									
3	BUILDING AREA (m²):		EXISTING:	NEW: 1057 TOTAL: 1964 + 907 (OPEN AIR PARKING)		1.4.1.2 [A]											
4	GROSS FLOOR AREA (m²):		EXISTING:	NEW: 6766 TOTAL: 6766		1.4.1.2 [A]											
5	NUMBER OF STOREYS ABOVE GRADE:		ABOVE GRADE: 6		BELOW GRADE:		1.4.1.2 [A] & 3.2.1.1.										
6	NUMBER OF STREETS / FIRE FIGHTER ACCESS: 1																
7	BUILDING CLASSIFICATION: GROUP D, GROUP C, GROUP F, DIVISION 3																
8	SPRINKLER SYSTEM PROPOSED:							C: 3.2.2.42. D: 3.2.2.56. F3: 3.2.2.92 INDEX INDEX									
				<input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> BASEMENT ONLY <input type="checkbox"/> IN LIEU OF ROOF RATING <input type="checkbox"/> NOT REQUIRED													
9	STANDPIPE SYSTEM REQUIRED:			<input type="checkbox"/> YES	<input type="checkbox"/> NO	3.2.5.8-11.											
10	FIRE ALARM REQUIRED:			<input type="checkbox"/> YES	<input type="checkbox"/> NO	3.2.4.											
11	WATER SERVICE/SUPPLY IS ADEQUATE:			<input type="checkbox"/> YES	<input type="checkbox"/> NO	3.2.5.7.											
12	HIGH BUILDING:			<input type="checkbox"/> YES	<input type="checkbox"/> NO	3.2.6.											
13	PERMITTED CONSTRUCTION:			<input type="checkbox"/> COMBUSTIBLE	<input type="checkbox"/> NON-COMBUSTIBLE		<input type="checkbox"/> BOTH										
14	ACTUAL CONSTRUCTION:			<input type="checkbox"/> COMBUSTIBLE	<input type="checkbox"/> NON-COMBUSTIBLE		<input type="checkbox"/> BOTH										
15	MEZZANINE(S) AREA (sq.m.):			EXISTING:	NEW:		TOTAL: N/A		3.2.1.1.								
				MEZZANINE (10% OR LESS ENCLOSED (AREA, m²):			≤ 40% UNENCLOSED (AREA, m²):										
16	OCCUPANT LOAD BASED ON:			<input type="checkbox"/> sq.m./PERSON	<input type="checkbox"/> DESIGN OF BUILDING		3.1.1.7.										
1ST FLOOR:				OCCUPANCY: D	LOAD: 4.6 M2 / PERSON		PERSONS: 47										
2ND FLOOR:				OCCUPANCY: C	LOAD: 2 UNITS		PERSONS: 8										
TYPICAL (3RD TO 7TH) FLOOR:				OCCUPANCY: C	LOAD: 10 UNITS / FLOOR		PERSONS: 160										
8TH FLOOR:				OCCUPANCY: C	LOAD: 6 UNITS		PERSONS: 32										
17	BARRIER-FREE DESIGN:			<input type="checkbox"/> YES	<input type="checkbox"/> NO (EXPLAIN):		3.8.										
18	HAZARDOUS SUBSTANCES:			<input type="checkbox"/> YES	<input type="checkbox"/> NO		3.3.1.2. & 3.3.1.19.										
										REQUIRED FIRE RESISTANCE RATING (FRR)		HORIZONTAL ASSEMBLIES FRR (HOURS)		LISTED DESIGN No. OR DESCRIPTION (SG-2)		3.2.1.2., 3.2.2.15, 3.2.2.1.	
										FLOORS 2 HOURS		HOLLOW-CORE AND CAST-IN-PLACE CONCRETE					
										ROOF N/A HOURS							
										MEZZANINE N/A HOURS							
										FRR OF SUPPORTING MEMBERS		LISTED DESIGN No. OR DESCRIPTION (SG-2)					
										FLOORS 2 HOURS		HOLLOW-CORE AND CAST-IN-PLACE CONCRETE					
										ROOF N/A HOURS							
										MEZZANINE N/A HOURS							
										19	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS:						
WALL		AREA OF EBF (m²)	L.D. (m.)	PERMITTED MAX % OF OPENINGS	PROPOSED % OF OPENINGS	FRR (HOURS)	LISTED DESIGN OR DESCRIPTION	COMB. CONSTR. ALLOWED	COMB. CLADDING ALLOWED								
NORTH		713	25	100%	2.7%	45min	-	Comb. / Non-Comb.	Comb. / Non-Comb.								
SOUTH		713	16.9	100%	33.4%	45min	-	Comb. / Non-Comb.	Comb. / Non-Comb.								
EAST		1110	2.4	19.2%	17.5%	1h	-	Comb. / Non-Comb.	Non-Comb.								
WEST		1110	14.4	100%	11%	45min	-	Comb. / Non-Comb.	Comb. / Non-Comb.								

3.2.3.10. (1) UNLIMITED UNPROTECTED OPENING
AN EXPOSING BUILDING FACE OF AN OPEN-AIR STOREY IN A STORAGE GARAGE IS PERMITTED TO HAVE
UNLIMITED UNPROTECTED OPENINGS PROVIDED IT HAS A LIMITING DISTANCE NOT LESS THAN 3 M.

PROVISION	MU2 REQUIRED	PROPOSED
MIN. LOT AREA	1000 M²	3,896 M²
MIN. LOT FRONTAGE	15M	44.46M
MIN. BUILDING FRONTAGE	26.2M	26.2M
MIN. FRONT YARD	4M	1.93M
MIN. INTERIOR SIDE YARD	0 OR 7.3M WITH 45 ANGULAR PLANE	8.54M WEST & 3.9M EAST TO BUILDING - DEFICIENCY
MIN. EXTERIOR SIDE YARD	3M	N/A
MIN. REAR YARD	7.3M WITH 45 ANGULAR PLANE	25.18M TO BUILDING - DEFICIENCY
MIN. LOT COVERAGE	N/A	27%
MIN. BUILDING HEIGHT	7.5 M ANGULAR PLANE	25.4M DEFICIENCY
MAX. BUILDING HEIGHT	30M FOR COMMERCIAL 25M FOR MIXED USE	N/A
MIN. LANDSCAPED OPEN SPACE	N/A	31%
MIN. WIDTH OF LANDSCAPED STRIP AT FRONT AND EXTERIOR SIDE LOT LINES	1.4M	0.2M DEFICIENCY
MIN. WIDTH OF LANDSCAPED STRIP AT REAR LOT LINE	3M	3M
MIN. WIDTH OF LANDSCAPING ADJACENT TO THE INTERIOR LOT LINES	2M	WEST: MIN. 1.6M EAST: MIN. 2.1M
MIN. AMENITY SPACE	44M² PER RESIDENTIAL UNIT	310 M² (OUTDOOR) + 42M² (BALCONY)
OUTDOOR	119M²	96M² - DEFICIENCY
INDOOR	119M²	96M² - DEFICIENCY
MAX. DENSITY	N/A	158 UPH
MAX. GARAGE WIDTH	N/A	N/A
MIN. FLOOR AREA FOR A RESIDENTIAL DWELLING UNIT	47M²	56M²
MIN. PARKING	1 PER 40 M² COMMERCIAL 5 SPACES	1 PER 40 M² 9 SPACES
RESIDENTIAL	1.5 PER RESIDENTIAL UNIT 87 SPACES	1.46 PER RESIDENTIAL 85 SPACES - DEFICIENCY
VISITOR (V)	25% OF THE RESIDENTIAL PARKING 21 SPACES	15 SPACES (17.6%)
ACCESSIBLE	0-100 SPACES + 4% OF THE RESIDENTIAL PARKING 4 SPACES	2 TYPE A + 2 TYPE B + 4 ACCESSIBLE SPACES

COMMERCIAL UNITS	LEVEL	AREA (FLOOR AREA)
COMMERCIAL 1	1ST FLOOR	AREA: 60 M² / 646 FT²
COMMERCIAL 2	1ST FLOOR	AREA: 62 M² / 667 FT²
COMMERCIAL 3	1ST FLOOR	AREA: 73 M² / 786 FT²
TOTAL AREA: 195 M² / 2099 FT²		
RESIDENTIAL DWELLING UNITS		
58 UNITS		
LEVEL	DWELLING UNIT AREA	
2ND FLOOR	2 UNITS	
3RD - 7TH FLOOR	10 UNITS / FLOOR	
8TH FLOOR	6 UNITS	
UNIT TYPES	DWELLING UNIT AREA	
1 BEDROOM	5 UNITS - 9%	AREA: 56M² / 598F²
1 BEDROOM + DEN	10 UNITS - 17%	AREA: 56M² - 59M² / 608F² - 640F²
1 BEDROOM + DEN B.F. (SUITE A)	5 UNITS - 9%	AREA: 63M² / 678F²
2 BEDROOM	14 UNITS - 24%	AREA: 101M² - 104M² / 1,091F² - 1,119F²
2 BEDROOM + DEN	10 UNITS - 17%	AREA: 83M² - 86M² / 892F² - 949F²
2 BEDROOM + DEN B.F. (SUITE F)	10 UNITS - 17%	AREA: 89M² / 1,022F²
3 BEDROOM	3 UNITS - 5%	AREA: 142M² - 150M² / 1,532F² - 1,615F²
3 BEDROOM + DEN B.F. (SUITE F)	1 UNITS - 2%	AREA: 158M² / 1,698F²
BALCONIES	LEVELS	UNIT TYPE
5.40m²	3-7	1 BEDROOM (SUITE A)
5.70m²	3-7	1 BED + DEN (SUITE B)
5.70m²	3-7	1 BED + DEN B.F. (SUITE C)
5.70m²	3-7	1 BED + DEN B.F. (SUITE D)
5.70m²	3-7	1 BED + DEN B.F. (SUITE E)
5.70m²	3-7	1 BED + DEN B.F. (SUITE F)
5.70m²	3-7	1 BED + DEN B.F. (SUITE G)
5.70m²	3-7	1 BED + DEN B.F. (SUITE H)
5.70m²	3-7	1 BED + DEN B.F. (SUITE I)
5.70m²	3-7	1 BED + DEN B.F. (SUITE J)
5.70m²	3-7	1 BED + DEN B.F. (SUITE K)
5.70m²	3-7	1 BED + DEN B.F. (SUITE L)
5.70m²	3-7	1 BED + DEN B.F. (SUITE M)
5.70m²	3-7	1 BED + DEN B.F. (SUITE N)
5.70m²	3-7	1 BED + DEN B.F. (SUITE O)
5.70m²	3-7	1 BED + DEN B.F. (SUITE P)
5.70m²	3-7	1 BED + DEN B.F. (SUITE Q)
5.70m²	3-7	1 BED + DEN B.F. (SUITE R)
5.70m²	3-7	1 BED + DEN B.F. (SUITE S)
5.70m²	3-7	1 BED + DEN B.F. (SUITE T)
5.70m²	3-7	1 BED + DEN B.F. (SUITE U)
5.70m²	3-7	1 BED + DEN B.F. (SUITE V)
5.70m²	3-7	1 BED + DEN B.F. (SUITE W)
5.70m²	3-7	1 BED + DEN B.F. (SUITE X)
5.70m²	3-7	1 BED + DEN B.F. (SUITE Y)
5.70m²	3-7	1 BED + DEN B.F. (SUITE Z)
5.70m²	3-7	1 BED + DEN B.F. (SUITE AA)
5.70m²	3-7	1 BED + DEN B.F. (SUITE AB)
5.70m²	3-7	1 BED + DEN B.F. (SUITE AC)
5.70m²	3-7	1 BED + DEN B.F. (SUITE AD)
5.70m²	3-7	1 BED + DEN B.F. (SUITE AE)
5.70m²	3-7	1 BED + DEN B.F. (SUITE AF)
5.70m²	3-7	1 BED + DEN B.F. (SUITE AG)
5.70m²	3-7	1 BED + DEN B.F. (SUITE AH)
5.70m²	3-7	1 BED + DEN B.F. (SUITE AI)
5.70m²	3-7	1 BED + DEN B.F. (SUITE AJ)
5.70m²	3-7	1 BED + DEN B.F. (SUITE AK)
5.70m²	3-7	1 BED + DEN B.F. (SUITE AL)
5.70m²	3-7	1 BED + DEN B.F. (SUITE AM)
5.70m²	3-7	1 BED + DEN B.F. (SUITE AN)
5.70m²	3-7	1 BED + DEN B.F. (SUITE AO)
5.70m²	3-7	1 BED + DEN B.F. (SUITE AP)
5.70m²	3-7	1 BED + DEN B.F. (SUITE AQ)
5.70m²	3-7	1 BED + DEN B.F. (SUITE AR)
5.70m²	3-7	1 BED + DEN B.F. (SUITE AS)
5.70m²	3-7	1 BED + DEN B.F. (SUITE AT)
5.70m²	3-7	1 BED + DEN B.F. (SUITE AU)
5.70m²	3-7	1 BED + DEN B.F. (SUITE AV)
5.70m²	3-7	1 BED + DEN B.F. (SUITE AW)
5.70m²	3-7	1 BED + DEN B.F. (SUITE AX)
5.70m²	3-7	1 BED + DEN B.F. (SUITE AY)
5.70m²	3-7	1 BED + DEN B.F. (SUITE AZ)
5.70m²	3-7	1 BED + DEN B.F. (SUITE BA)
5.70m²	3-7	1 BED + DEN B.F. (SUITE BB)
5.70m²	3-7	1 BED + DEN B.F. (SUITE BC)
5.70m²	3-7	1 BED + DEN B.F. (SUITE BD)
5.70m²	3-7	1 BED + DEN B.F. (SUITE BE)
5.70m²	3-7	1 BED + DEN B.F. (SUITE BF)
5.70m²	3-7	1 BED + DEN B.F. (SUITE BG)
5.70m²	3-7	1 BED + DEN B.F. (SUITE BH)
5.70m²	3-7	1 BED + DEN B.F. (SUITE BI)
5.70m²	3-7	1 BED + DEN B.F. (SUITE BJ)
5.70m²	3-7	1 BED + DEN B.F. (SUITE BK)
5.70m²	3-7	1 BED + DEN B.F. (SUITE BL)
5.70m²	3-7	1 BED + DEN B.F. (SUITE BM)
5.70m²	3-7	1 BED + DEN B.F. (SUITE BN)
5.70m²	3-7	1 BED + DEN B.F. (SUITE BO)
5.70m²	3-7	1 BED + DEN B.F. (SUITE BP)
5.70m²	3-7	1 BED + DEN B.F. (SUITE BQ)
5.70m²	3-7	1 BED + DEN B.F. (SUITE BR)
5.70m²	3-7	1 BED + DEN B.F. (SUITE BS)
5.70m²	3-7	1 BED + DEN B.F. (SUITE BT)
5.70m²	3-7	1 BED + DEN B.F. (SUITE BU)
5.70m²	3-7	1 BED + DEN B.F. (SUITE BV)
5.70m²	3-7	1 BED + DEN B.F. (SUITE BW)
5.70m²	3-7	1 BED + DEN B.F. (SUITE BX)
5.70m²	3-7	1 BED + DEN B.F. (SUITE BY)
5.70m²	3-7	1 BED + DEN B.F. (SUITE BZ)
5.70m²	3-7	1 BED + DEN B.F. (SUITE CA)
5.70m²	3-7	1 BED + DEN B.F. (SUITE CB)
5.70m²	3-7	1 BED + DEN B.F. (SUITE CC)
5.70m²	3-7	1 BED + DEN B.F. (SUITE CD)
5.70m²	3-7	1 BED + DEN B.F. (SUITE CE)
5.70m²	3-7	1 BED + DEN B.F. (SUITE CF)
5.70m²	3-7	1 BED + DEN B.F. (SUITE CG)
5.70m²	3-7	1 BED + DEN B.F. (SUITE CH)
5.70m²	3-7	1 BED + DEN B.F. (SUITE CI)
5.70m²	3-7	1 BED + DEN B.F. (SUITE CJ)
5.70m²	3-7	1 BED + DEN B.F. (SUITE CK)
5.70m²	3-7	1 BED + DEN B.F. (SUITE CL)
5.70m²	3-7	1 BED + DEN B.F. (SUITE CM)
5.70m²	3-7	1 BED + DEN B.F. (SUITE CN)
5.70m²	3-7	1 BED + DEN B.F. (SUITE CO)
5.70m²	3-7	1 BED + DEN B.F. (SUITE CP)
5.70m²	3-7	1 BED + DEN B.F. (SUITE CQ)
5.70m²	3-7	1 BED + DEN B.F. (SUITE CR)
5.70m²	3-7	1 BED + DEN B.F. (SUITE CS)
5.70m²	3-7	1 BED + DEN B.F. (SUITE CT)
5.70m²	3-7	1 BED + DEN B.F. (SUITE CU)
5.70m²	3-7	1 BED + DEN B.F. (SUITE CV)
5.70m²	3-7	1 BED + DEN B.F. (SUITE CW)
5.70m²	3-7	1 BED + DEN B.F. (SUITE CX)
5.70m²	3-7	1 BED + DEN B.F. (SUITE CY)
5.70m²	3-7	1 BED + DEN B.F. (SUITE CZ)
5.70m²	3-7	1 BED + DEN B.F. (SUITE DA)
5.70m²	3-7	1 BED + DEN B.F. (SUITE DB)
5.70m²	3-7	1 BED + DEN B.F. (SUITE DC)
5.70m²	3-7	1 BED + DEN B.F. (SUITE DD)
5.70m²	3-7	1 BED + DEN B.F. (SUITE DE)
5.70m²	3-7	1 BED + DEN B.F. (SUITE DF)
5.70m²	3-7	1 BED + DEN B.F. (SUITE DG)
5.70m²	3-7	1 BED + DEN B.F. (SUITE DH)
5.70m²	3-7	1 BED + DEN B.F. (SUITE DI)
5.70m²	3-7	1 BED + DEN B.F. (SUITE DJ)
5.70m²	3-7	1 BED + DEN B.F. (SUITE DK)
5.70m²	3-7	1 BED + DEN B.F. (SUITE DL)
5.70m²	3-7	1 BED + DEN B.F. (SUITE DM)
5.70m²	3-7	1 BED + DEN B.F. (SUITE DN)
5.70m²	3-7	1 BED + DEN B.F. (SUITE DO)
5.70m²	3-7	1 BED + DEN B.F. (SUITE DP)
5.70m²	3-7	1 BED + DEN B.F. (SUITE DQ)
5.70m²	3-7	1 BED + DEN B.F. (SUITE DR)
5.70m²	3-7	1 BED + DEN B.F. (SUITE DS)
5.70m²	3-7	1 BED + DEN B.F. (SUITE DT)
5.70m²	3-7	1 BED + DEN B.F. (SUITE DU)
5.70m²	3-7	1 BED + DEN B.F. (SUITE DV)
5.70m²	3-7	1 BED + DEN B.F. (SUITE DW)
5.70m²	3-7	1 BED + DEN B.F. (SUITE DX)
5.70m²	3-7	1 BED + DEN B.F. (SUITE DY)
5.70m²	3-7	1 BED + DEN B.F. (SUITE DZ)
5.70m²	3-7	1 BED + DEN B.F. (SUITE EA)
5.70m²	3-7	1 BED + DEN B.F. (SUITE EB)
5.70m²	3-7	1 BED + DEN B.F. (SUITE EC)
5.70m²	3-7	1 BED + DEN B.F. (SUITE ED)
5.70m²	3-7	1 BED + DEN B.F. (SUITE EE)
5.70m²	3-7	1 BED + DEN B.F. (SUITE EF)
5.70m²	3-7	1 BED + DEN B.F. (SUITE EG)
5.70m²	3-7	1 BED + DEN B.F. (SUITE EH)
5.70m²	3-7	1 BED + DEN B.F. (SUITE EI)
5.70m²	3-7	1 BED + DEN B.F. (SUITE EJ)
5.70m²	3-7	1 BED + DEN B.F. (SUITE EK)
5.70m²	3-7	1 BED + DEN B.F. (SUITE EL)
5.70m²	3-7	1 BED + DEN B.F. (SUITE EM)
5.70m²	3-7	1 BED + DEN B.F. (SUITE EN)
5.70m²	3-7	1 BED + DEN B.F. (SUITE EO)
5.70m²	3-7	1 BED + DEN B.F. (SUITE EP)
5.70m²	3-7	1 BED + DEN B.F. (SUITE EQ)
5.70m²	3-7	1 BED + DEN B.F. (SUITE ER)
5.70m²	3-7	1 BED + DEN B.F. (SUITE ES)
5.70m²	3-7	1 BED + DEN B.F. (SUITE ET)
5.70m²	3-7	1 BED + DEN B.F. (SUITE EU)
5.70m²	3-7	1 BED + DEN B.F. (SUITE EV)
5.70m²	3-7	1 BED + DEN B.F. (SUITE EW)
5.70m²	3-7	1 BED + DEN B.F. (SUITE EX)
5.70m²	3-7	1 BED + DEN B.F. (SUITE EY)
5.70m²	3-7	1 BED + DEN B.F. (SUITE EZ)
5.70m²	3-7	1 BED + DEN B.F. (SUITE FA)
5.70m²	3-7	1 BED + DEN B.F. (SUITE FB)
5.70m²	3-7	1 BED + DEN B.F. (SUITE FC)
5.70m²	3-7	1 BED + DEN B.F. (SUITE FD)
5.70m²	3-7	1 BED + DEN B.F. (SUITE FE)
5.70m²	3-7	1 BED + DEN B.F. (SUITE FF)
5.70m²	3-7	1 BED + DEN B.F. (SUITE FG)
5.70m²	3-7	1 BED + DEN B.F. (SUITE FH)
5.70m²	3-7	1 BED + DEN B.F. (SUITE FI)
5.70m²	3-7	1 BED + DEN B.F. (SUITE FJ)
5.70m²	3-7	1 BED + DEN B.F. (SUITE FK)
5.70m²	3-7	1 BED + DEN B.F. (SUITE FL)
5.70m²	3-7	1 BED + DEN B.F. (SUITE FM)
5.70m²	3-7	1 BED + DEN B.F. (SUITE FN)
5.70m²	3-7	1 BED + DEN B.F. (SUITE FO



5	SITE PLAN APPLICATION RESPONSE	2025 08 25
4	SITE PLAN APPLICATION RESPONSE	2024 12 03
3	SITE PLAN APPLICATION RESPONSE	2024 05 27
2	SITE PLAN APPLICATION RESPONSE	2023 05 28
1	SITE PLAN APPLICATION RESPONSE	2022 11 24

ISSUES/REVISIONS

ALL DIMENSIONS TO BE CHECKED AND VERIFIED ON SITE. DISCREPANCIES TO BE REPORTED TO THE ARCHITECT. LATEST APPROVED STAMPED DRAWINGS ONLY TO BE USED FOR CONSTRUCTION.



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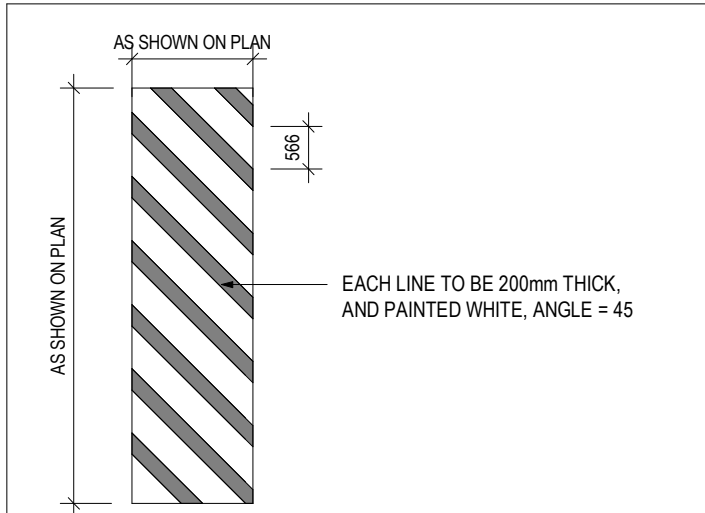
48 ALLIANCE BLVD., UNIT 110
BARRIE, ONTARIO L4M 5K3

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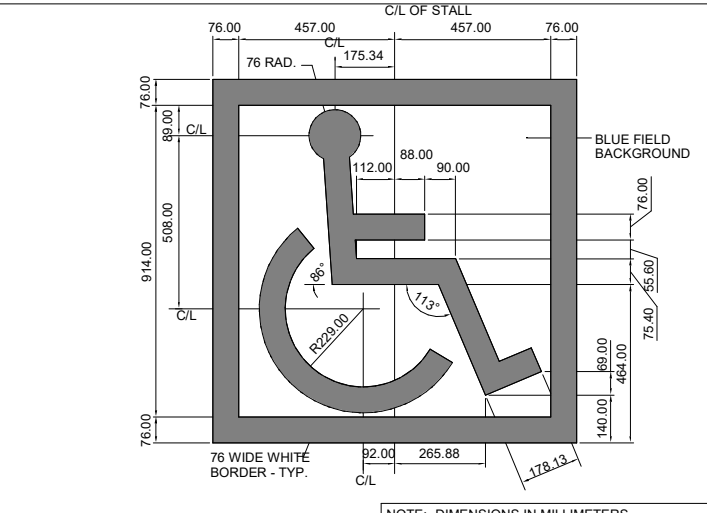
DRAWING TITLE:
SITE PLAN SECTIONS

PROJECT NAME:
**8 STOREY CONDOMINIUM -
INNISFIL**
946, 950 INNISFIL BEACH RD, INNISFIL, ON

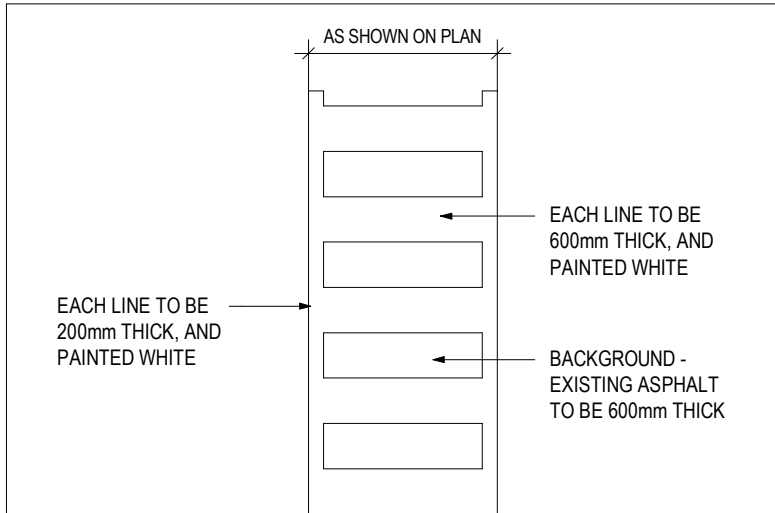
DATE:	AUGUST 25, 2025	PROJECT #	22-1114	SHEET #	A1.2
DRAWN BY:	NB				
SCALE:	1 : 100				



BARRIER FREE PARKING AISLE, CROSSWALK (CW) AND NO PARKING AREA (NPA) DETAIL (TYP.)



BARRIER FREE PARKING STALL PAINT MARKING

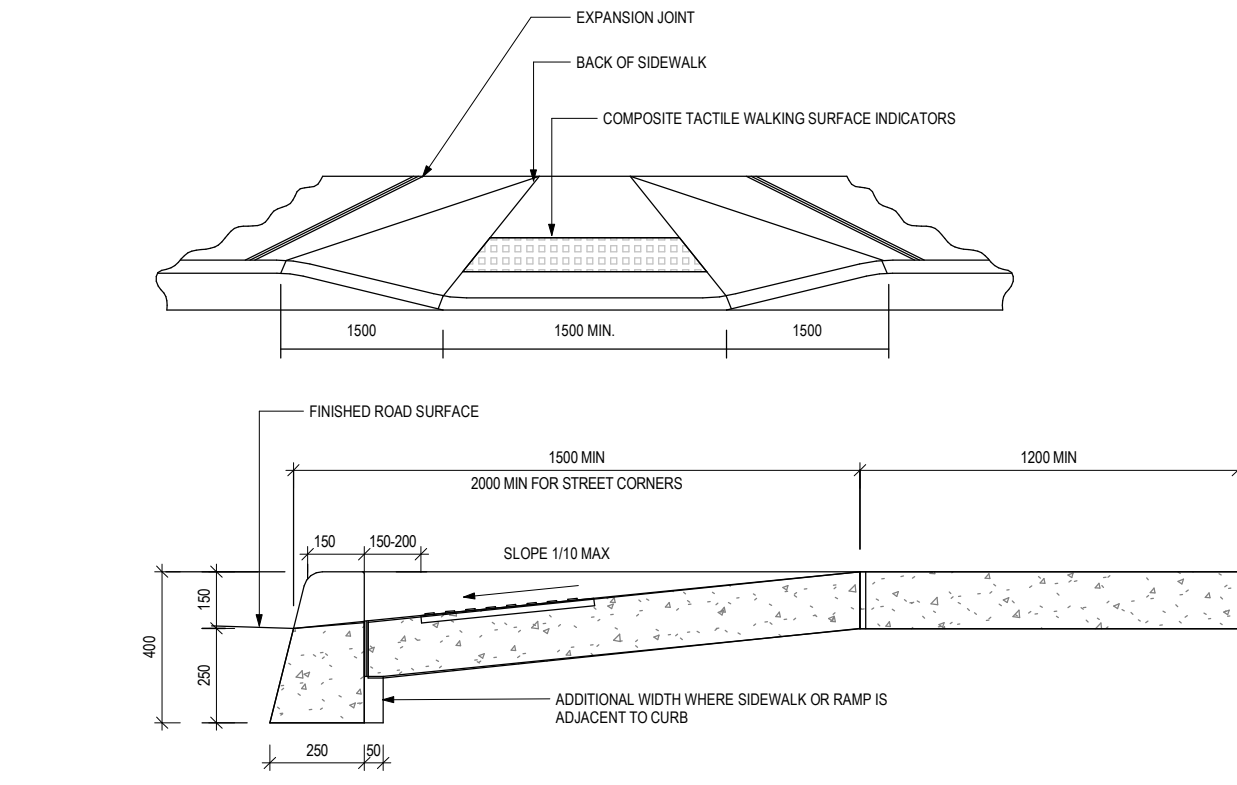


PEDESTRIAN CROSSWALK DETAIL

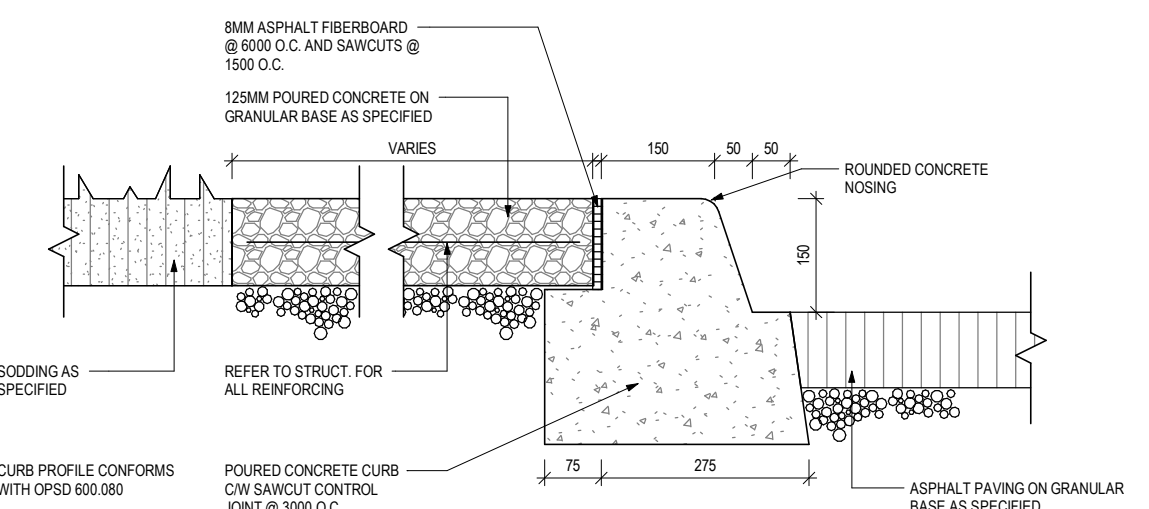
REFER TO THE ONTARIO TRAFFIC MANUAL FOR ALL SIGNAGE AND PAVEMENT MARKINGS DETAILS UNLESS NOTED OTHERWISE.
PROPOSED SIGN & DISIGNATION



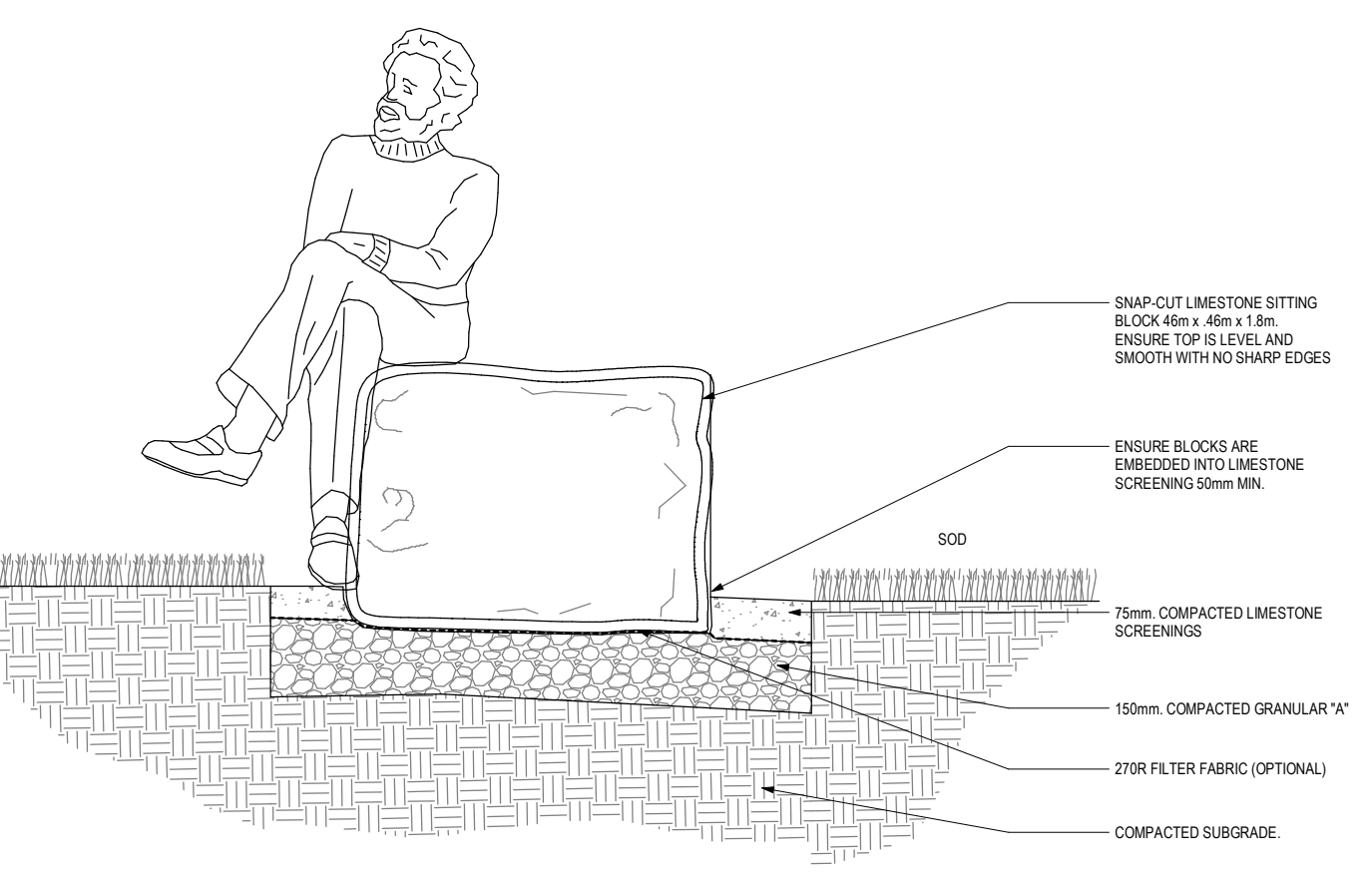
NOTE:
1. ALL PAVEMENT MARKINGS AND TRAFFIC SIGNS SHALL CONFORM TO THE ONTARIO TRAFFIC MANUAL.
2. PAVEMENT MARKINGS FOR PARKING STALLS SHALL BE PAINTED WHITE AND CONFORM TO OPSS 1712.
3. PAINT COLOR SPECIFIED ON DRAWING, PAINT TO BE QUICK DRYING WATER BASED LATEX PAINT (WITHOUT GLASS BEADS)



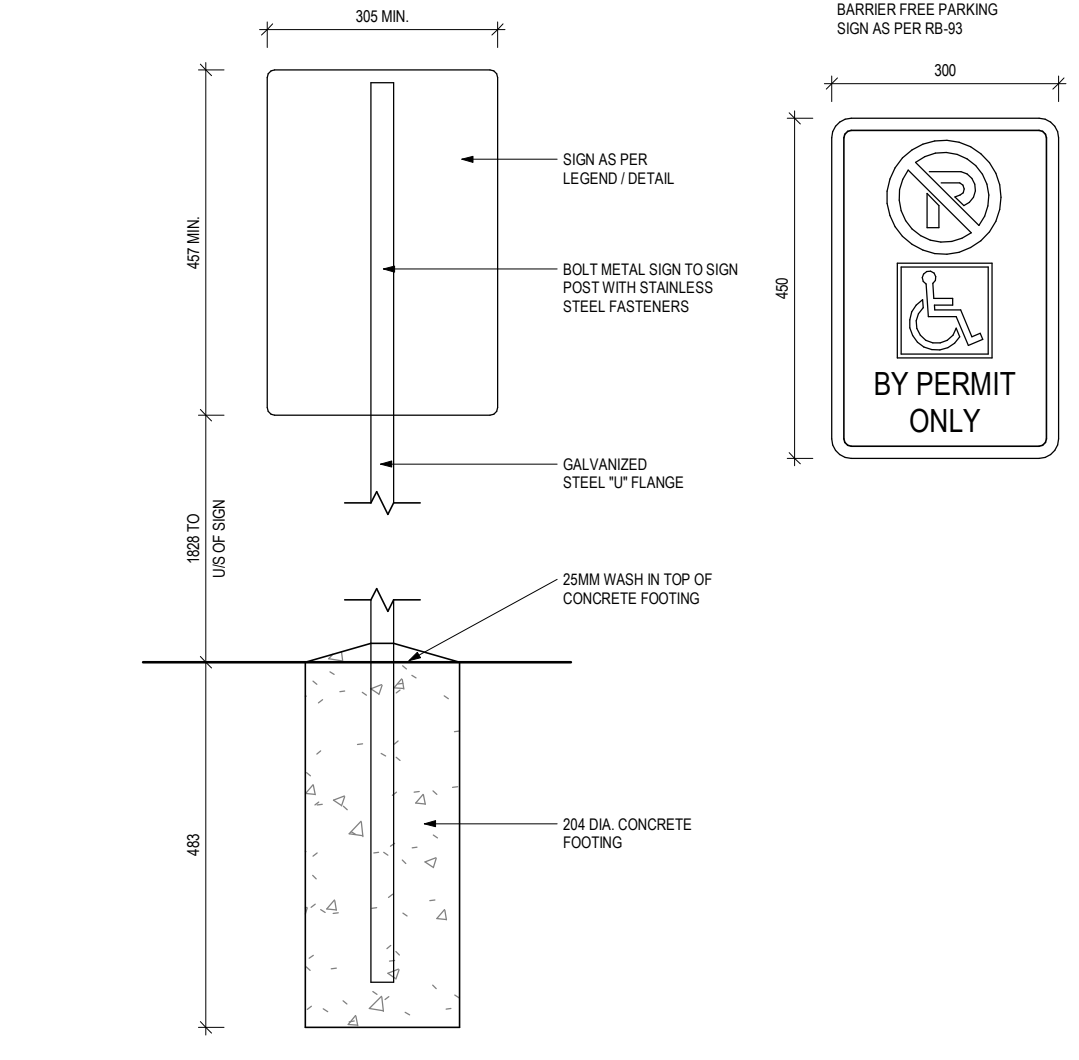
1 TYP. FLUSH CURB DETAIL
A1.3 1:20



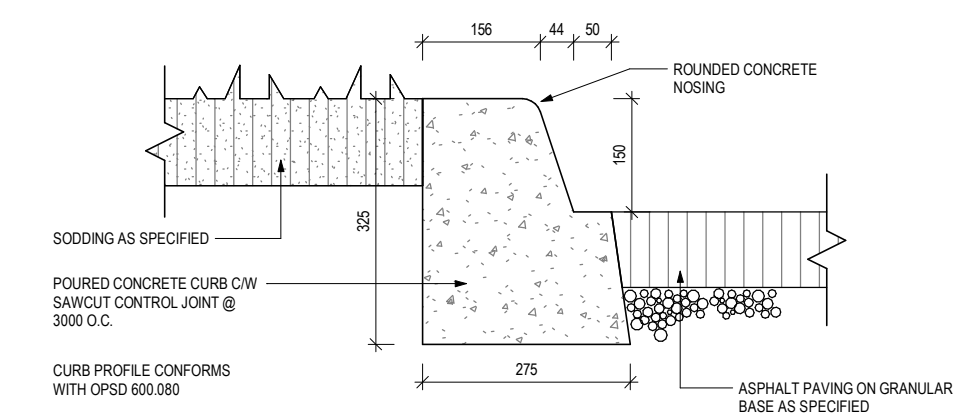
3 TYP. CONC. SIDEWALK AT CURB
A1.3 1:10



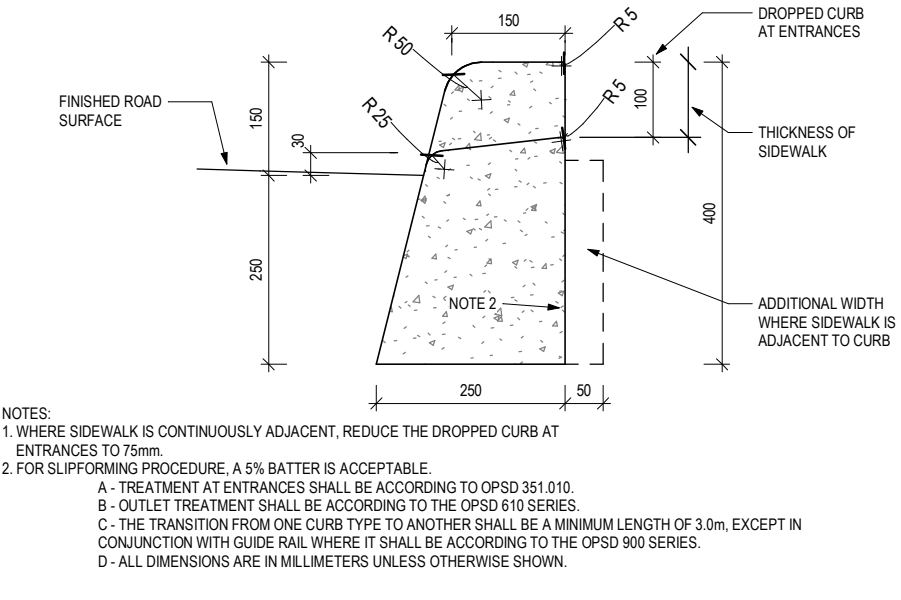
2 TYP. SEATING BOULDER
A1.3 1:10



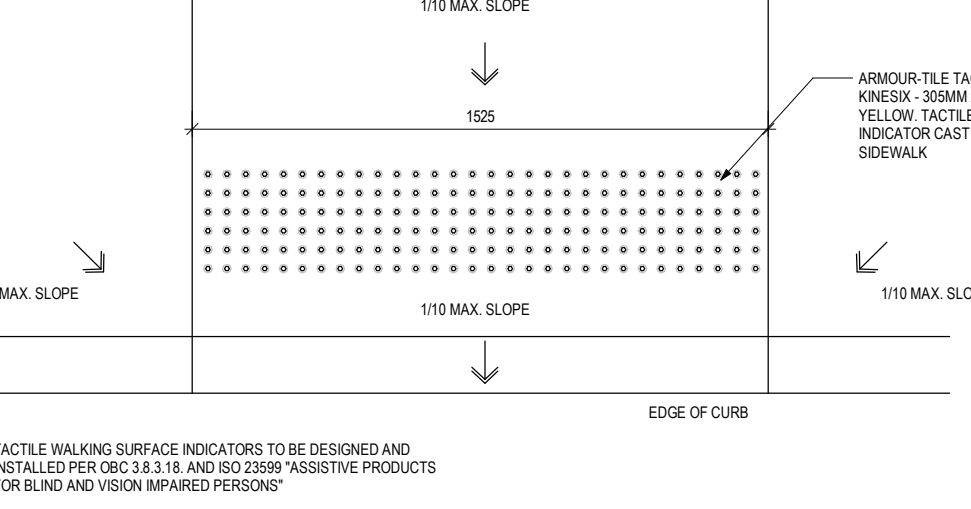
4 TYP. BARRIER FREE SIGNAGE
A1.3 1:10



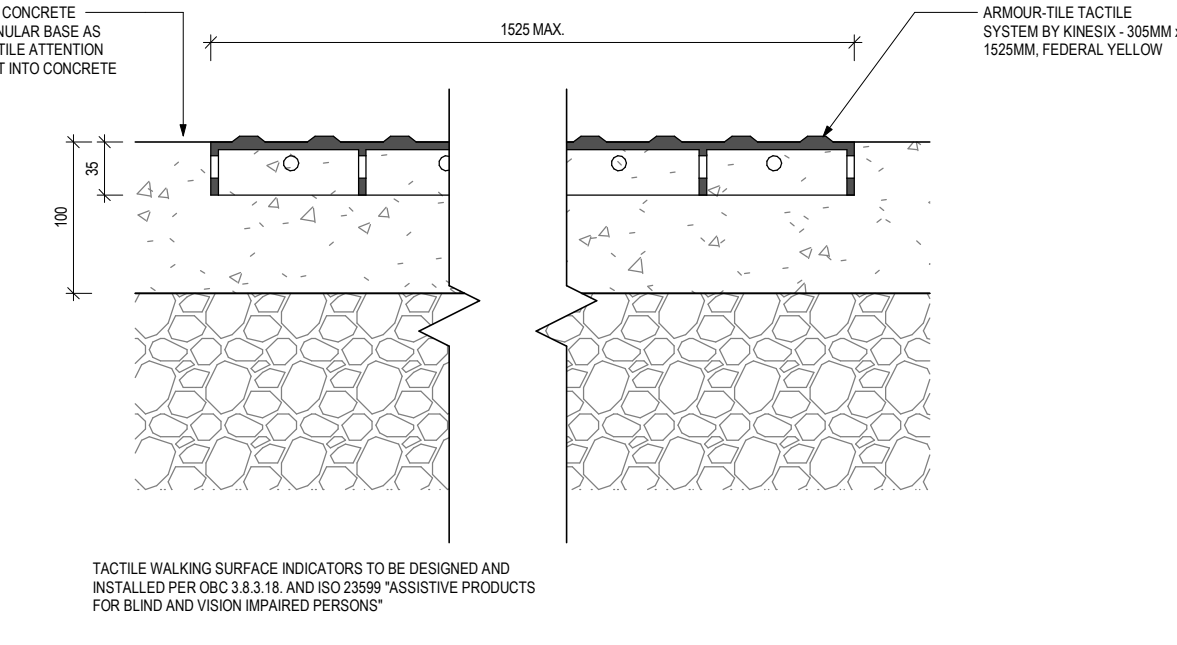
5 TYP. SOD AT CURB
A1.3 1:10



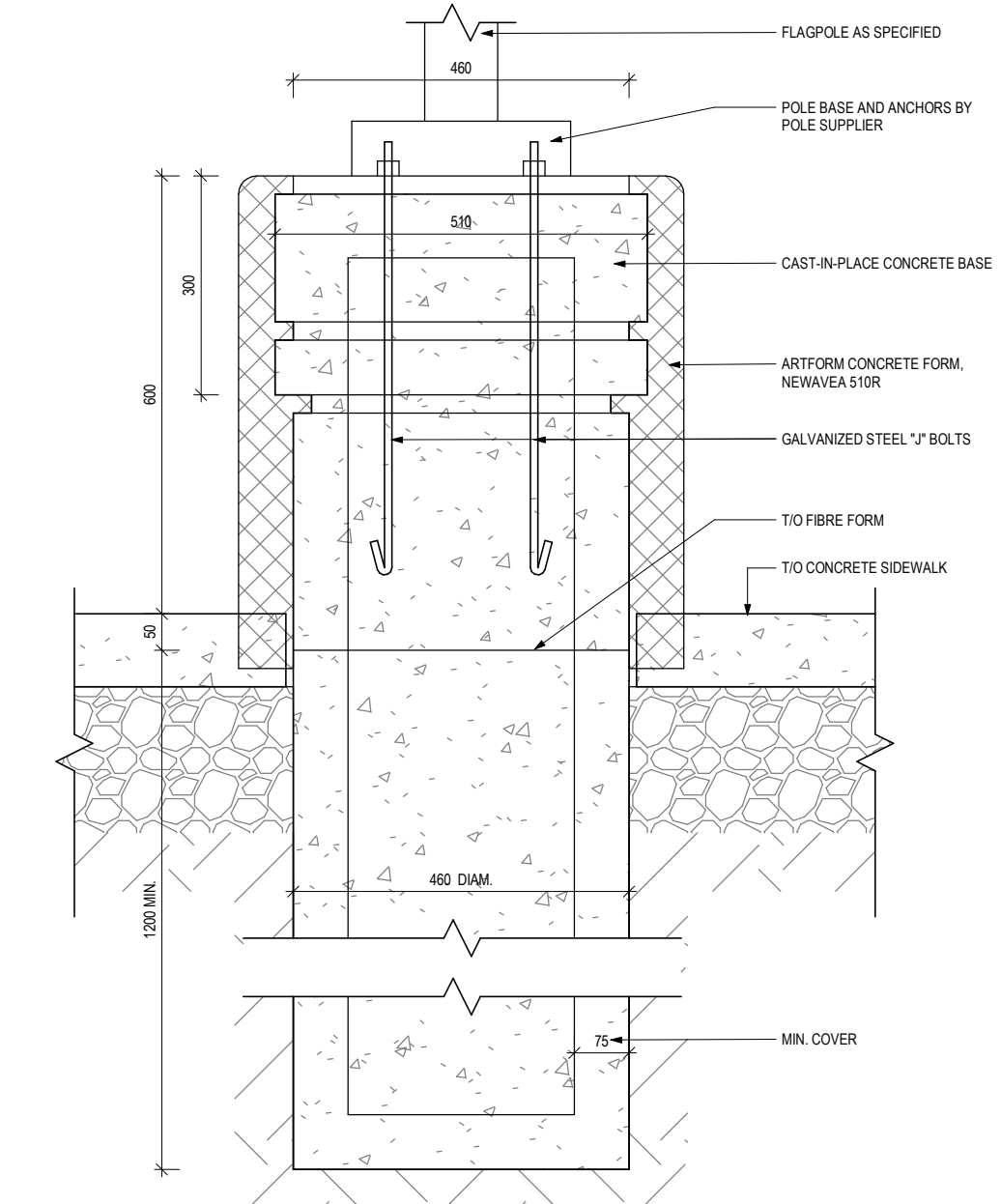
6 TYP. CURB DETAIL
A1.3 1:10



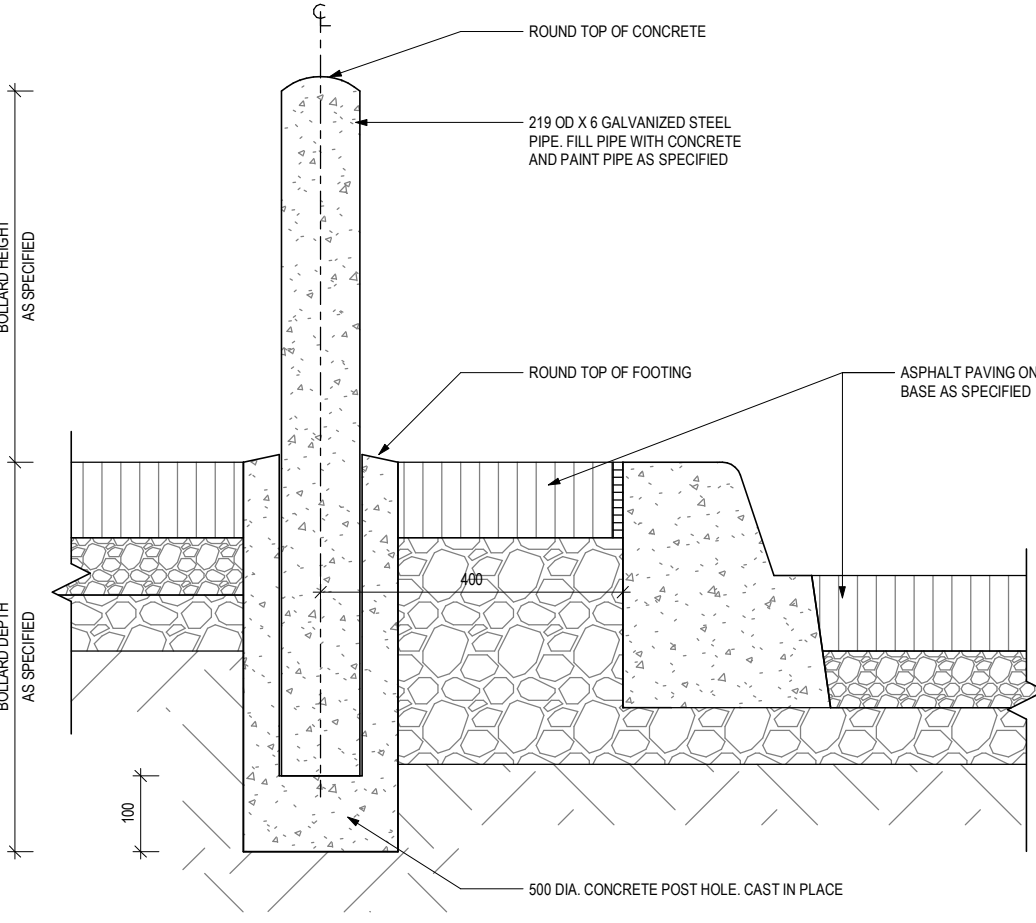
7 TYP. TACTILE ATTENTION INDICATOR PLAN
A1.3 1:20



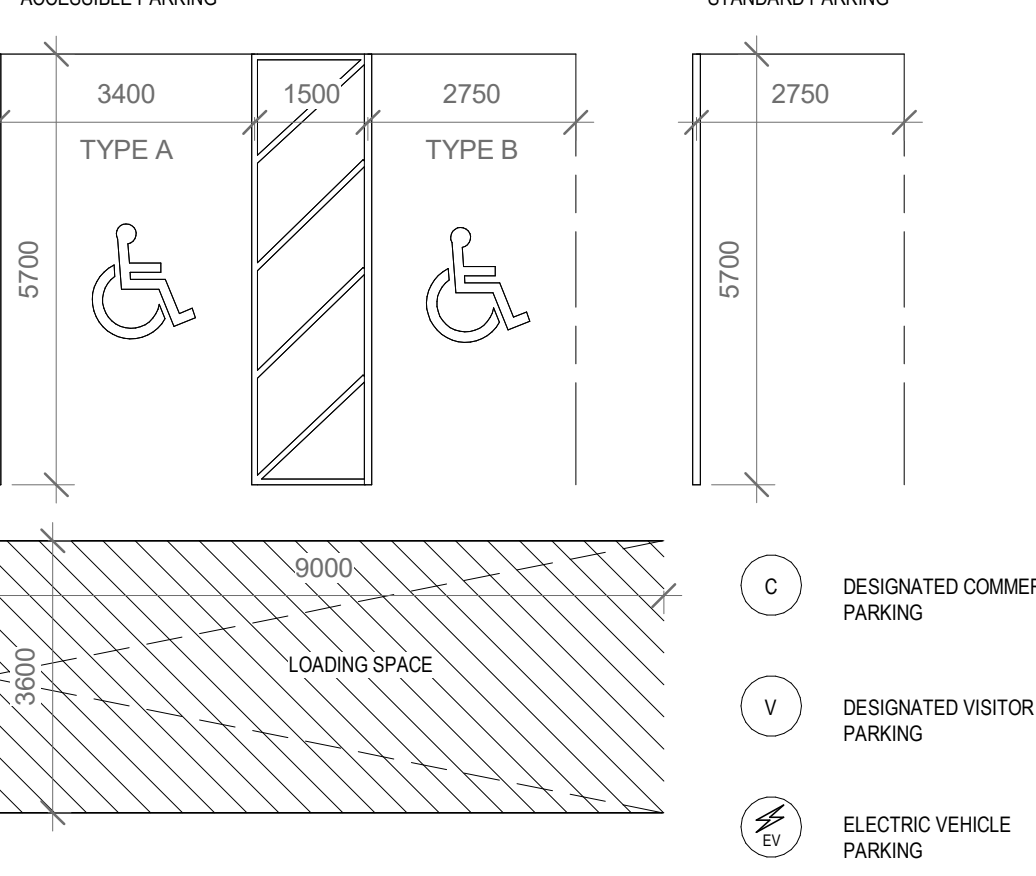
8 TYP. TACTILE ATTENTION INDICATOR SECTION
A1.3 1:5



9 TYP. LIGHT STANDARD BASE
A1.3 1:10



10 TYP. BOLLARD
A1.3 1:10



4	SITE PLAN APPLICATION RESPONSE	2024 12 03
3	SITE PLAN APPLICATION RESPONSE	2024 05 27
2	SITE PLAN APPLICATION RESPONSE	2023 05 28
1	SITE PLAN APPLICATION RESPONSE	2022 11 24

ISSUES/REVISIONS
ALL DIMENSIONS TO BE CHECKED AND VERIFIED ON SITE. DISCREPANCIES TO BE REPORTED TO THE ARCHITECT. LATEST APPROVED STAMPED DRAWINGS ONLY TO BE USED FOR CONSTRUCTION.

ONTARIO ASSOCIATION OF ARCHITECTS
MICHAEL W. MCKNIGHT
LICENCE 3808

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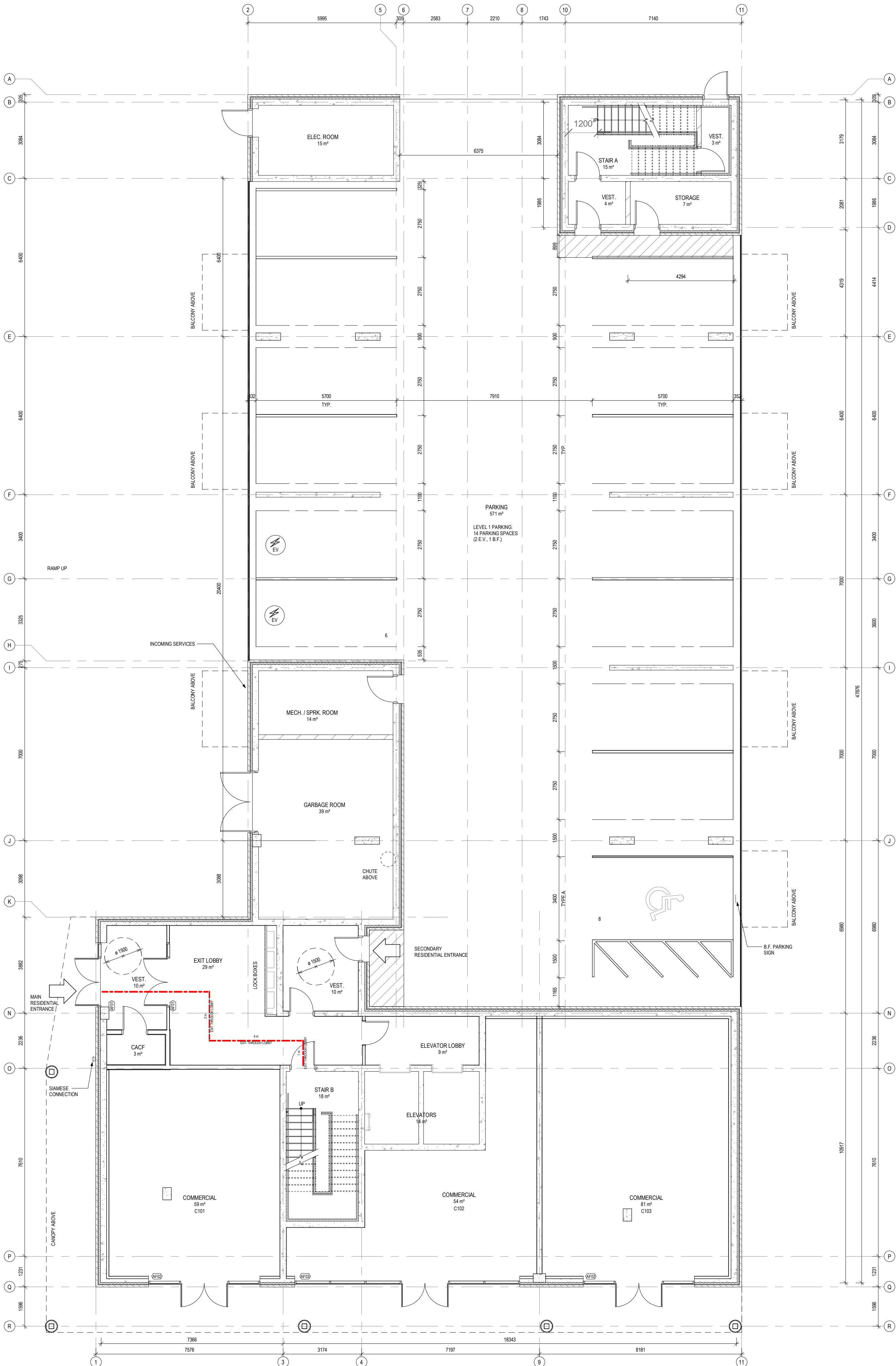
DRAWING TITLE:
SITE PLAN DETAILS

PROJECT NAME:
8 STOREY CONDOMINIUM - INNISFIL
946, 950 INNISFIL BEACH RD, INNISFIL, ON

DATE: December 03, 2024
DRAWN BY: LR
SCALE: As indicated

PROJECT #
22-1114

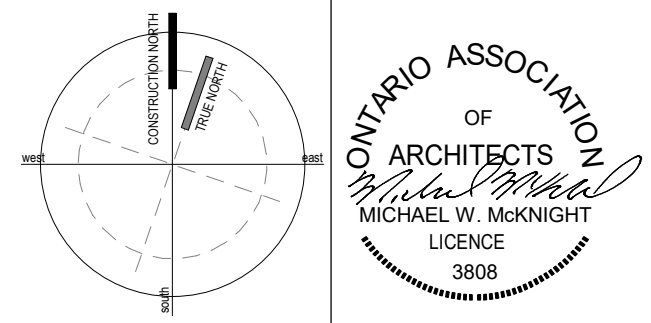
SHEET #
A1.3



1
A3.1
GROUND FLOOR PLAN
1 : 100

4	SITE PLAN APPLICATION RESPONSE	2024 12 03
3	SITE PLAN APPLICATION RESPONSE	2024 05 27
2	SITE PLAN APPLICATION RESPONSE	2023 05 28
1	SITE PLAN APPLICATION RESPONSE	2022 11 24

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DRAWING TITLE:
GROUND FLOOR PLAN

PROJECT NAME:
**8 STOREY CONDOMINIUM -
INNISFIL**
946, 950 INNISFIL BEACH RD, INNISFIL, ON

DATE: December 03, 2024	PROJECT # 22-1114	SHEET #
DRAWN BY: LR		A3.1
SCALE: 1 : 100		



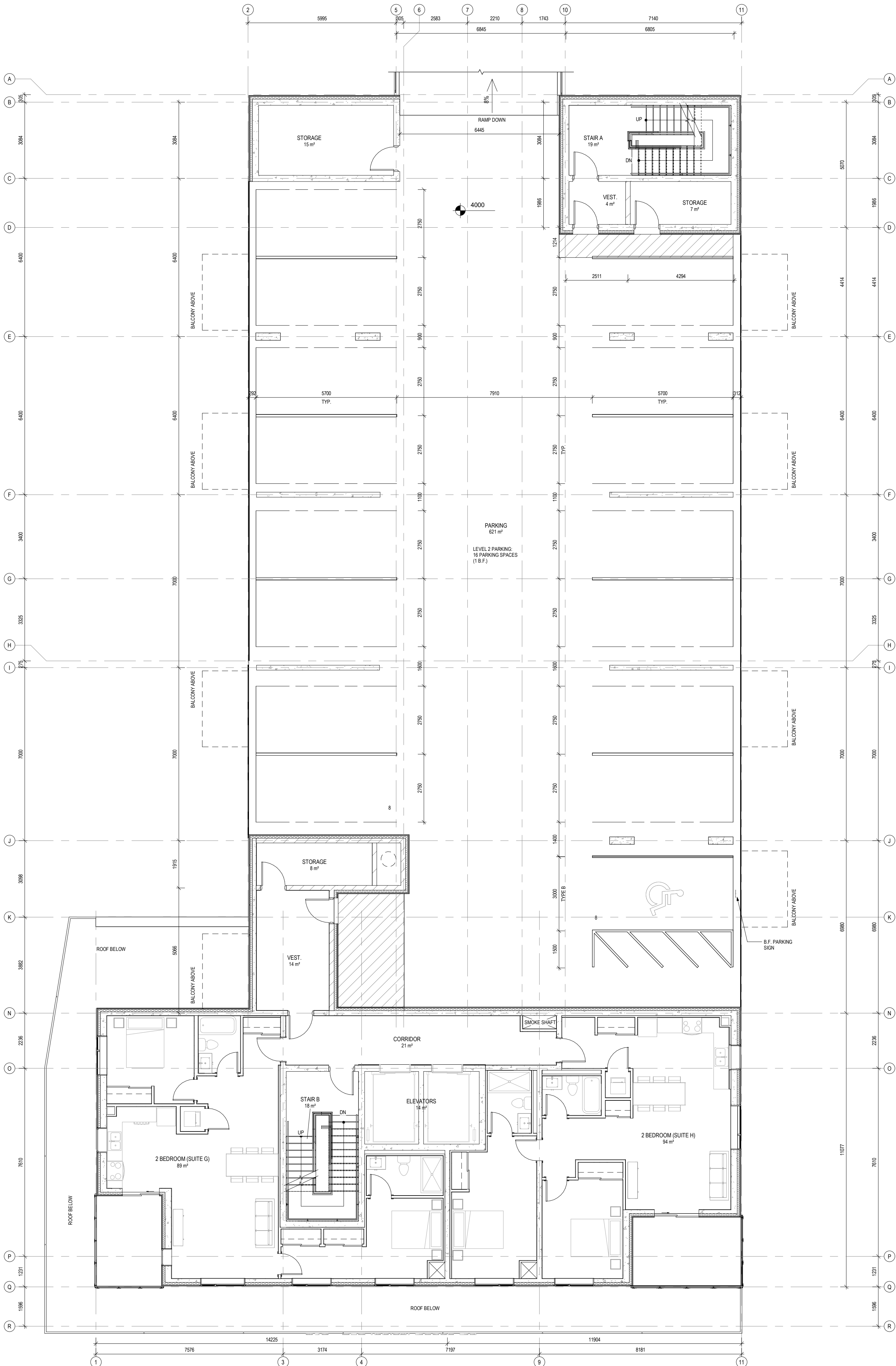
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DRAWING TITLE:
GARAGE LEVELS

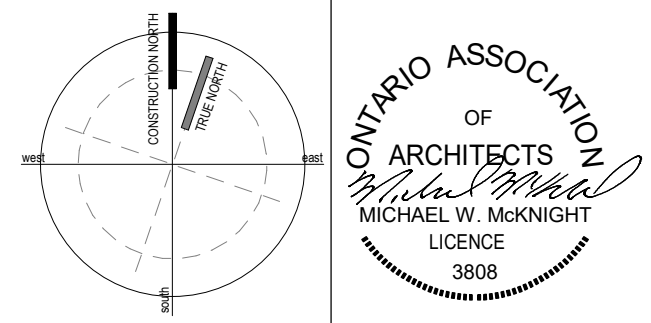
DATE: December 03, 2024	PROJECT #	SHEET #
DRAWN BY: LR	22-1114	A3.2
SCALE: 1 : 150		



1
A3.3
SECOND FLOOR PLAN
1 : 100

4	SITE PLAN APPLICATION RESPONSE	2024 12 03
3	SITE PLAN APPLICATION RESPONSE	2024 05 27
2	SITE PLAN APPLICATION RESPONSE	2023 05 28
1	SITE PLAN APPLICATION RESPONSE	2022 11 24

ISSUES/REVISIONS
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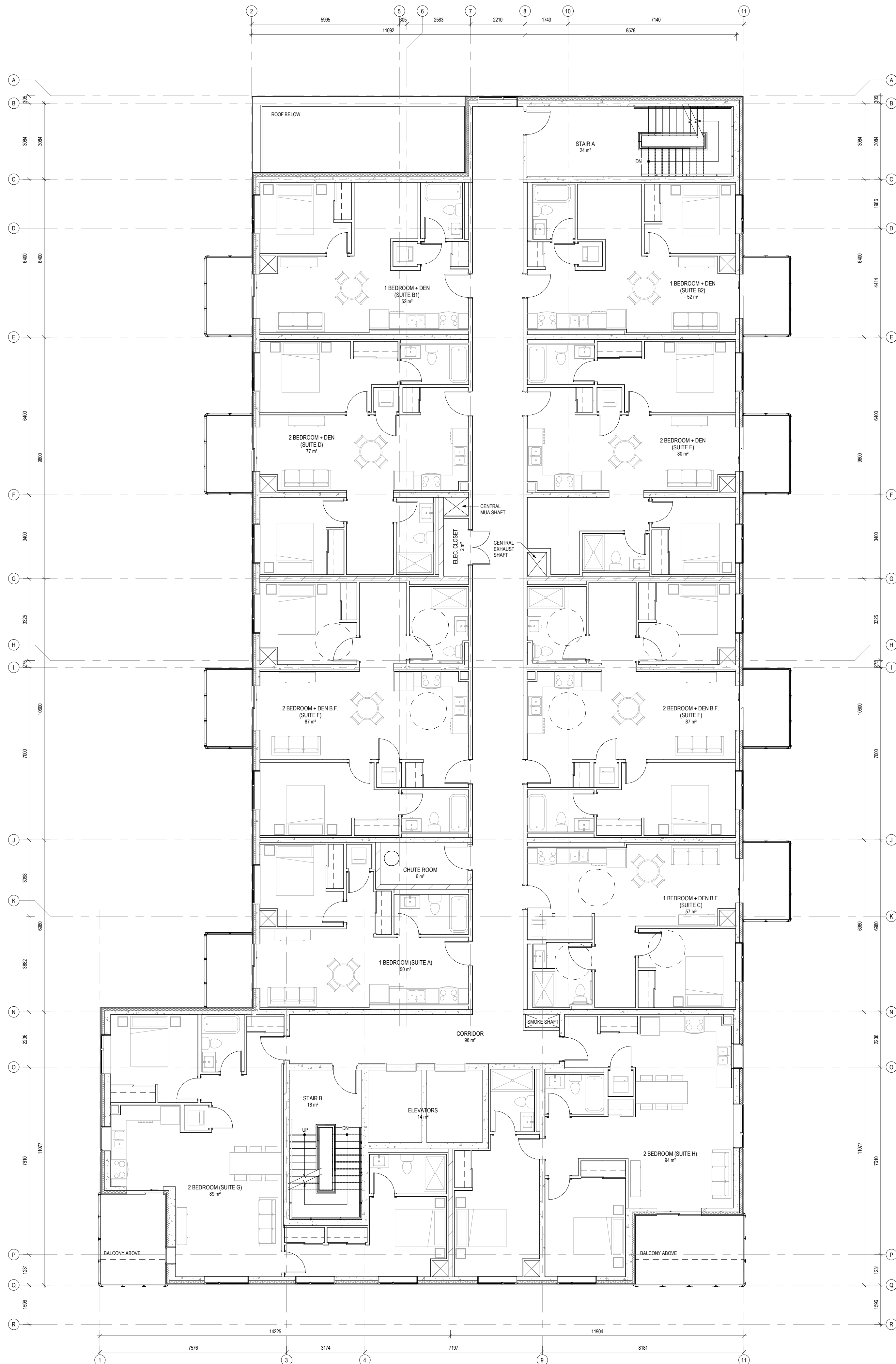
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DRAWING TITLE:
SECOND FLOOR PLAN

PROJECT NAME:
**8 STOREY CONDOMINIUM -
INNISFIL**
946, 950 INNISFIL BEACH RD, INNISFIL, ON

DATE: December 03, 2024	PROJECT # 22-1114	SHEET #
DRAWN BY: LR		A3.3
SCALE: 1 : 100		

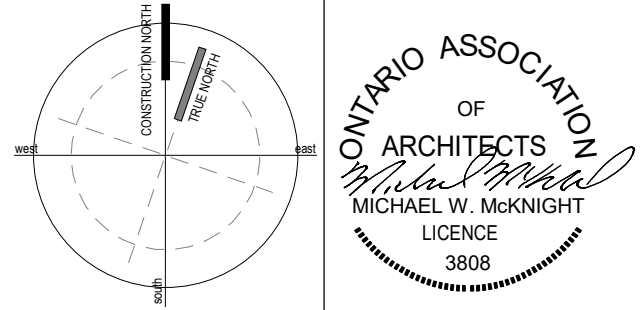


1
A3.4
THIRD FLOOR PLAN
1 : 100

4	SITE PLAN APPLICATION RESPONSE	2024 12 03
3	SITE PLAN APPLICATION RESPONSE	2024 05 27
2	SITE PLAN APPLICATION RESPONSE	2023 05 28
1	SITE PLAN APPLICATION RESPONSE	2022 11 24

ISSUES/REVISIONS

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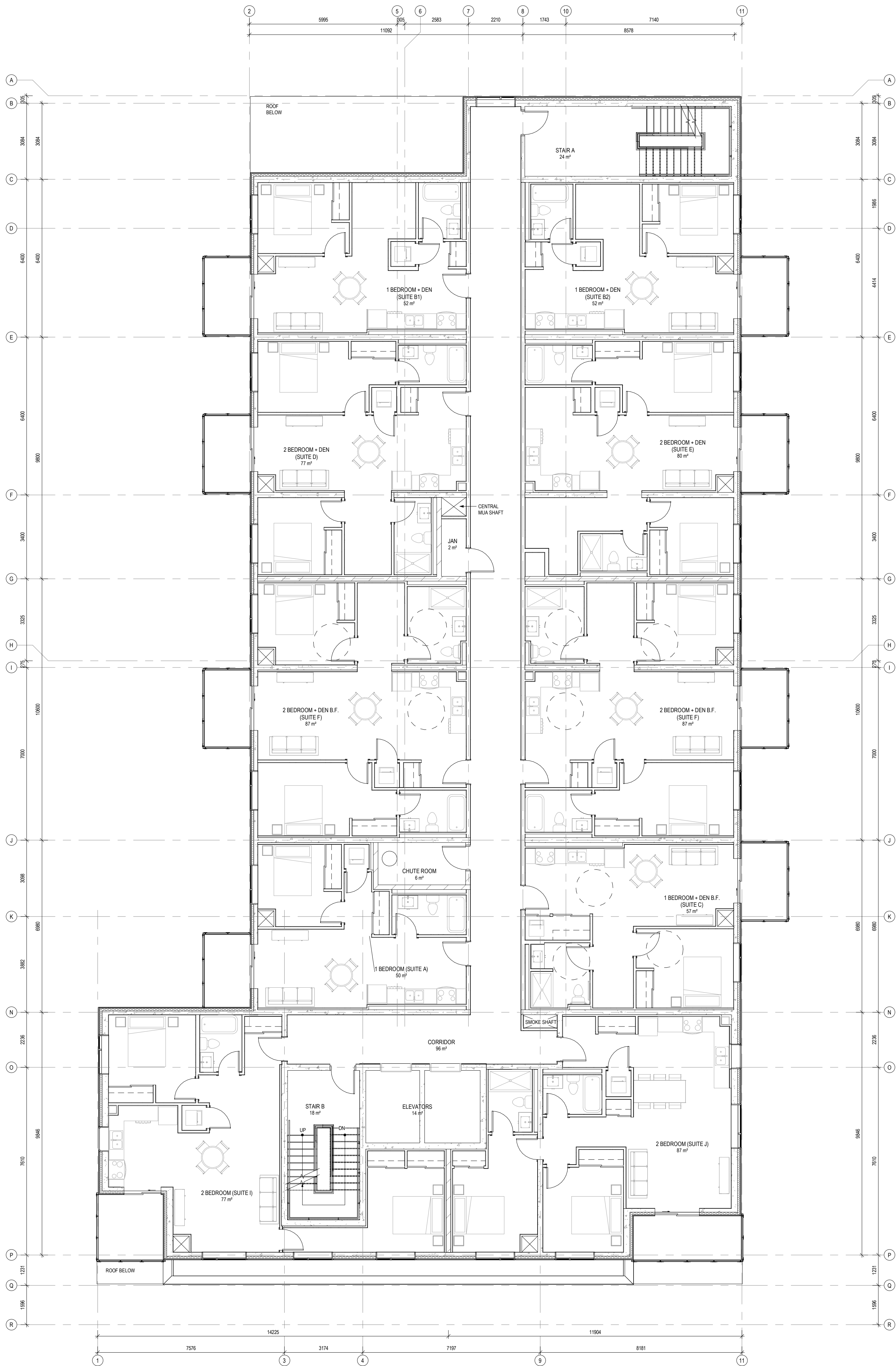
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DRAWING TITLE:
THIRD FLOOR PLAN

PROJECT NAME:
**8 STOREY CONDOMINIUM -
INNISFIL**
946, 950 INNISFIL BEACH RD, INNISFIL, ON

DATE:	December 03, 2024	PROJECT #	22-1114	SHEET #
DRAWN BY:	LR			A3.4
SCALE:	1 : 100			



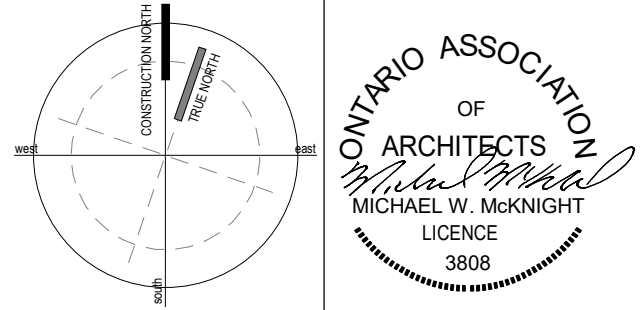
1
A3.5

FOURTH AND SIXTH FLOOR PLANS
1 : 100

4	SITE PLAN APPLICATION RESPONSE	2024 12 03
3	SITE PLAN APPLICATION RESPONSE	2024 05 27
2	SITE PLAN APPLICATION RESPONSE	2023 05 28
1	SITE PLAN APPLICATION RESPONSE	2022 11 24

ISSUES/REVISIONS

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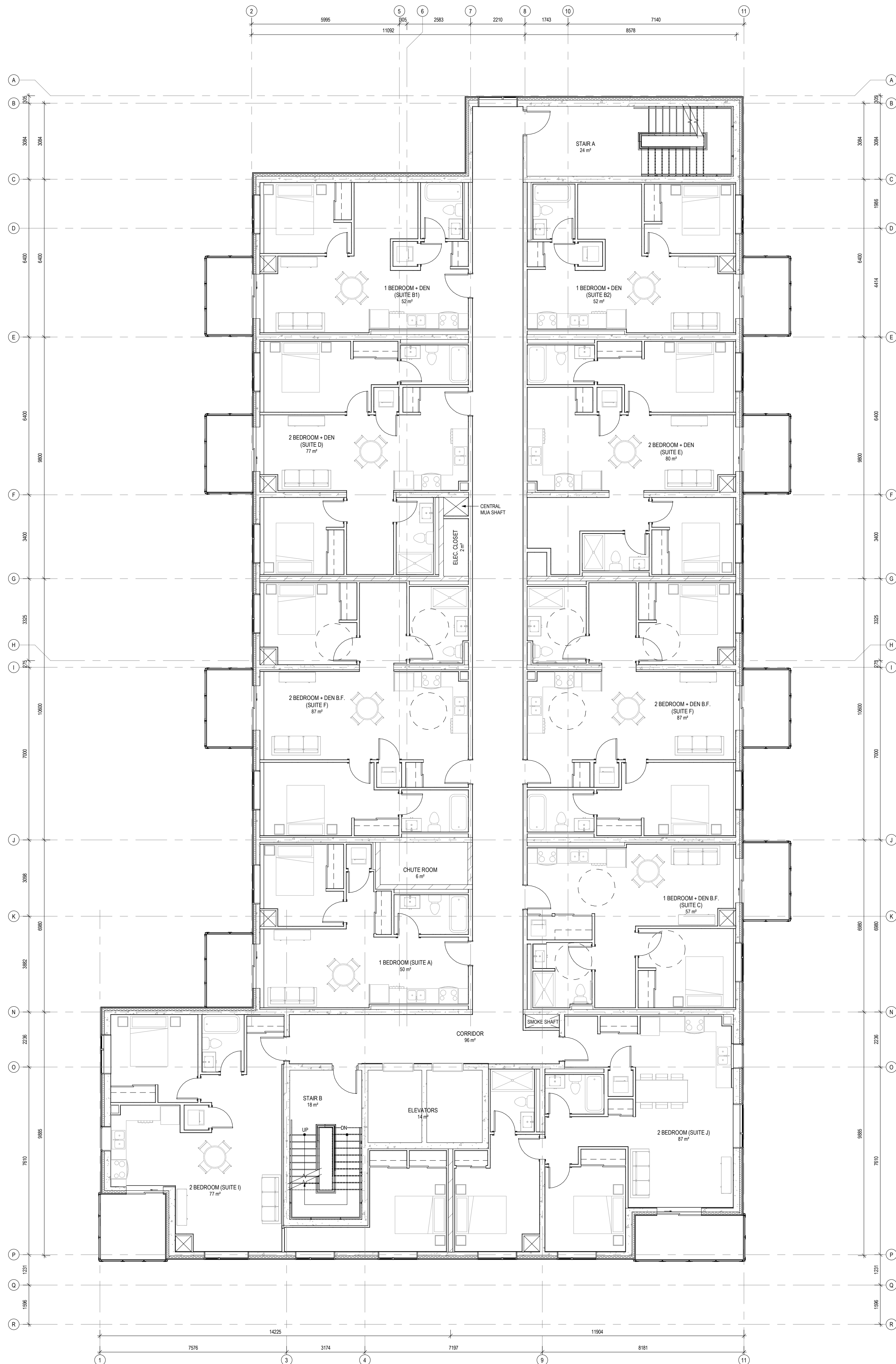
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DRAWING TITLE:
FOURTH AND SIXTH FLOOR PLANS

PROJECT NAME:
8 STOREY CONDOMINIUM - INNISFIL
946, 950 INNISFIL BEACH RD, INNISFIL, ON

DATE: December 03, 2024	PROJECT # 22-1114	SHEET #
DRAWN BY: LR		A3.5
SCALE: 1 : 100		



1
A3.6
FIFTH AND SEVENTH FLOOR PLANS
1 : 100

ISSUES/REVISIONS		
4	SITE PLAN APPLICATION RESPONSE	2024 12 03
3	SITE PLAN APPLICATION RESPONSE	2024 05 27
2	SITE PLAN APPLICATION RESPONSE	2023 05 28
1	SITE PLAN APPLICATION RESPONSE	2022 11 24

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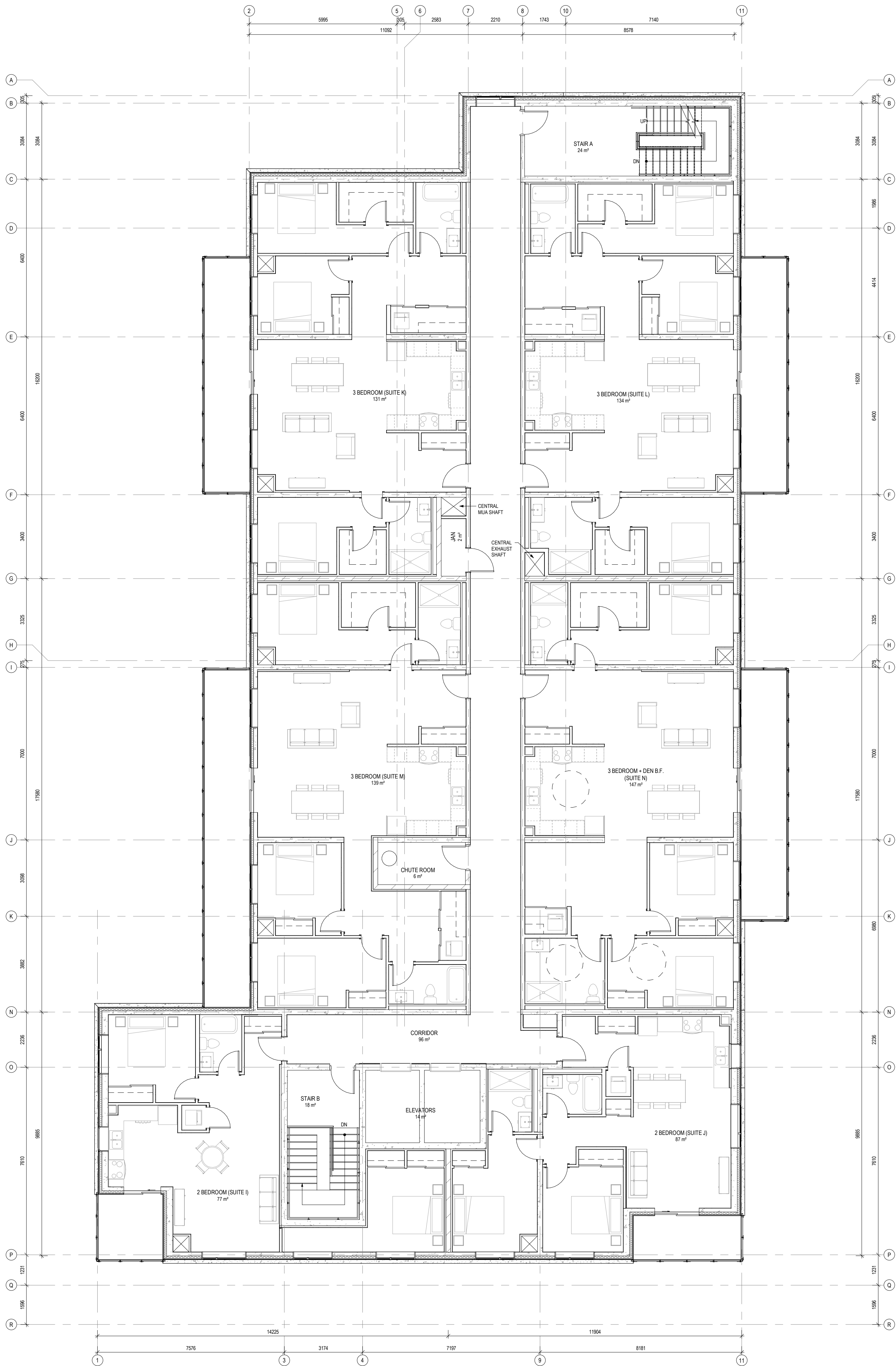
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BARRIE, ONTARIO L4M 5K3
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DRAWING TITLE:
FIFTH AND SEVENTH FLOOR PLANS

PROJECT NAME:
8 STOREY CONDOMINIUM - INNISFIL
946, 950 INNISFIL BEACH RD, INNISFIL, ON

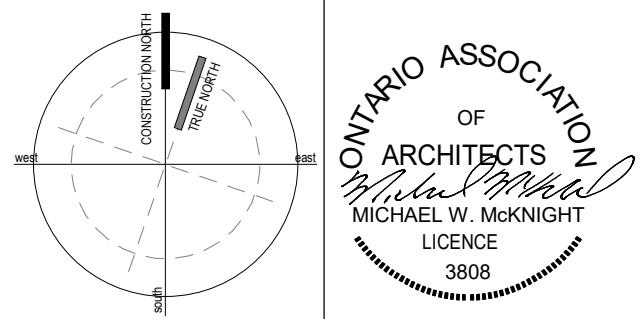
DATE: December 03, 2024	PROJECT # 22-1114	SHEET #
DRAWN BY: LR		A3.6
SCALE: 1 : 100		



1
A3.7
EIGHTH FLOOR
1 : 100

4	SITE PLAN APPLICATION RESPONSE	2024 12 03
3	SITE PLAN APPLICATION RESPONSE	2024 05 27
2	SITE PLAN APPLICATION RESPONSE	2023 05 28
1	SITE PLAN APPLICATION RESPONSE	2022 11 24

ISSUES/REVISIONS
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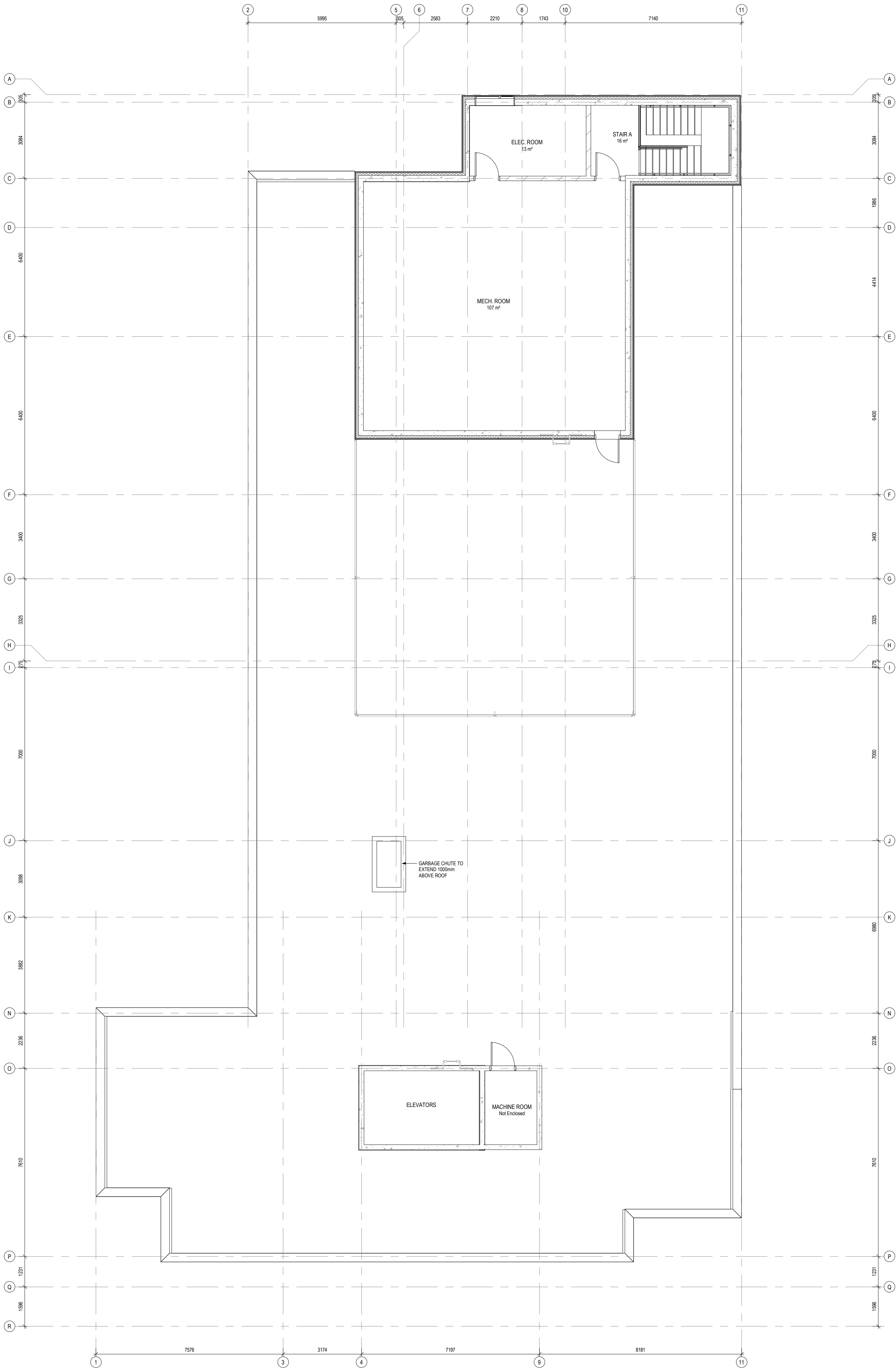
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DRAWING TITLE:
EIGHTH FLOOR PLAN

PROJECT NAME:
8 STOREY CONDOMINIUM - INNISFIL
946, 950 INNISFIL BEACH RD, INNISFIL, ON

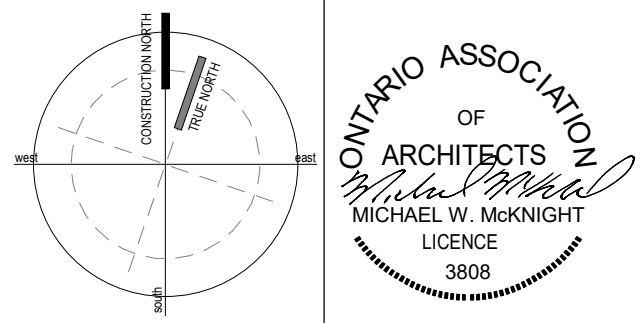
DATE: December 03, 2024	PROJECT # 22-1114	SHEET #
DRAWN BY: LR		A3.7
SCALE: 1 : 100		



1
A3.8
PENTHOUSE
1 : 100

4	SITE PLAN APPLICATION RESPONSE	2024 12 03
3	SITE PLAN APPLICATION RESPONSE	2024 05 27
2	SITE PLAN APPLICATION RESPONSE	2023 05 28
1	SITE PLAN APPLICATION RESPONSE	2022 11 24

ISSUES/REVISIONS
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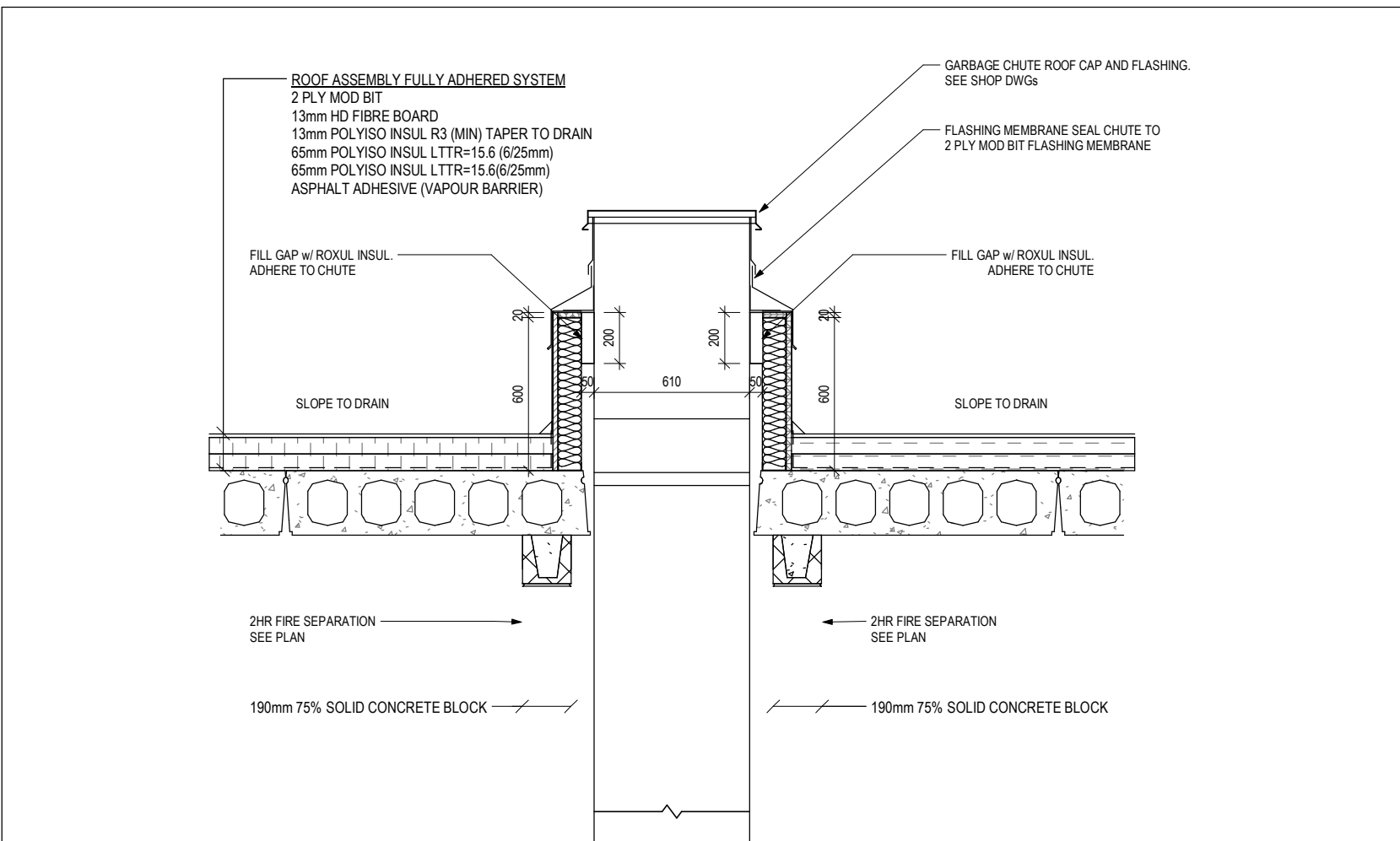
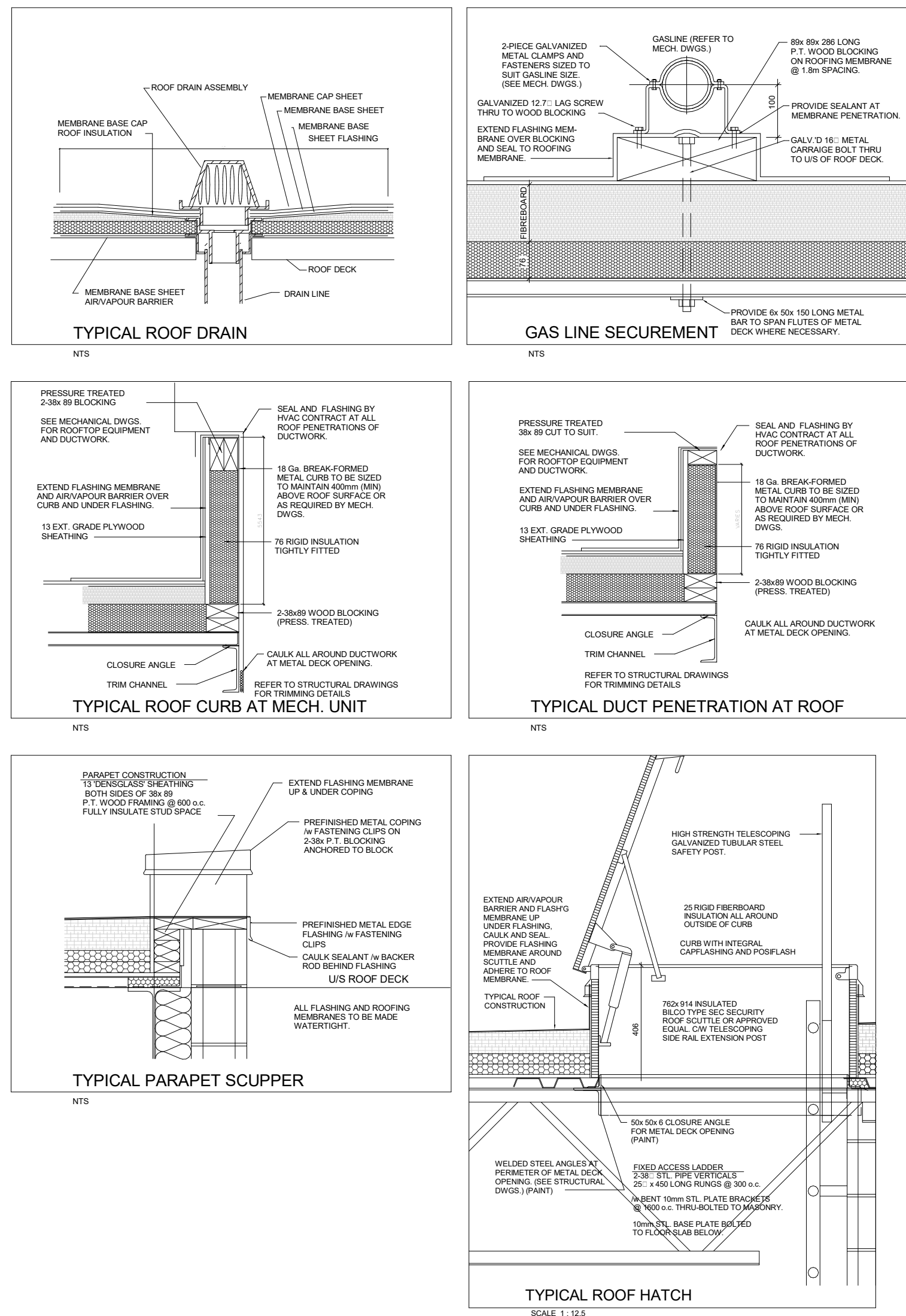
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DRAWING TITLE:
PENTHOUSE PLAN

PROJECT NAME:
**8 STOREY CONDOMINIUM -
INNISFIL**
946, 950 INNISFIL BEACH RD, INNISFIL, ON

DATE: December 03, 2024	PROJECT # 22-1114	SHEET #
DRAWN BY: LR		A3.8
SCALE: 1 : 100		



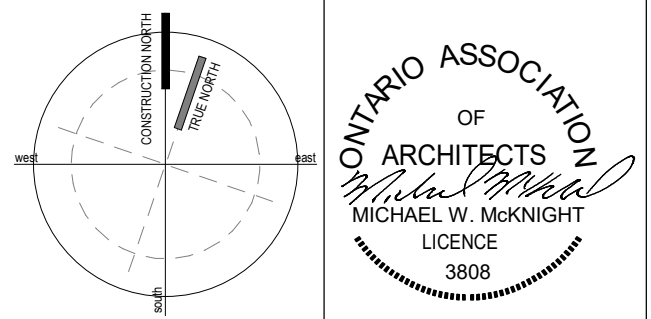
4 GARBAGE CHUTE @ PENTHOUSE
A3.9 1:25

2 T/O MECH. ROOF
A3.9 1 : 100

4	SITE PLAN APPLICATION RESPONSE	2024 12 03
3	SITE PLAN APPLICATION RESPONSE	2024 05 27
2	SITE PLAN APPLICATION RESPONSE	2023 05 28
1	SITE PLAN APPLICATION RESPONSE	2022 11 24

ISSUES/REVISIONS

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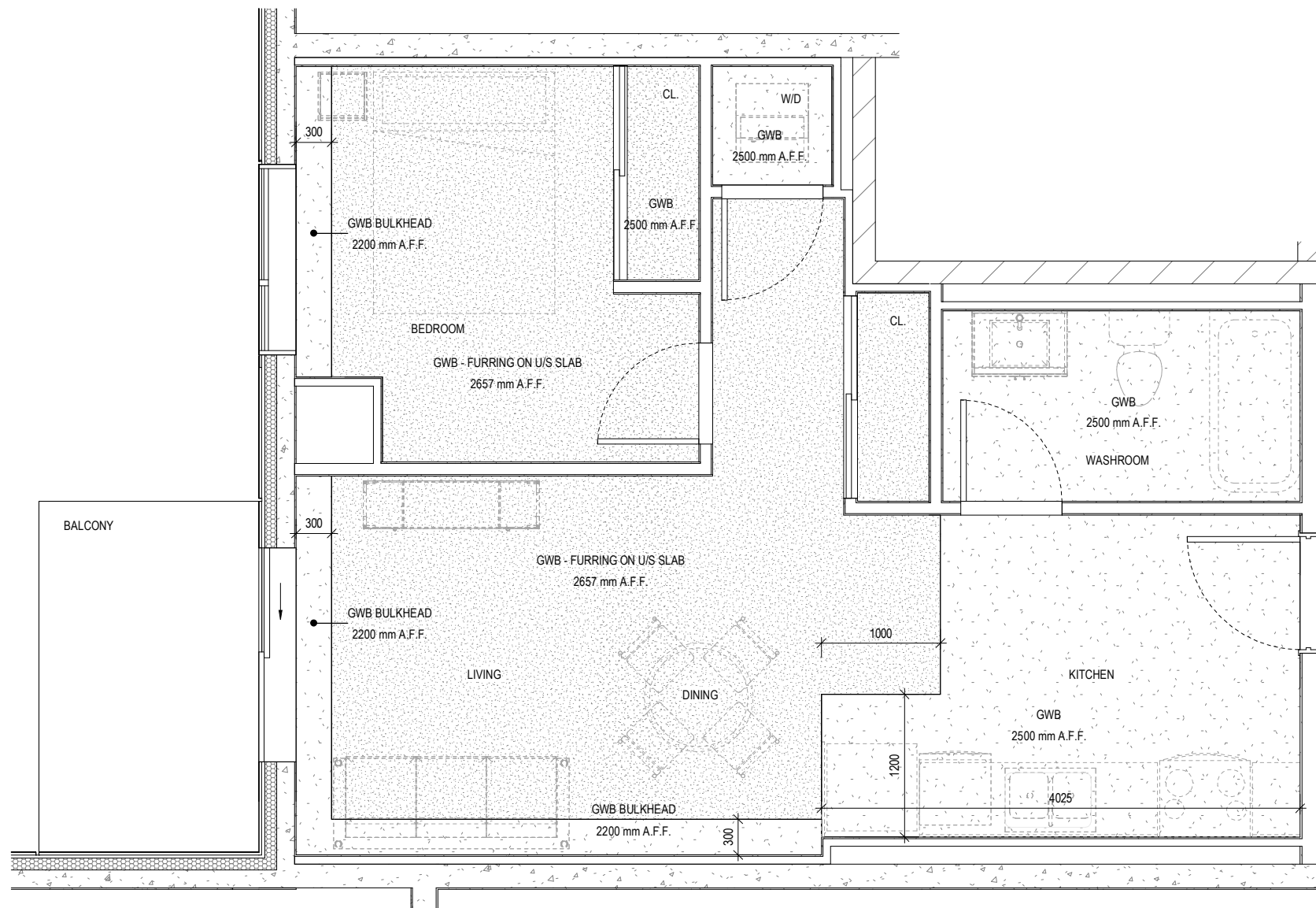
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BARRIE, ONTARIO L4M 5K3
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DRAWING TITLE:
ROOF PLAN

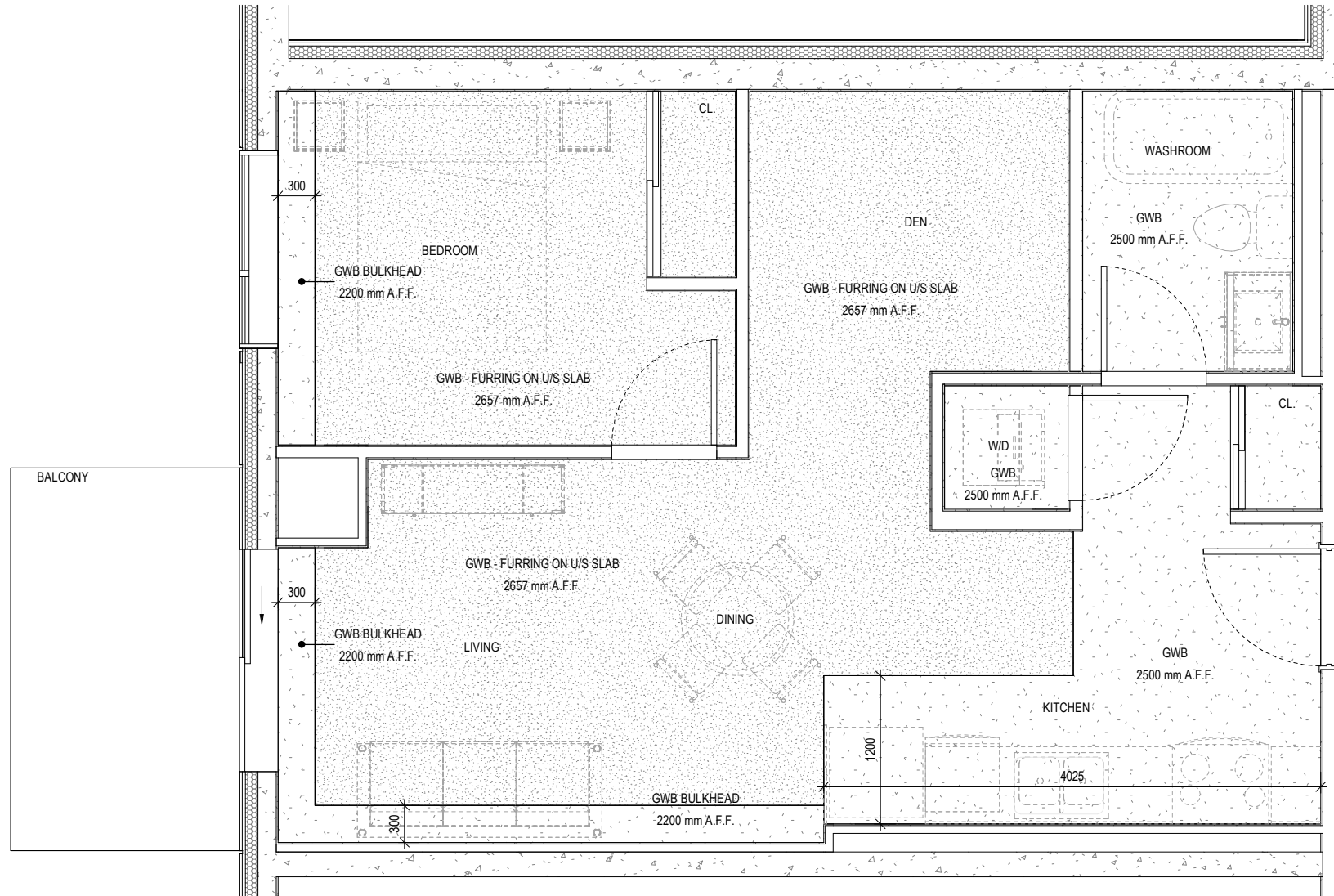
PROJECT NAME:
8 STOREY CONDOMINIUM -
INNISFIL
946, 950 INNISFIL BEACH RD, INNISFIL, ON

DATE: December 03, 2024	PROJECT #	SHEET #
DRAWN BY: LR	22-1114	A3.9
SCALE: As indicated		



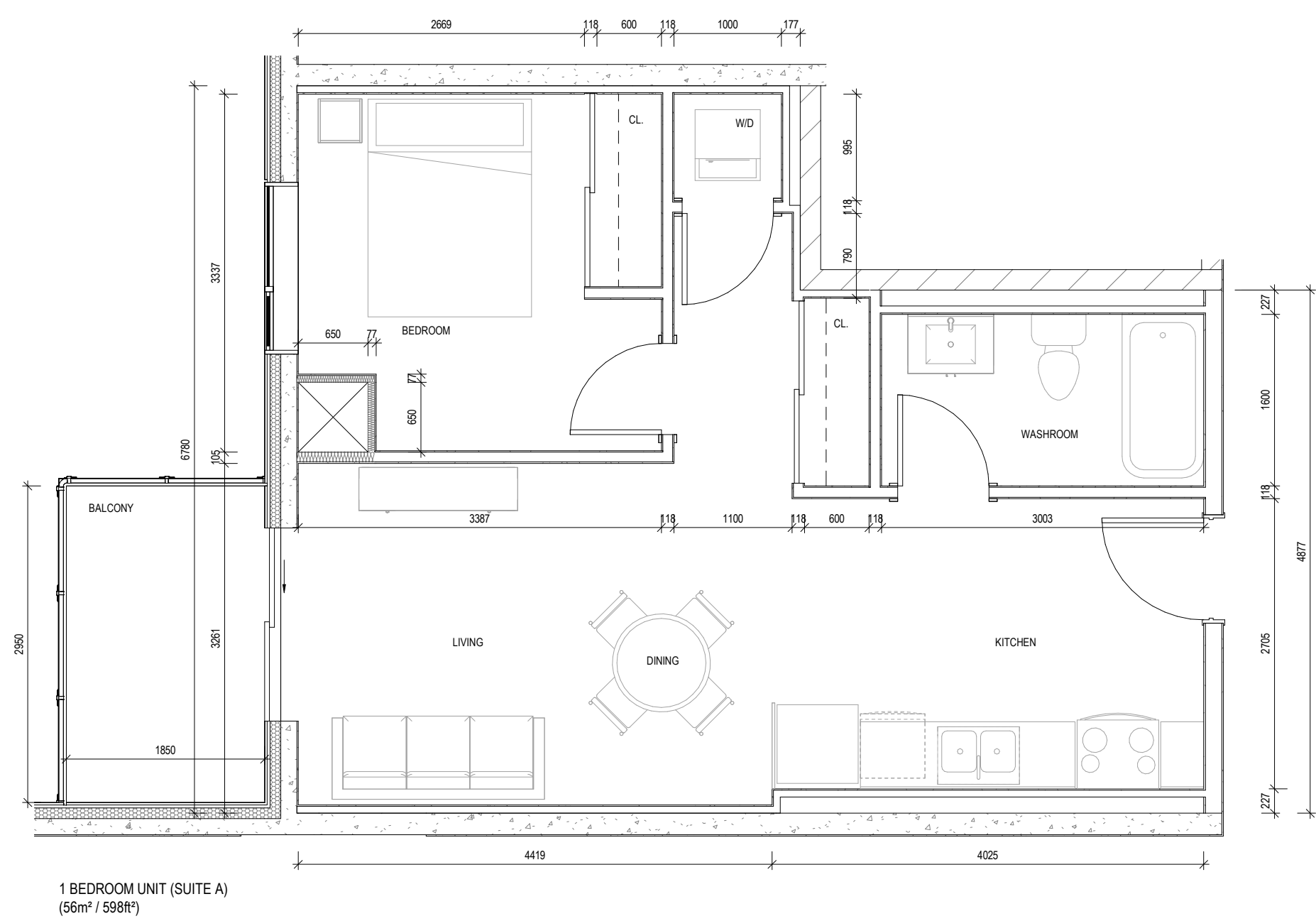
1 BEDROOM (SUITE A) - RCP
1 : 50

MECHANICAL ENGINEER TO CONFIRM
BULKHEADS' LOCATIONS AND SIZES.

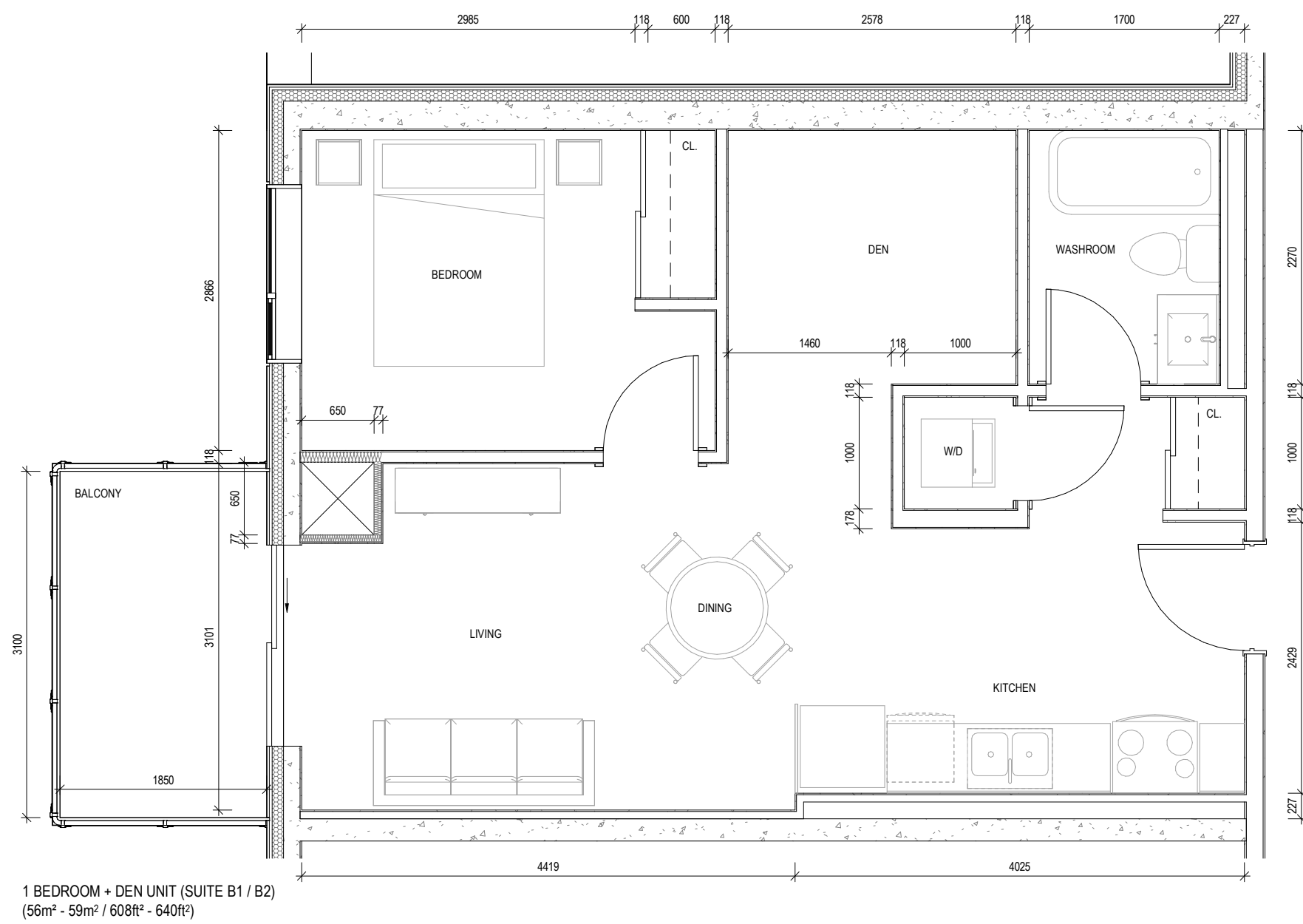


1 BEDROOM + DEN (SUITE B) - RCP
1 : 50

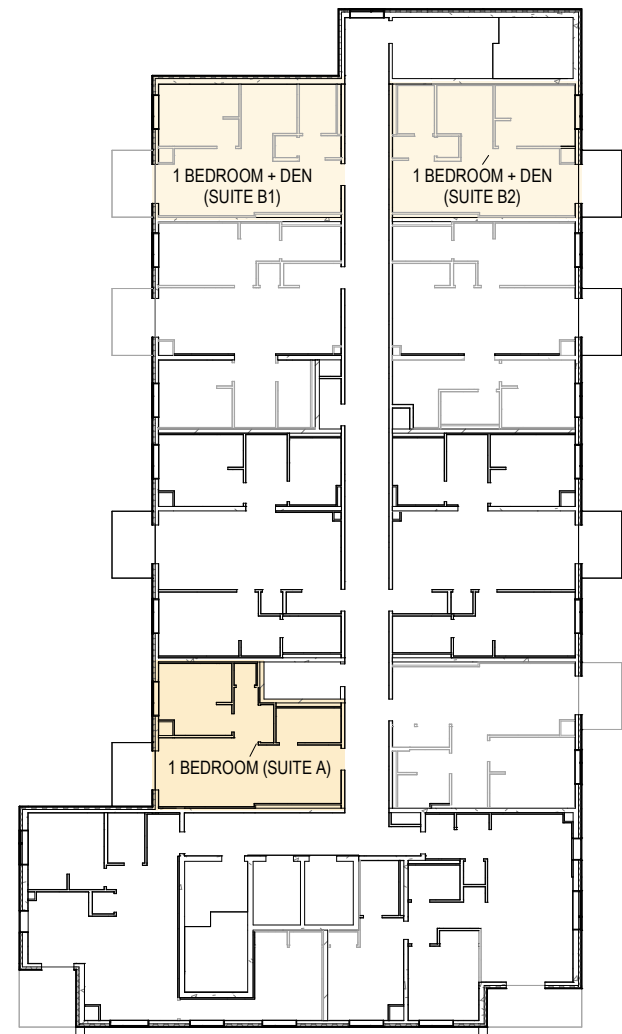
MECHANICAL ENGINEER TO CONFIRM
BULKHEADS' LOCATIONS AND SIZES.



2
A5.1 1 BEDROOM (SUITE A)
1 : 50



3
A5.1 1 BEDROOM + DEN (SUITE B)
1 : 50

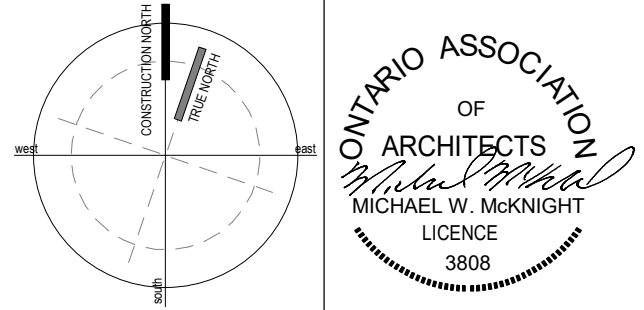


3RD - 8TH FLOORS
1 : 350

NO.	ISSUES/REVISIONS	DATE
4	SITE PLAN APPLICATION RESPONSE	2024 12 03
3	SITE PLAN APPLICATION RESPONSE	2024 05 27
2	SITE PLAN APPLICATION RESPONSE	2023 05 28
1	SITE PLAN APPLICATION RESPONSE	2022 11 24

ISSUES/REVISIONS

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BARRIE, ONTARIO L4M 5K3
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DRAWING TITLE:
UNIT PLANS

PROJECT NAME:
**8 STOREY CONDOMINIUM -
INNISFIL**
946, 950 INNISFIL BEACH RD, INNISFIL, ON

DATE:	December 03, 2024	PROJECT #	22-1114	SHEET #	A5.1
DRAWN BY:	LR				
SCALE:	As indicated				

1 : 50

MECHANICAL ENGINEER TO CONFIRM
BULKHEADS' LOCATIONS AND SIZES.

1 : 50

MECHANICAL ENGINEER TO CONFIRM
BULKHEADS' LOCATIONS AND SIZES.

1 BEDROOM + DEN B.F. UNIT (SUITE C)
(63m² / 678ft²)

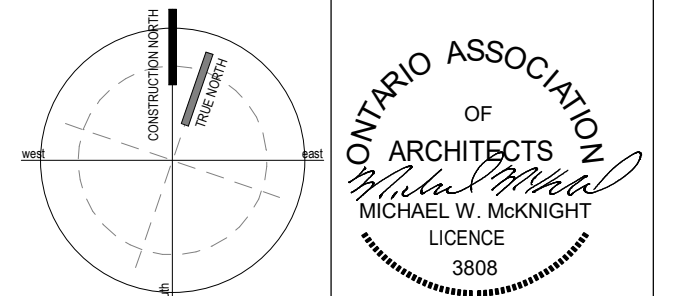
2 BEDROOM + DEN UNIT (SUITE D)
(83m² / 892ft²)

1 : 350

4	SITE PLAN APPLICATION RESPONSE	2024 12 03
3	SITE PLAN APPLICATION RESPONSE	2024 05 27
2	SITE PLAN APPLICATION RESPONSE	2023 05 28
1	SITE PLAN APPLICATION RESPONSE	2022 11 24

ISSUES/REVISIONS

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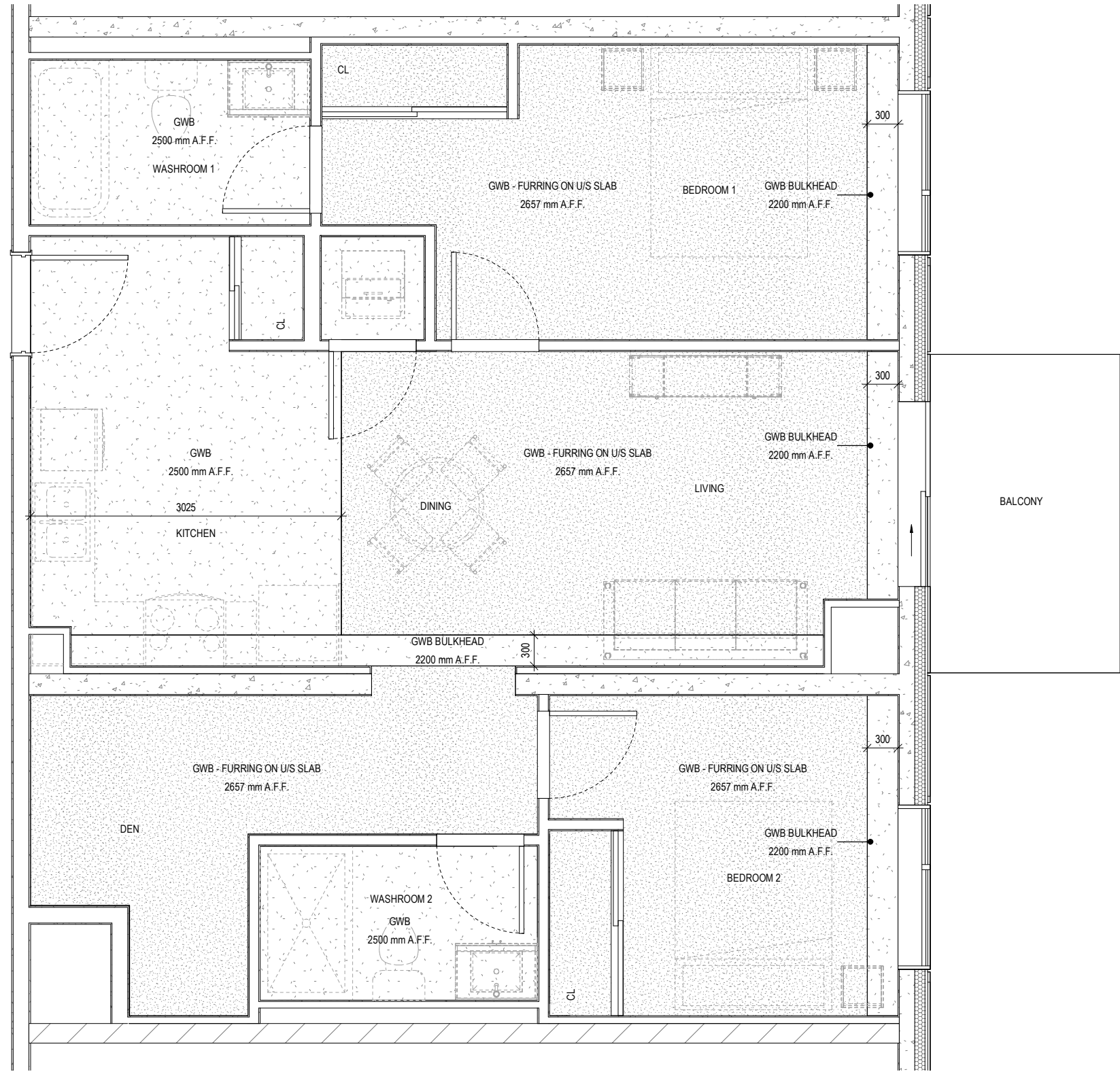
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DRAWING TITLE:
UNIT PLANS

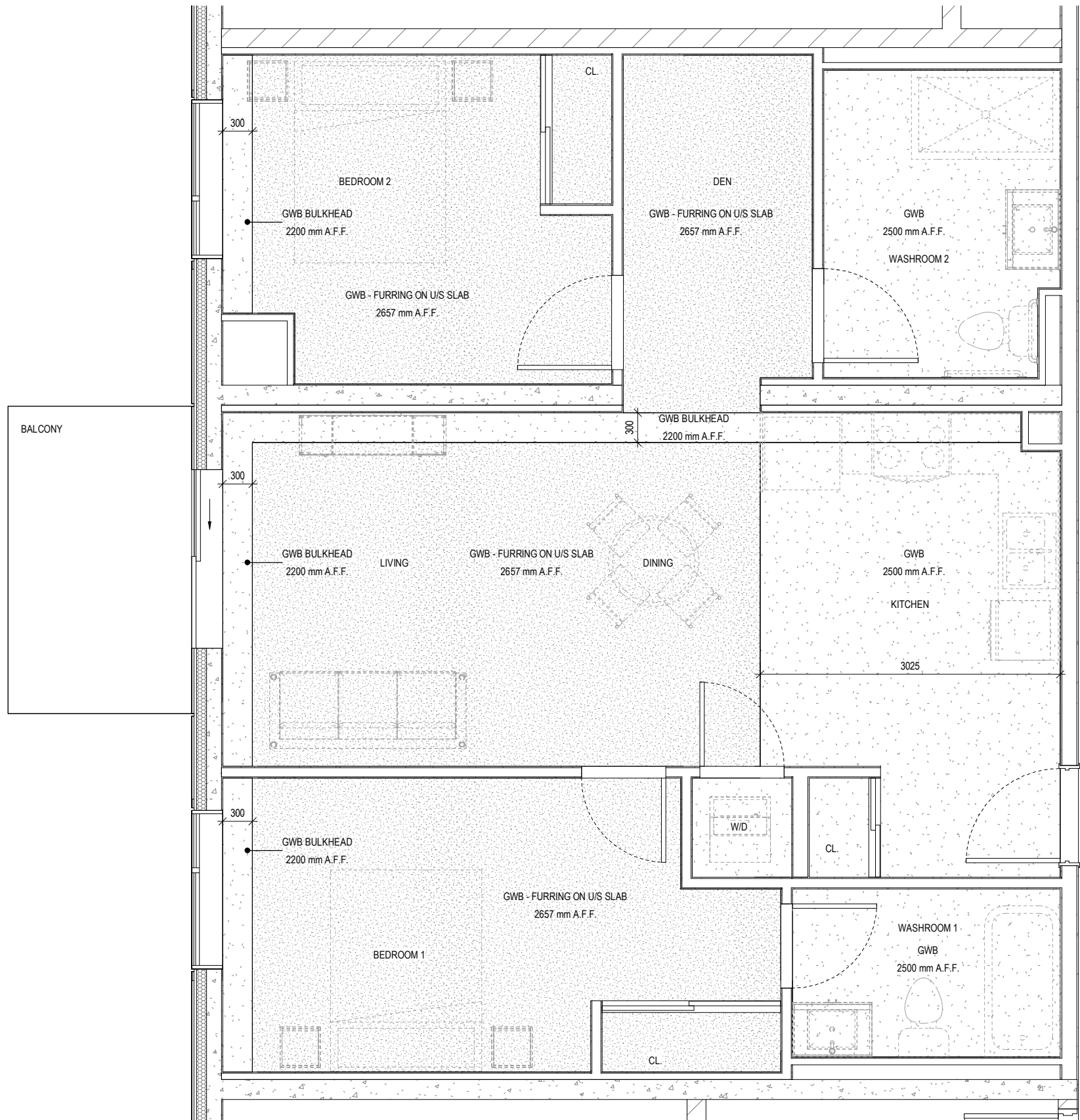
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946, 950 INNISFIL BEACH RD, INNISFIL, ON

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SCALE: As indicated		



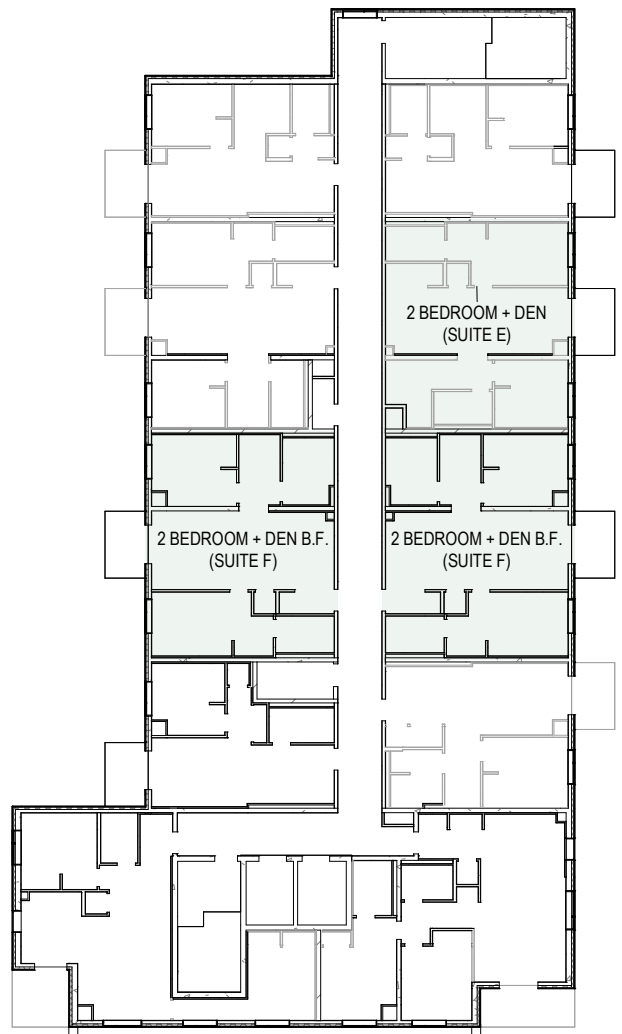
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1:50



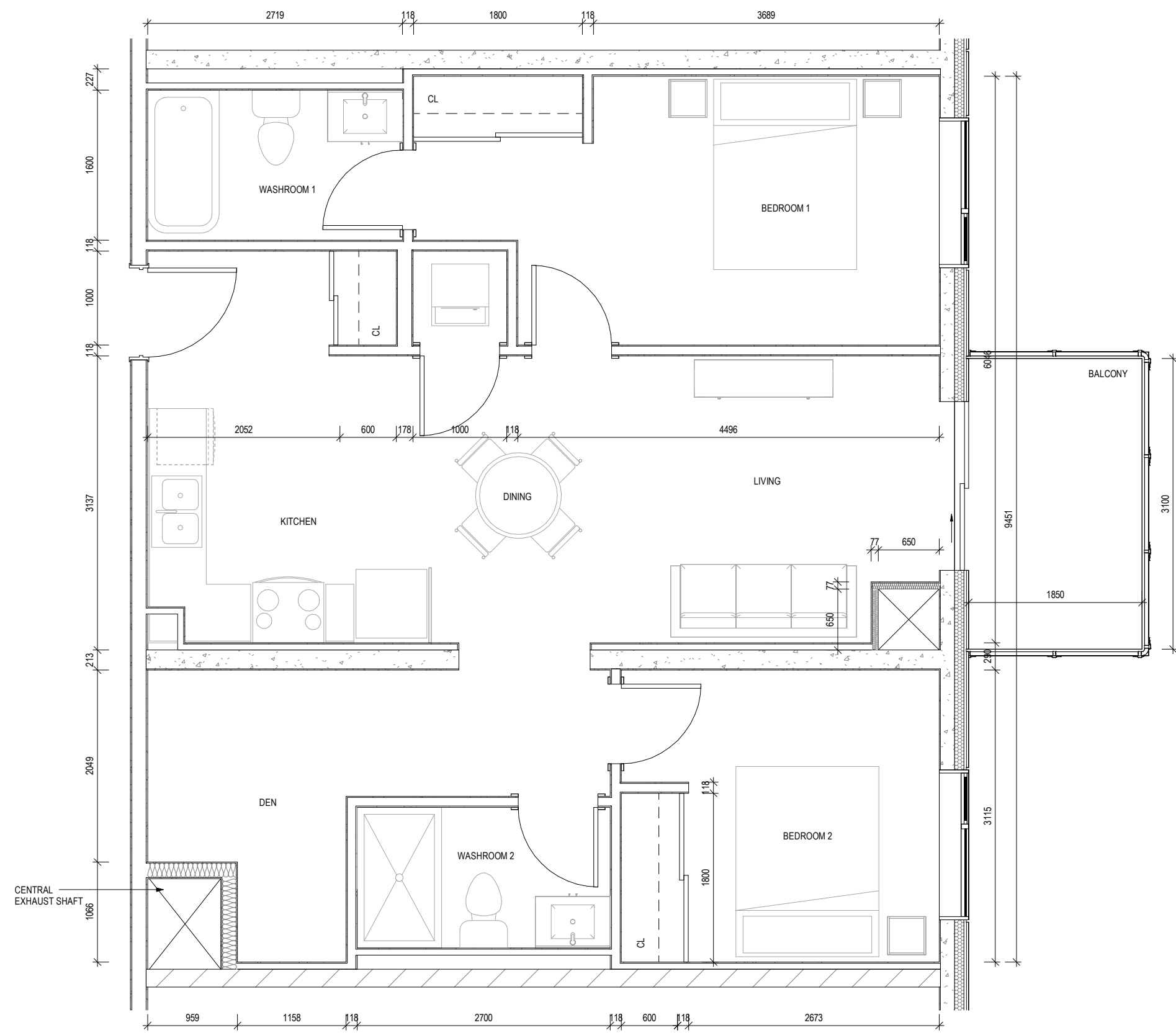
2 BEDROOM + DEN B.F. (SUITE F) - RCP

1:50

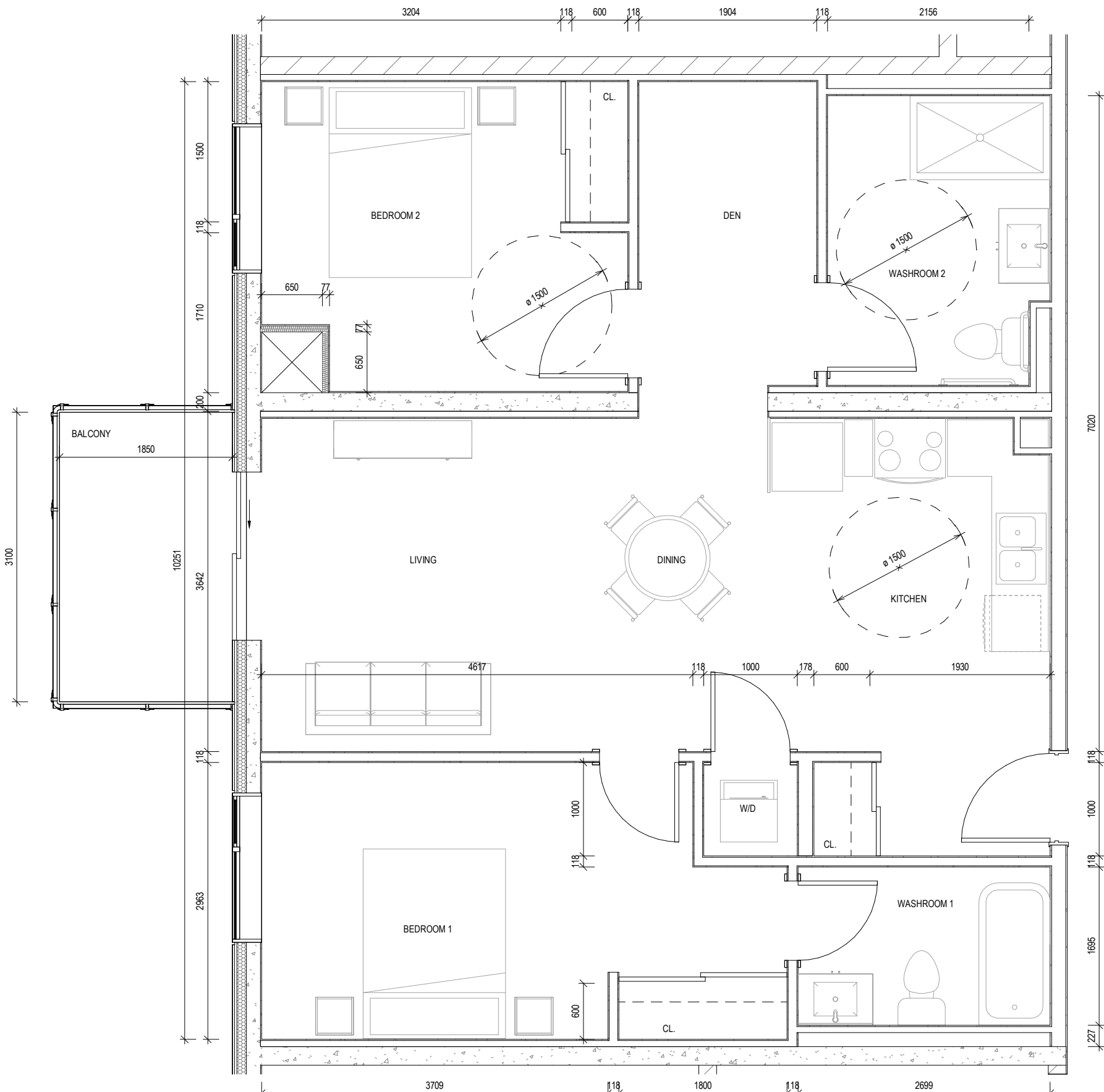


3RD - 8TH FLOORS

1:350



2 BEDROOM + DEN UNIT (SUITE E)
(88m² / 949ft²)

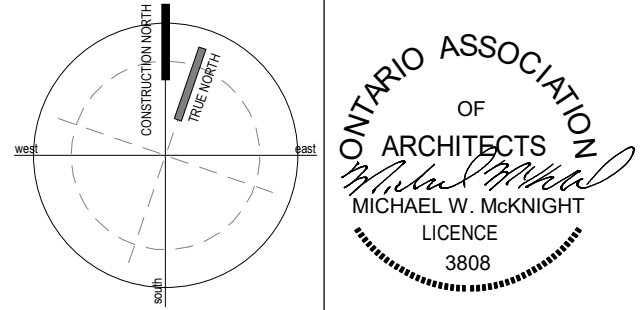


2 BEDROOM + DEN B.F. UNIT (SUITE F)
(95m² / 1,023ft²)

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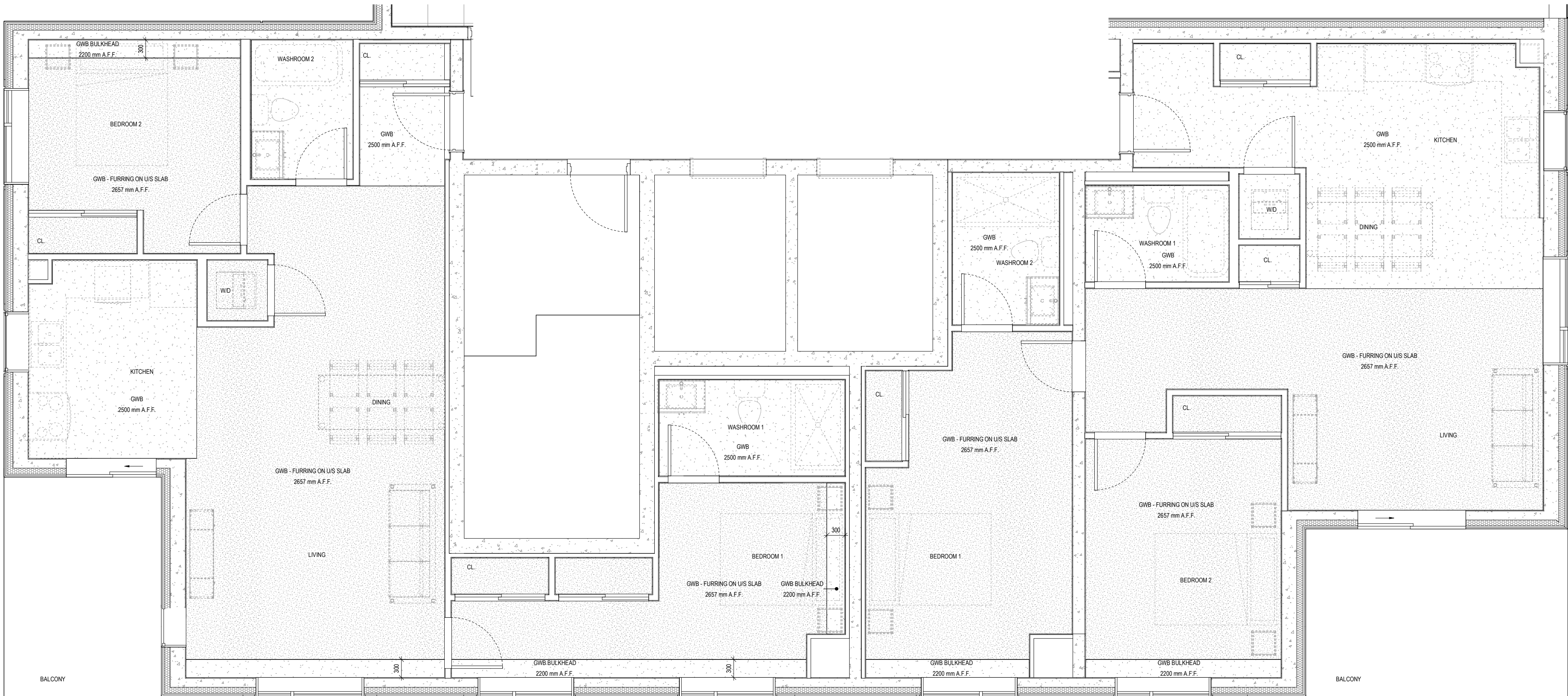
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UNIT PLANS

PROJECT NAME:
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INNISFIL**
946, 950 INNISFIL BEACH RD, INNISFIL, ON

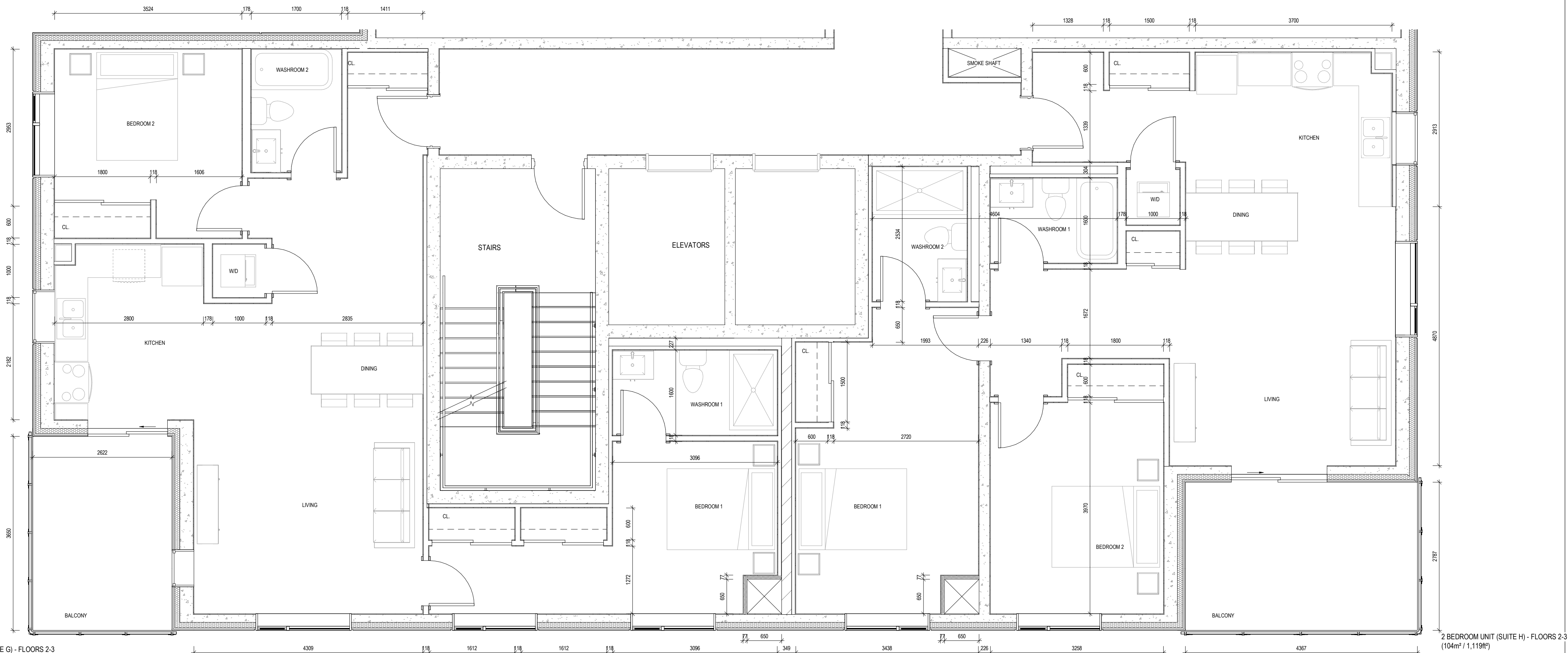
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DRAWN BY:	LR				
SCALE:	As indicated				



2 BEDROOM - 2nd & 3rd FLOORS (SUITES G & H) - RCP

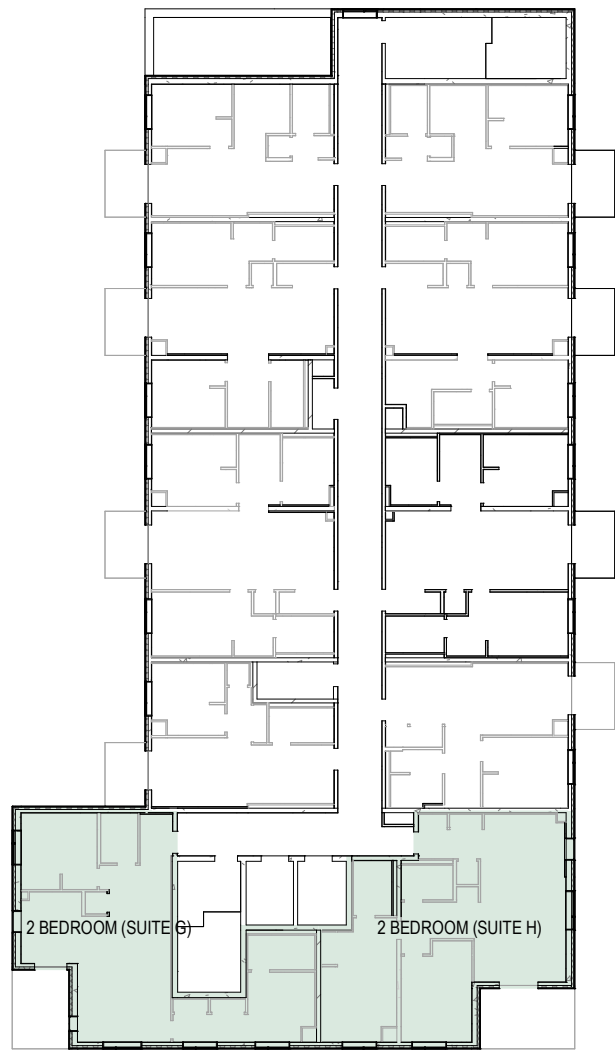
MECHANICAL ENGINEER TO CONFIRM
BULKHEADS' LOCATIONS AND SIZES.

1: 50



2 BEDROOM UNIT (SUITE G) - FLOORS 2-3
(101m² / 1,091ft²)

2 BEDROOM UNIT (SUITE H) - FLOORS 2-3
(104m² / 1,119ft²)



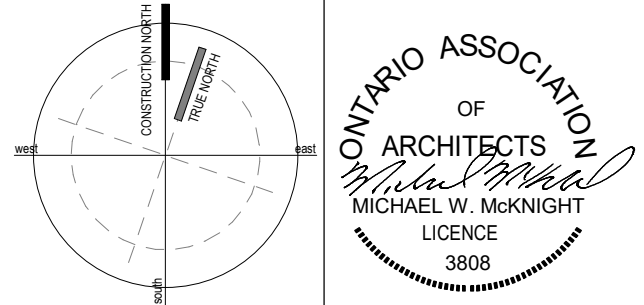
2nd AND 3rd FLOORS

1: 350

NO.	ISSUES/REVISIONS	DATE
4	SITE PLAN APPLICATION RESPONSE	2024 12 03
3	SITE PLAN APPLICATION RESPONSE	2024 05 27
2	SITE PLAN APPLICATION RESPONSE	2023 05 28
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PROJECT NAME:
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946, 950 INNISFIL BEACH RD, INNISFIL, ON

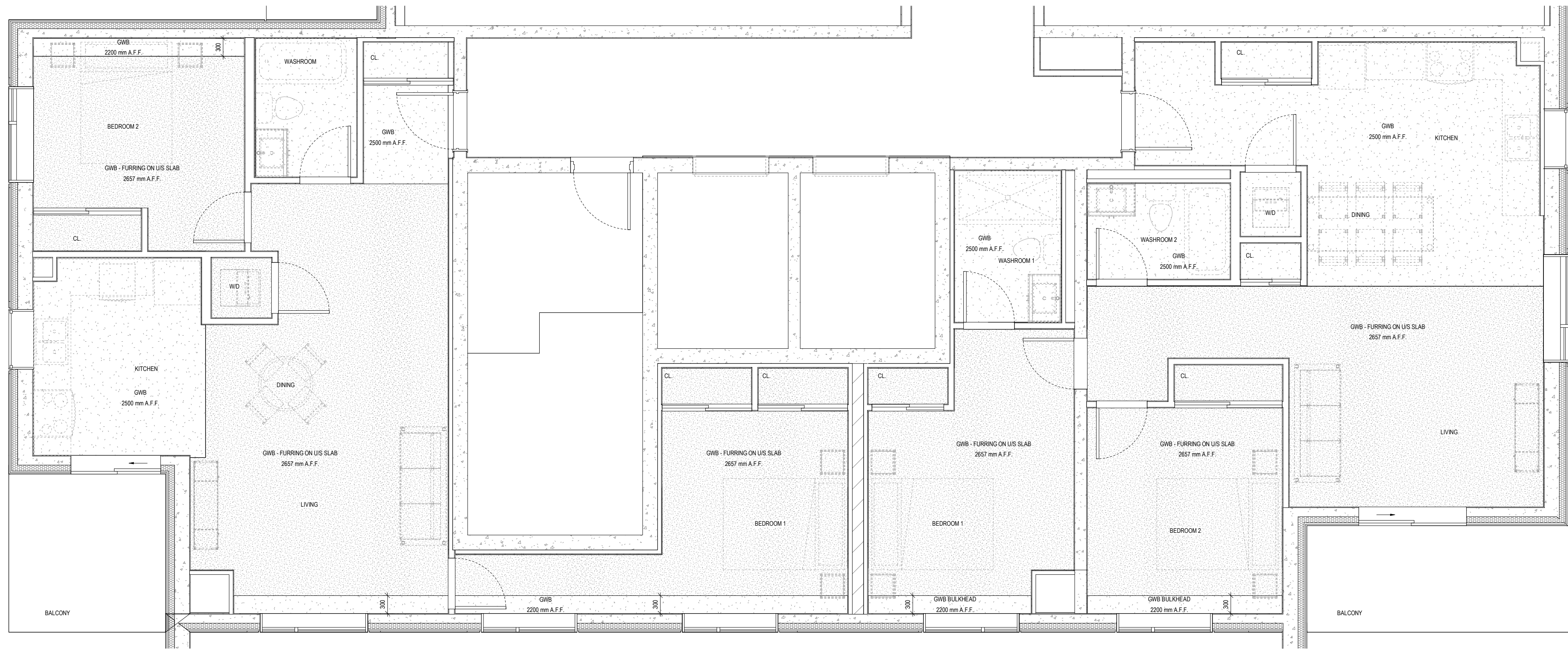
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DRAWN BY:	LR			A5.4
SCALE:	As indicated			

1

A5.4

2 BEDROOM - 2nd & 3rd FLOORS (SUITES G & H)

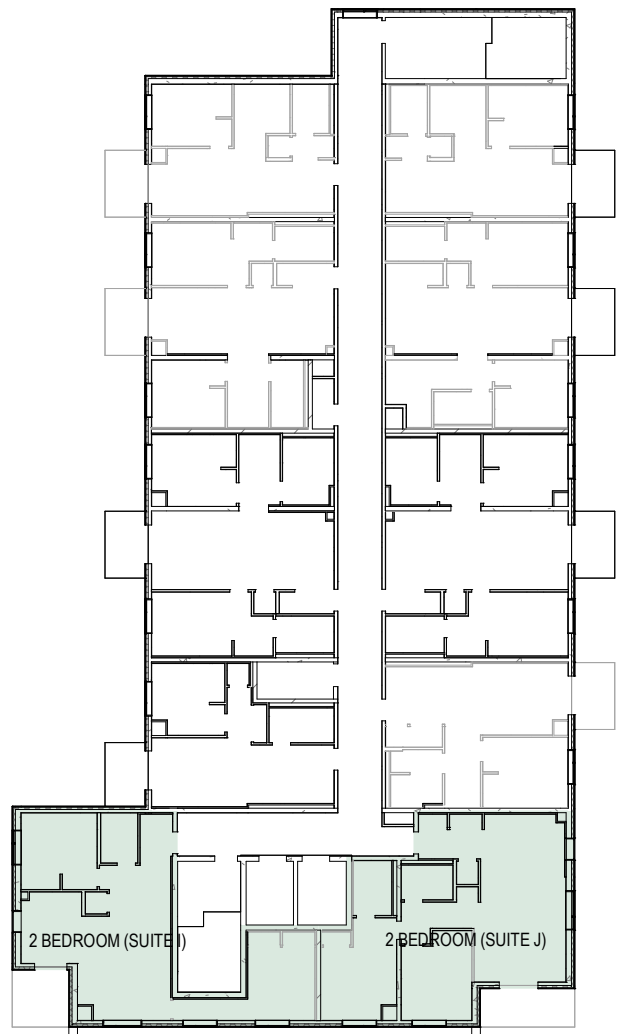
1: 50



2 BEDROOM - TYPICAL FLOORS (SUITES I & J) - RCP

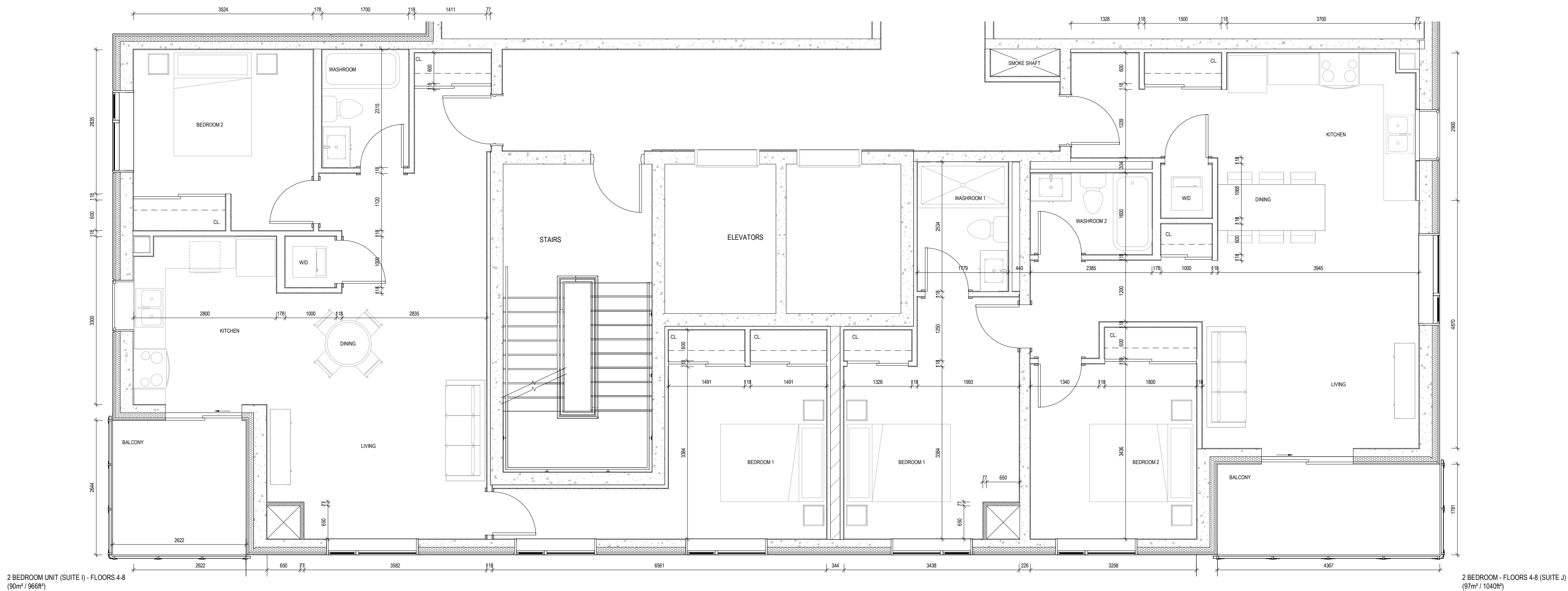
1 : 50

MECHANICAL ENGINEER TO CONFIRM
BULKHEADS LOCATIONS AND SIZES.



3RD - 8TH FLOORS

1 : 350



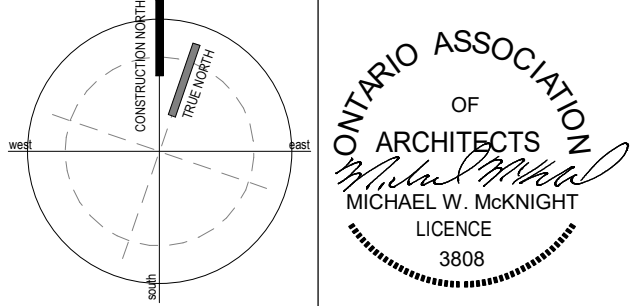
2 BEDROOM UNIT (SUITE I) - FLOORS 4-8
(90m² / 966ft²)

2 BEDROOM - FLOORS 4-8 (SUITE J)
(97m² / 1040ft²)

4	SITE PLAN APPLICATION RESPONSE	2024 12 03
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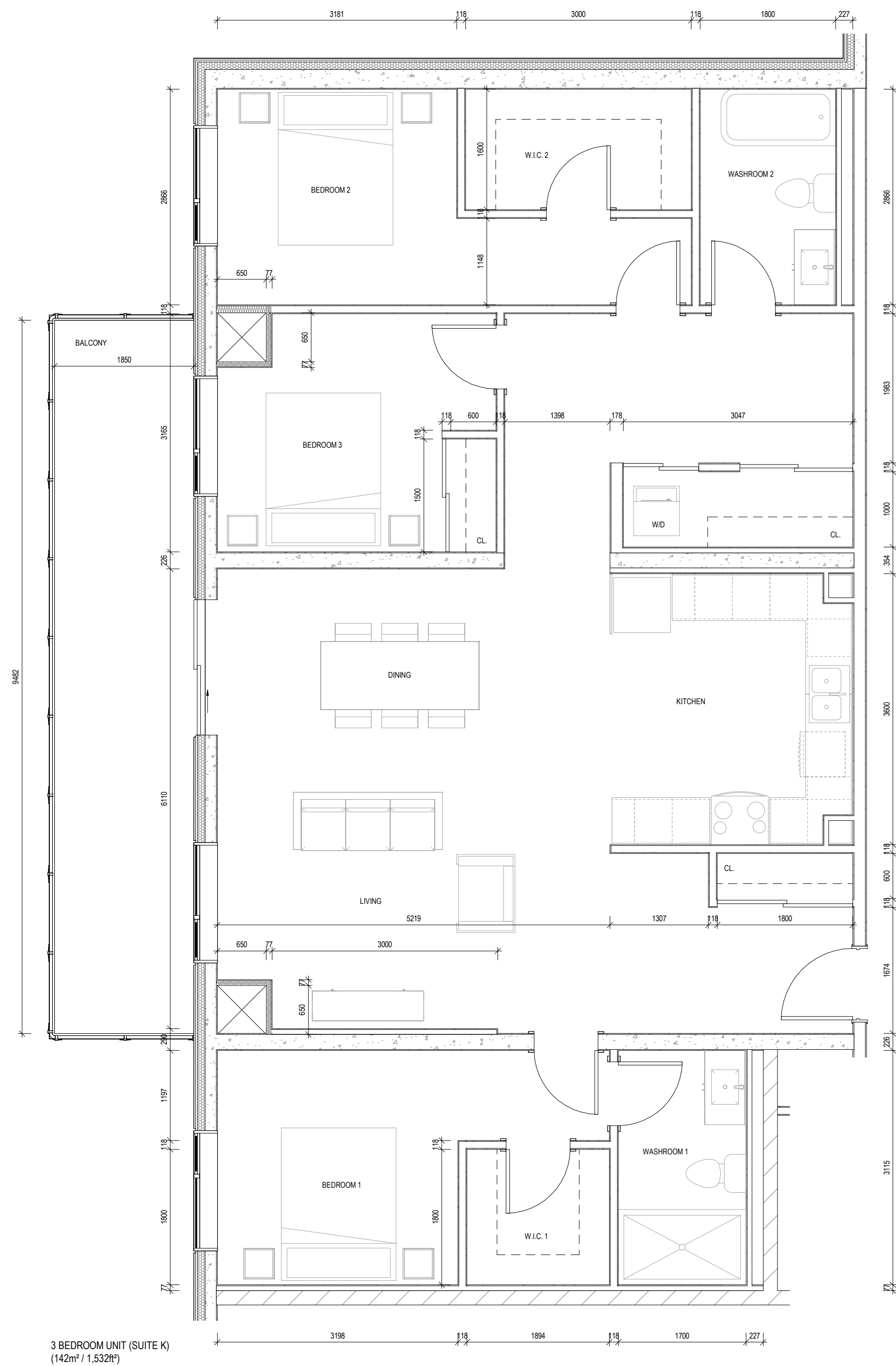
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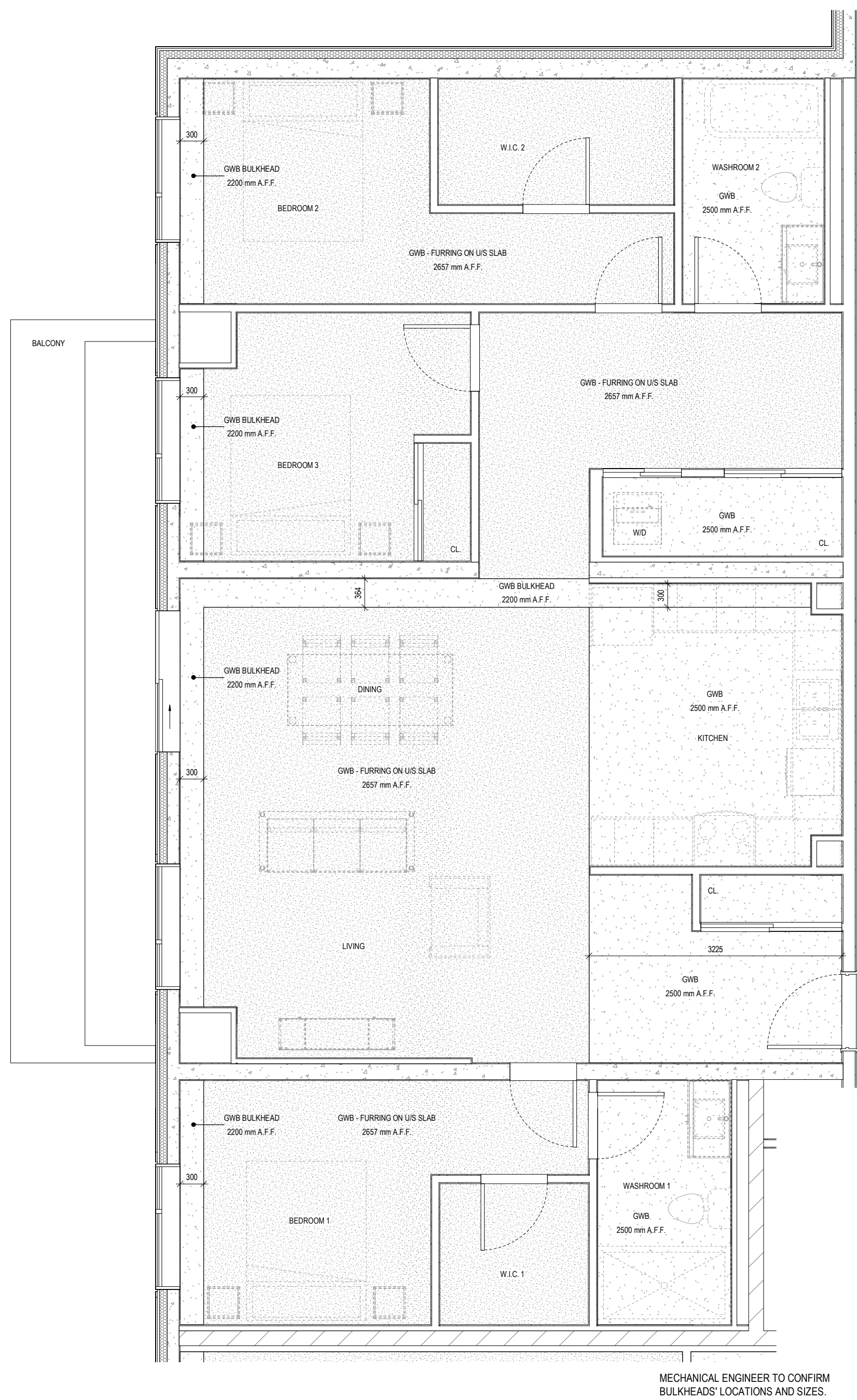
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INNISFIL**
946, 950 INNISFIL BEACH RD, INNISFIL, ON

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SCALE:	As indicated			



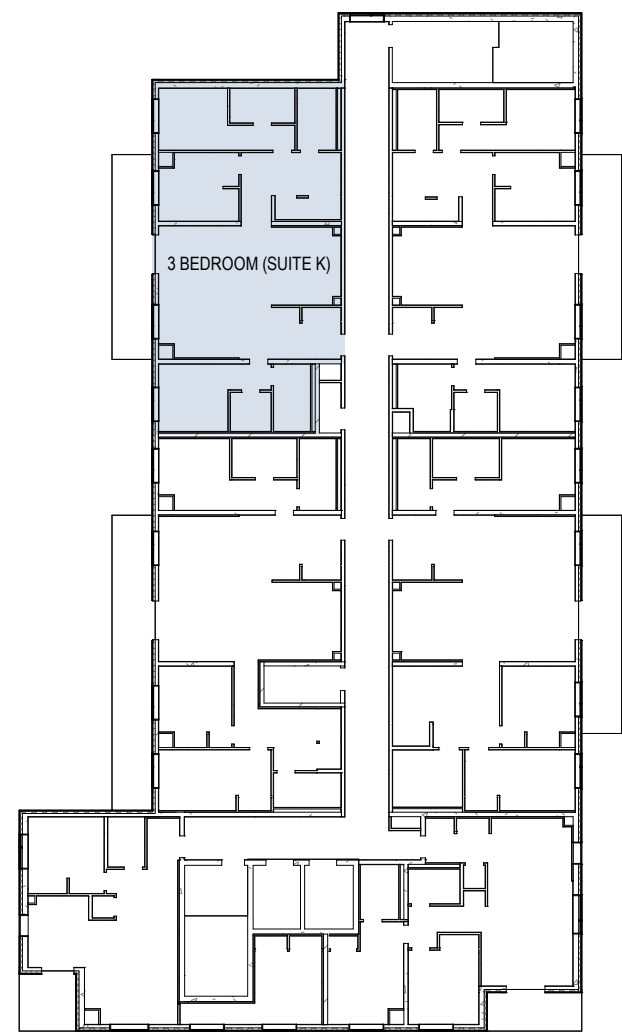
3 BEDROOM UNIT (SUITE K)
(142m² / 1,532ft²)

1
A5.6 3 BEDROOM (SUITE K)
1 : 50



MECHANICAL ENGINEER TO CONFIRM
BULKHEADS' LOCATIONS AND SIZES.

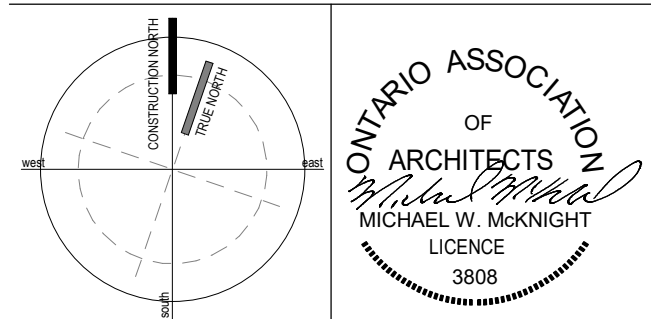
3 BEDROOM (SUITE K) - RCP
1 : 50



EIGHTH FLOOR
1 : 350

4	SITE PLAN APPLICATION RESPONSE	2024 12 03

ISSUES/REVISIONS		
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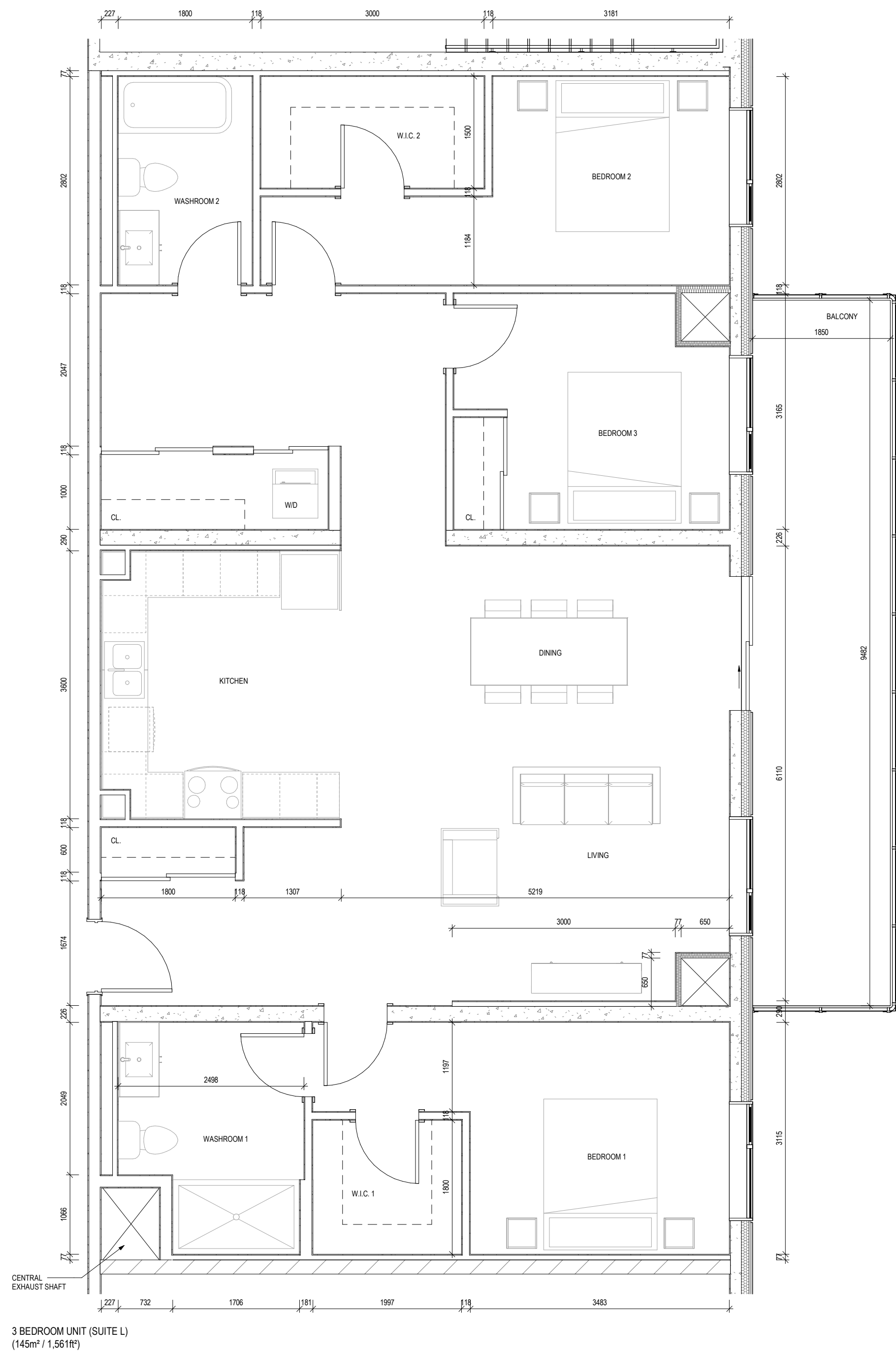
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PROJECT NAME:
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INNISFIL**
946, 950 INNISFIL BEACH RD, INNISFIL, ON

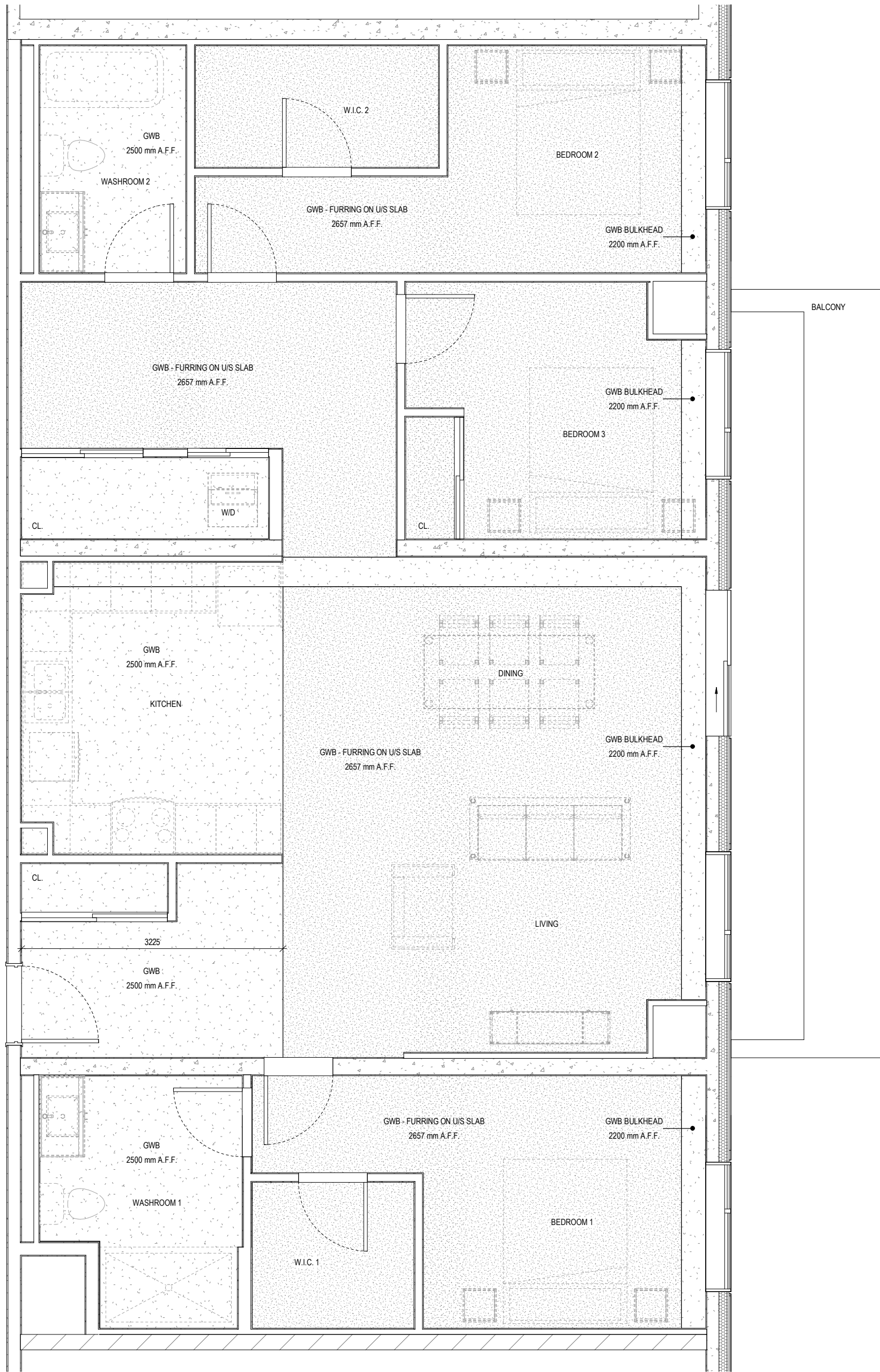
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SCALE:	As indicated				

A5.6

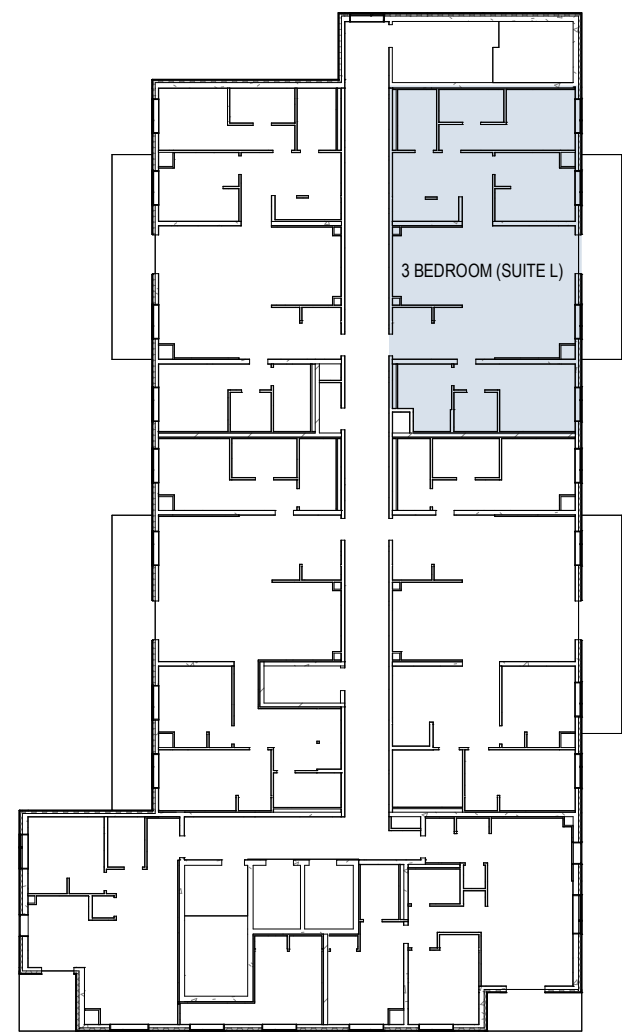


3 BEDROOM UNIT (SUITE L)
(145m² / 1,561ft²)

2
A5.7 3 BEDROOM (SUITE L)
1 : 50



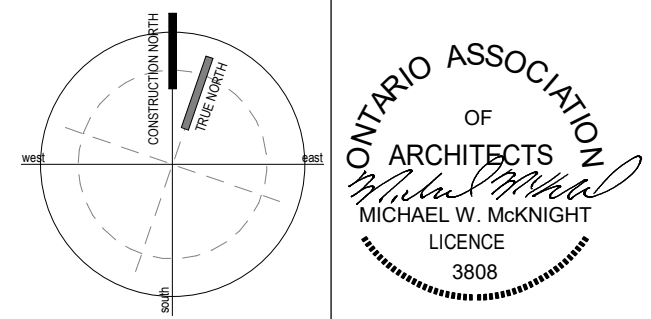
3 BEDROOM (SUITE L) - RCP
1 : 50



EIGHTH FLOOR
1 : 350

4	SITE PLAN APPLICATION RESPONSE	2024 12 03

ISSUES/REVISIONS		
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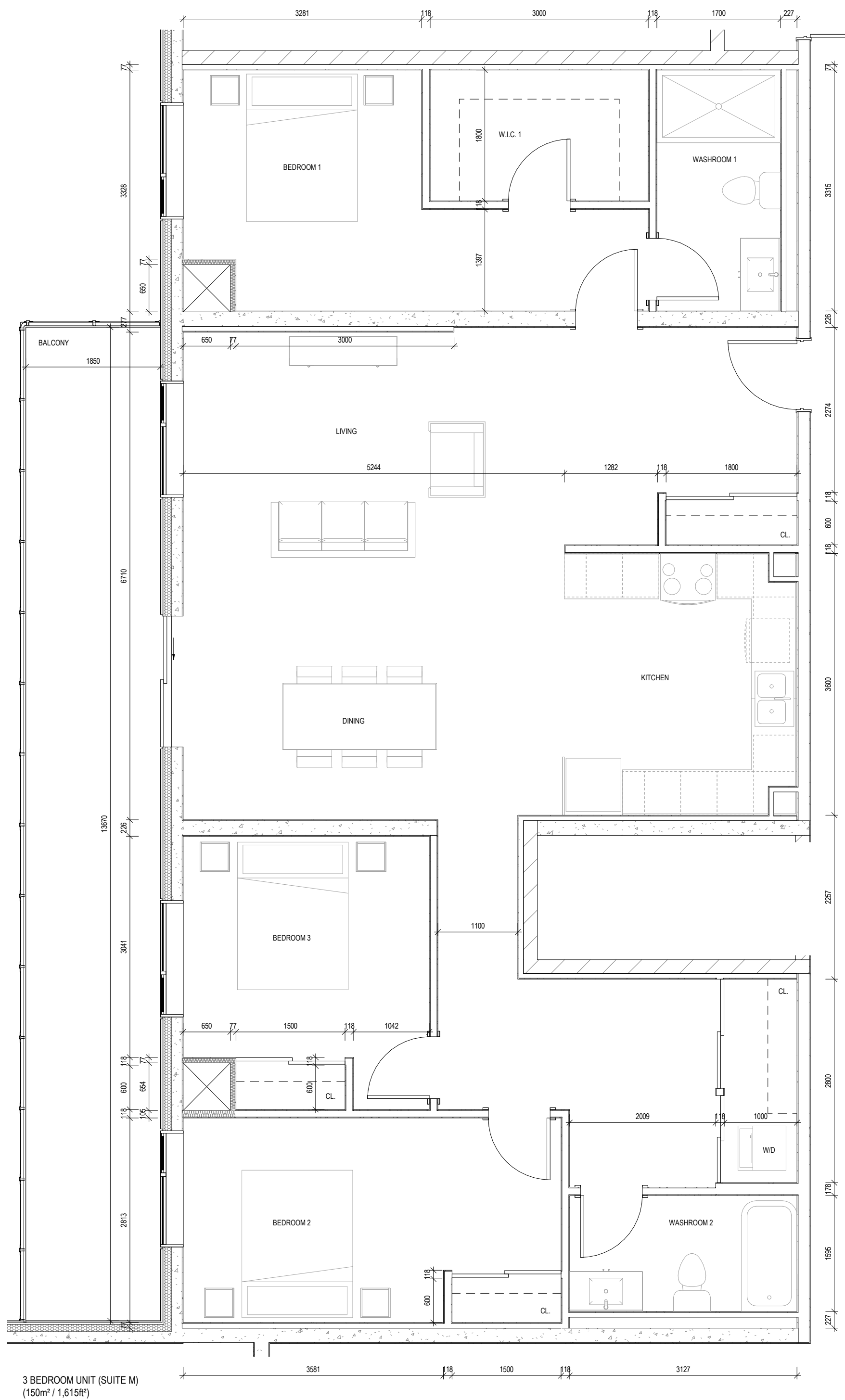
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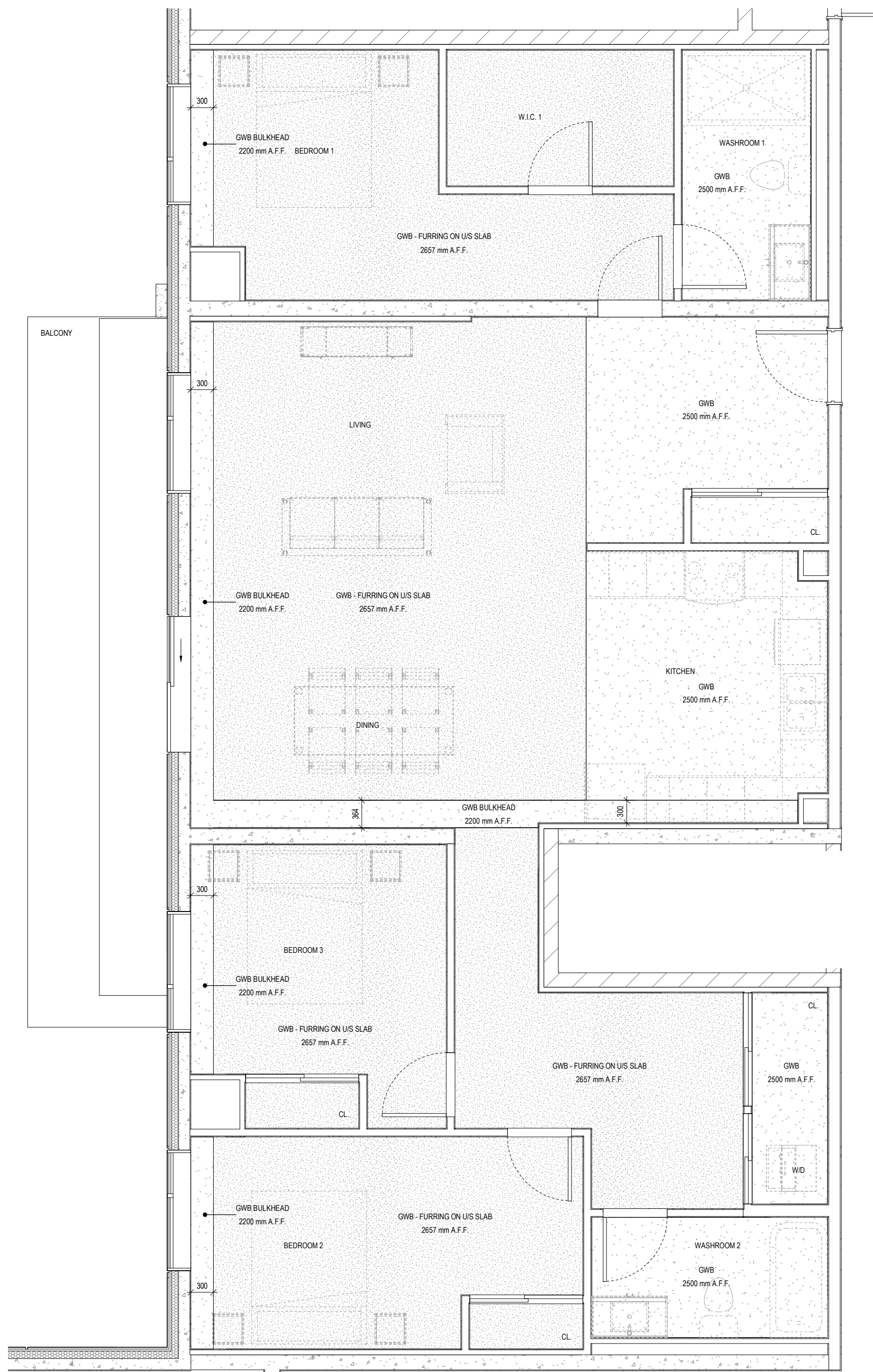
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8 STOREY CONDOMINIUM - INNISFIL
946, 950 INNISFIL BEACH RD, INNISFIL, ON

DATE: December 03, 2024	PROJECT # 22-1114	SHEET #
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SCALE: As indicated		



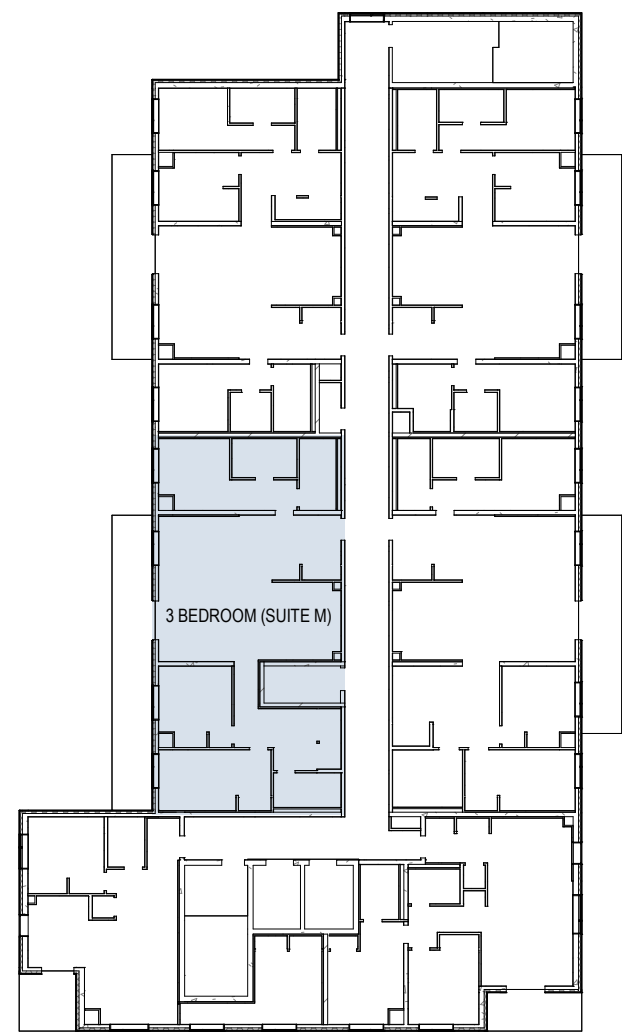
1
A5.8

3 BEDROOM (SUITE M)
1 : 50



3 BEDROOM (SUITE M) - RCP
1 : 50

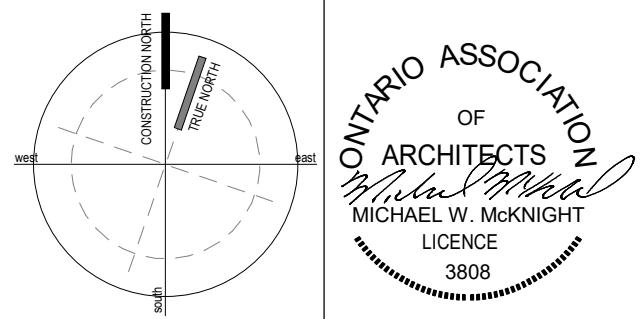
MECHANICAL ENGINEER TO CONFIRM
BULKHEADS' LOCATIONS AND SIZES.



EIGHTH FLOOR
1 : 350

4	SITE PLAN APPLICATION RESPONSE	2024 12 03

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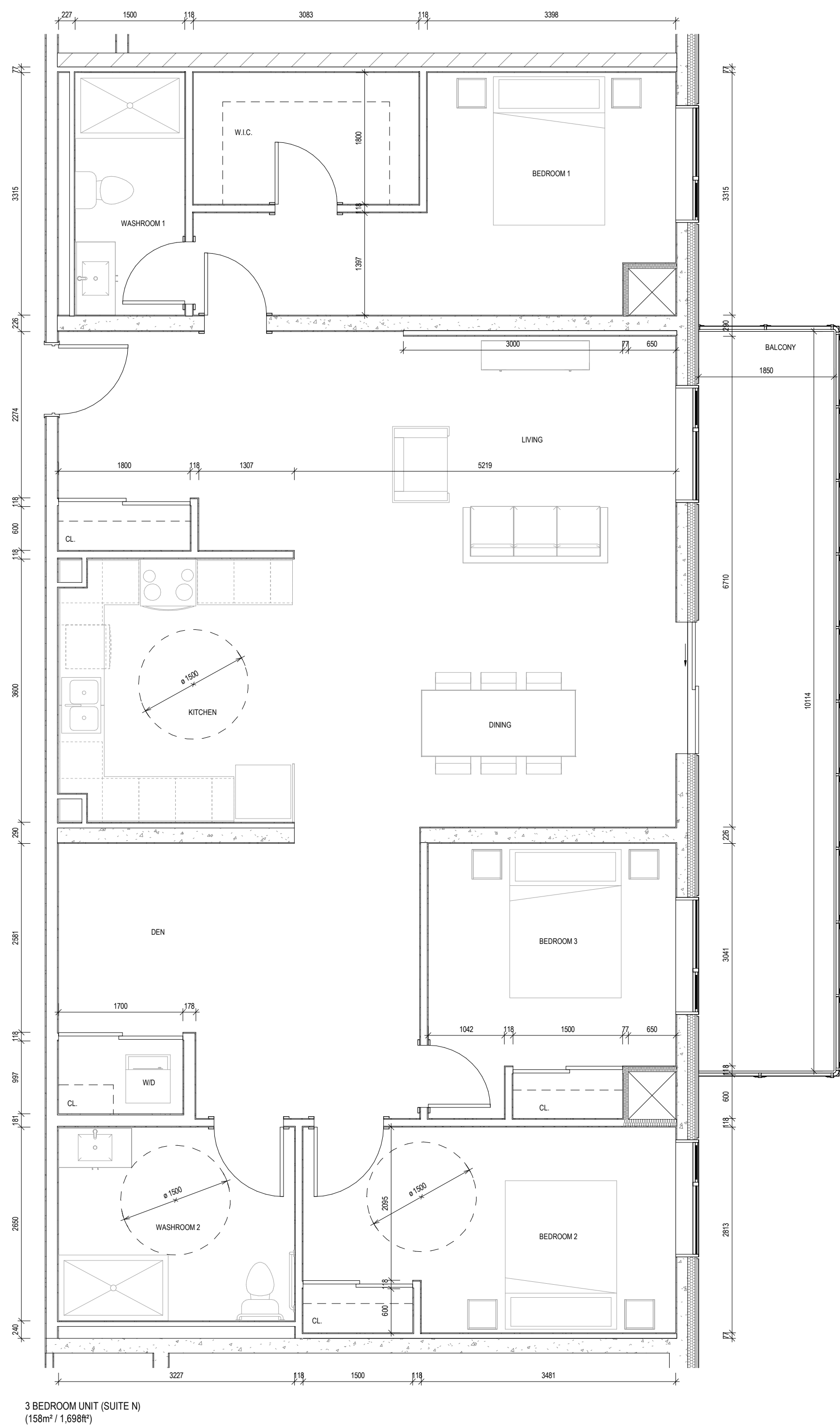
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DRAWING TITLE:
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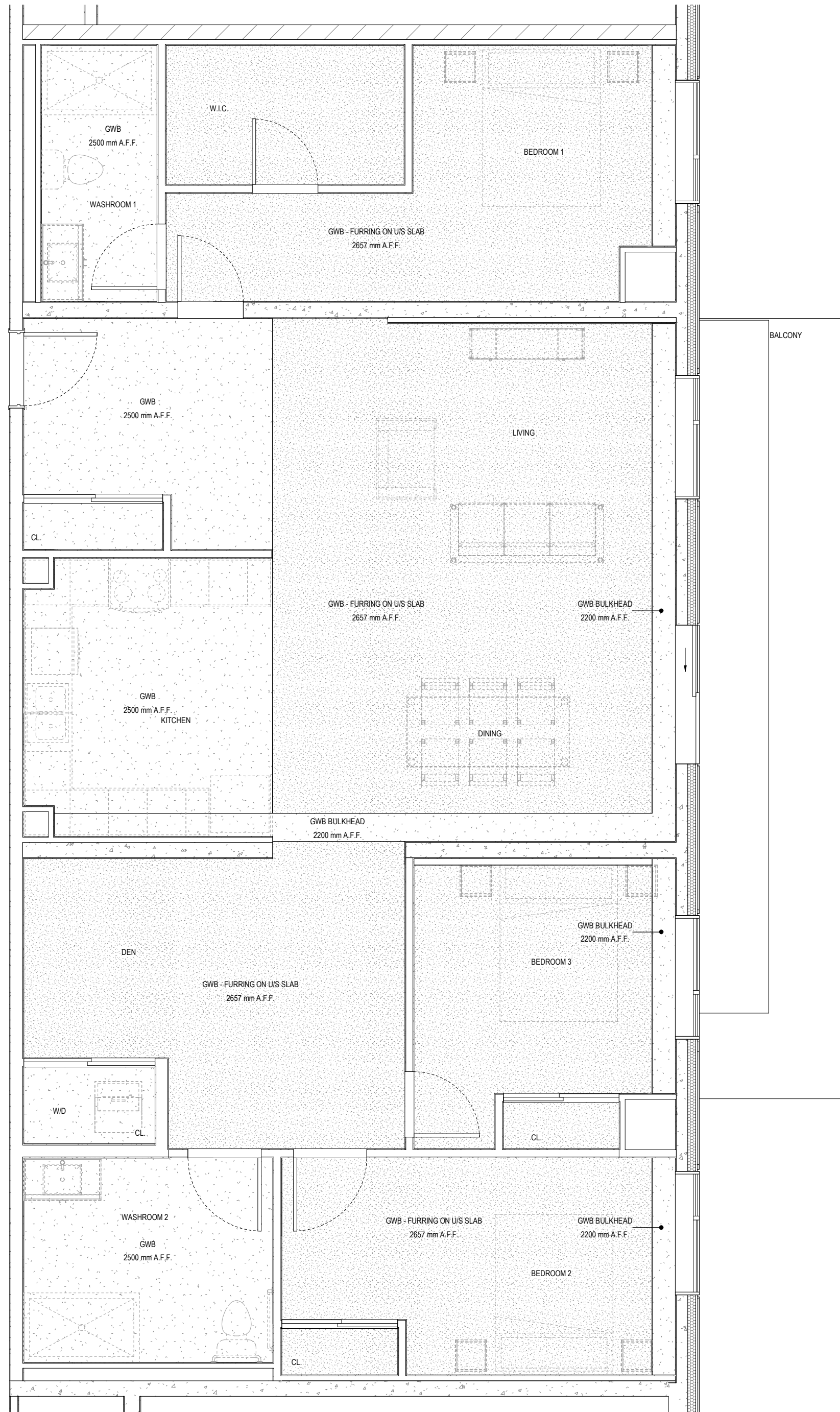
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946, 950 INNISFIL BEACH RD, INNISFIL, ON

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A5.8

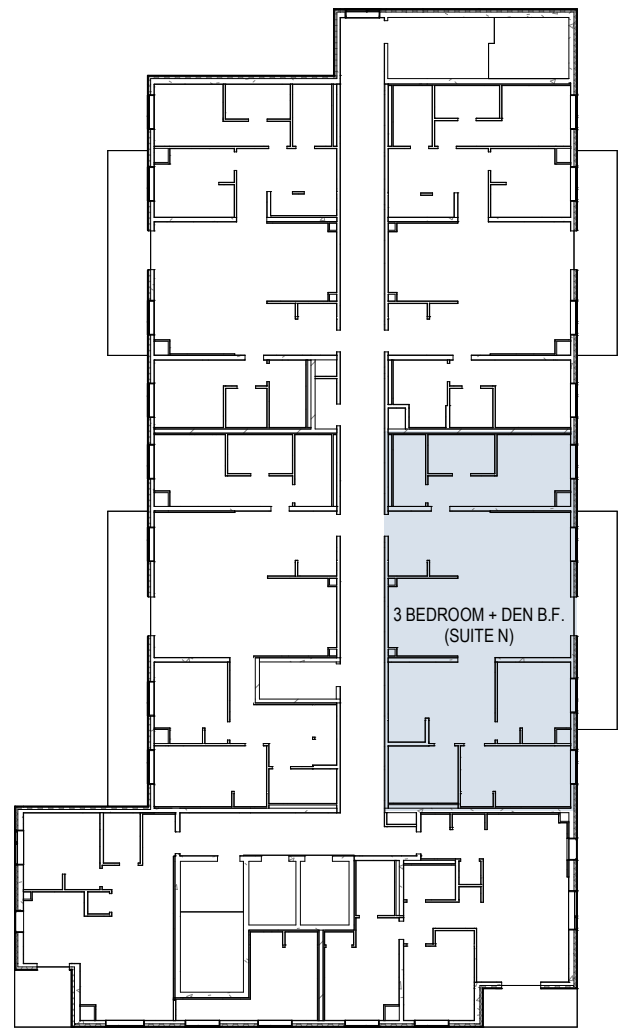


1 3 BEDROOM + DEN B.F. (SUITE N)
A5.9 1 : 50



3 BEDROOM + DEN B.F. (SUITE N) - RCP
1 : 50

MECHANICAL ENGINEER TO CONFIRM
BULKHEADS' LOCATIONS AND SIZES.

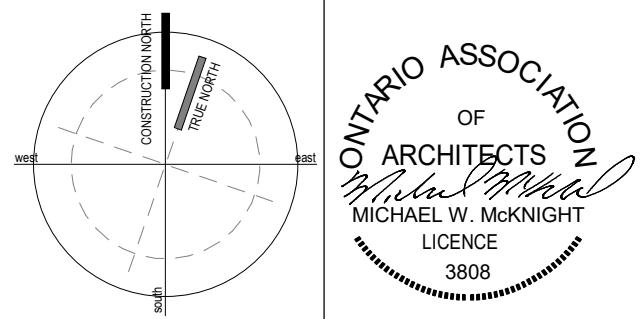


EIGHTH FLOOR
1 : 350

4	SITE PLAN APPLICATION RESPONSE	2024 12 03

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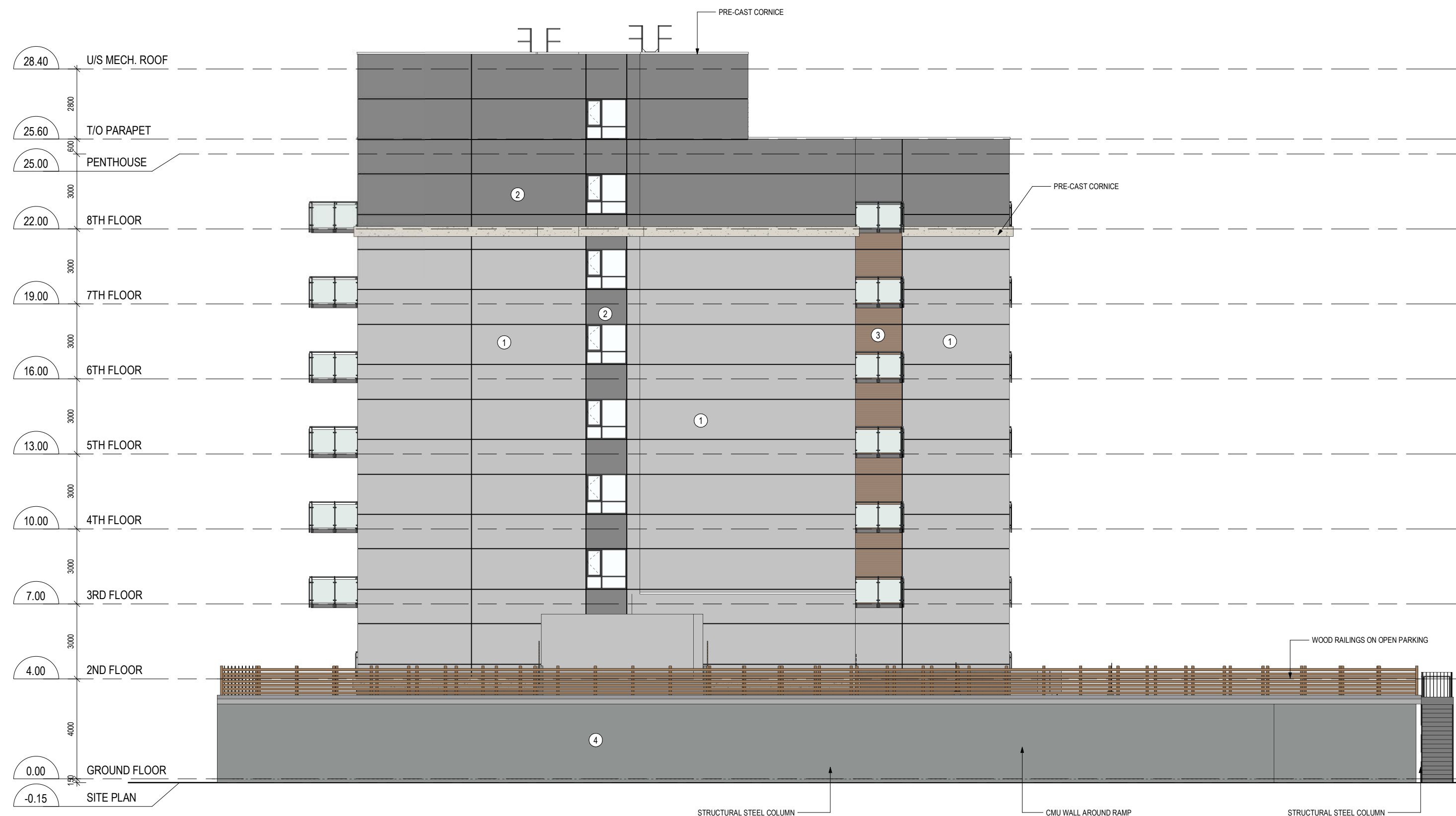
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PROJECT NAME:
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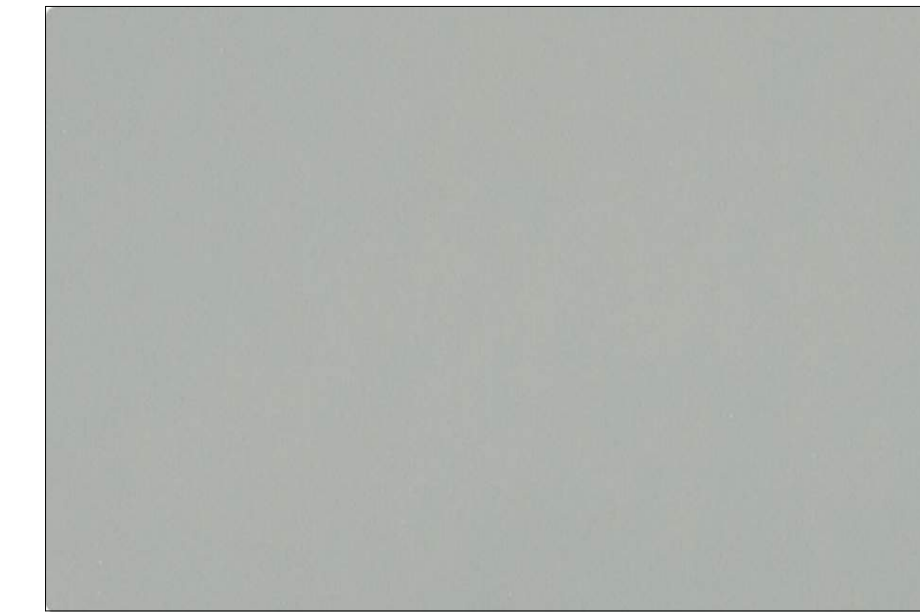


1
A6.1 SOUTH ELEVATION - FRONT
1 : 150



2
A6.1 NORTH ELEVATION
1 : 150

1 ACM PANEL 1



ALCOTEX - MOUSE GREY

2 ACM PANEL 2



ALCOTEX - METALLIC MEDIUM GREY

3 SYNTHETIC WOOD PANEL



NORTEM - NORTHWOOD FLUTED PANEL - WALNUT

4 STONE VENEER



BRAMPTON BRICK - ECLIPSE SUAVE FINISH

4	SITE PLAN APPLICATION RESPONSE	2024 12 03
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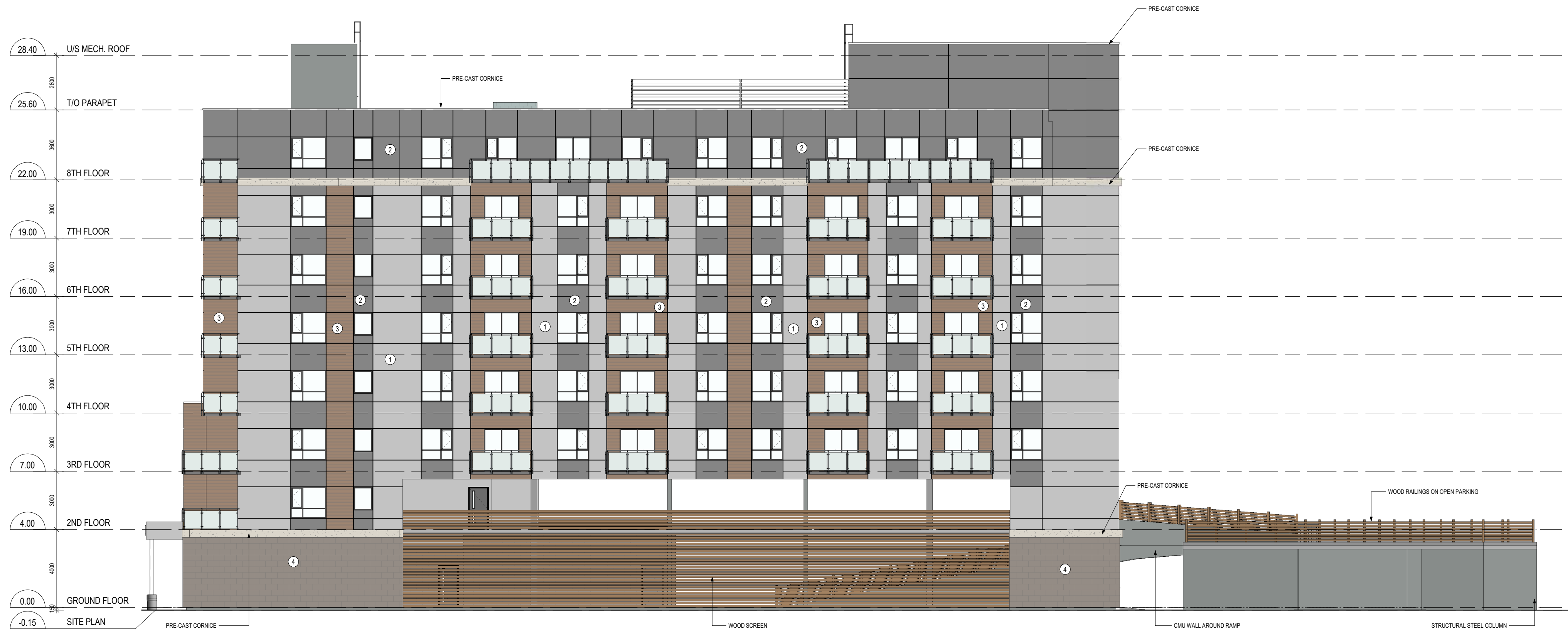
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ELEVATIONS

PROJECT NAME:
**8 STOREY CONDOMINIUM -
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DATE:	December 03, 2024	PROJECT #	22-1114	SHEET #
DRAWN BY:	LR			A6.1
SCALE:	As indicated			



1 WEST ELEVATION
A6.2 1 : 150



2 EAST ELEVATION
A6.2 1 : 150

1 ACM PANEL 1



ALCOTEX - MOUSE GREY

2 ACM PANEL 2



ALCOTEX - METALLIC MEDIUM GREY

3 SYNTHETIC WOOD PANEL



NORTEM - NORTHWOOD FLUTED PANEL - WALNUT

4 STONE VENEER



BRAMPTON BRICK - ECLIPSE SUAVE FINISH

NO.	DESCRIPTION	DATE
3	SITE PLAN APPLICATION RESPONSE	2024 05 27
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PROJECT NAME:
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946, 950 INNISFIL BEACH RD, INNISFIL, ON

DATE:	December 03, 2024	PROJECT #	22-1114	SHEET #	A6.2
DRAWN BY:	LR				
SCALE:	As indicated				



3	SITE PLAN APPLICATION RESPONSE	2024 05 27
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DRAWING TITLE:
RENDERINGS

PROJECT NAME:
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946, 950 INNISFIL BEACH RD, INNISFIL, ON

DATE:	December 03, 2024	PROJECT #	22-1114	SHEET #	A12.1
DRAWN BY:	LR				
SCALE:					



INNOVATIVE PLANNING SOLUTIONS

planners • project managers • land development

946-950 Innisfil Beach Road

Planning Justification Report

TOWN OF INNISFIL

APPLICATION FOR

COMMITTEE OF ADJUSTMENT – MINOR VARIANCE

PREPARED BY

INNOVATIVE PLANNING SOLUTIONS

647 Welham Road, Unit 9A

Barrie, ON

L4N 0B7

TEL: (705) 812-3281

FAX: (705) 812-3438

ON BEHALF OF

RYAN DECARIA-STOPAY & JOHN PAUL DECARIA-STOPAY

JUNE 2025

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2.0 SUBJECT LANDS & SURROUNDING LAND USES	4
3.0 PROPOSED DEVELOPMENT	10
4.0 MINOR VARIANCE ANALYSIS	13
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Appendix 2:	SITE PLAN DRAWING
Appendix 3:	CONCEPTUAL ELEVATION DRAWINGS

1.0 INTRODUCTION

Innovative Planning Solutions has been retained by Ryan Decaria-Stopay & John Paul Decaria-Stopay, to prepare a Planning Justification Report relative to a Minor Variance Application for lands municipally known as 946-950 Innisfil Beach Road in the Town of Innisfil.

The purpose of the subject application is to obtain Committee of Adjustment approval for Six (6) Minor Variances in order to permit the development of an 8 Storey, 58 residential unit & 195m² commercial space mixed-use building with associated parking structure and landscape areas. The requested variances for parking, building height including angular plane, rear and side yard setbacks, landscape buffer strip, and indoor amenity area are required in order to accommodate the proposed development as outlined further below.

2.0 SITE DESCRIPTION & SURROUNDING LAND USES

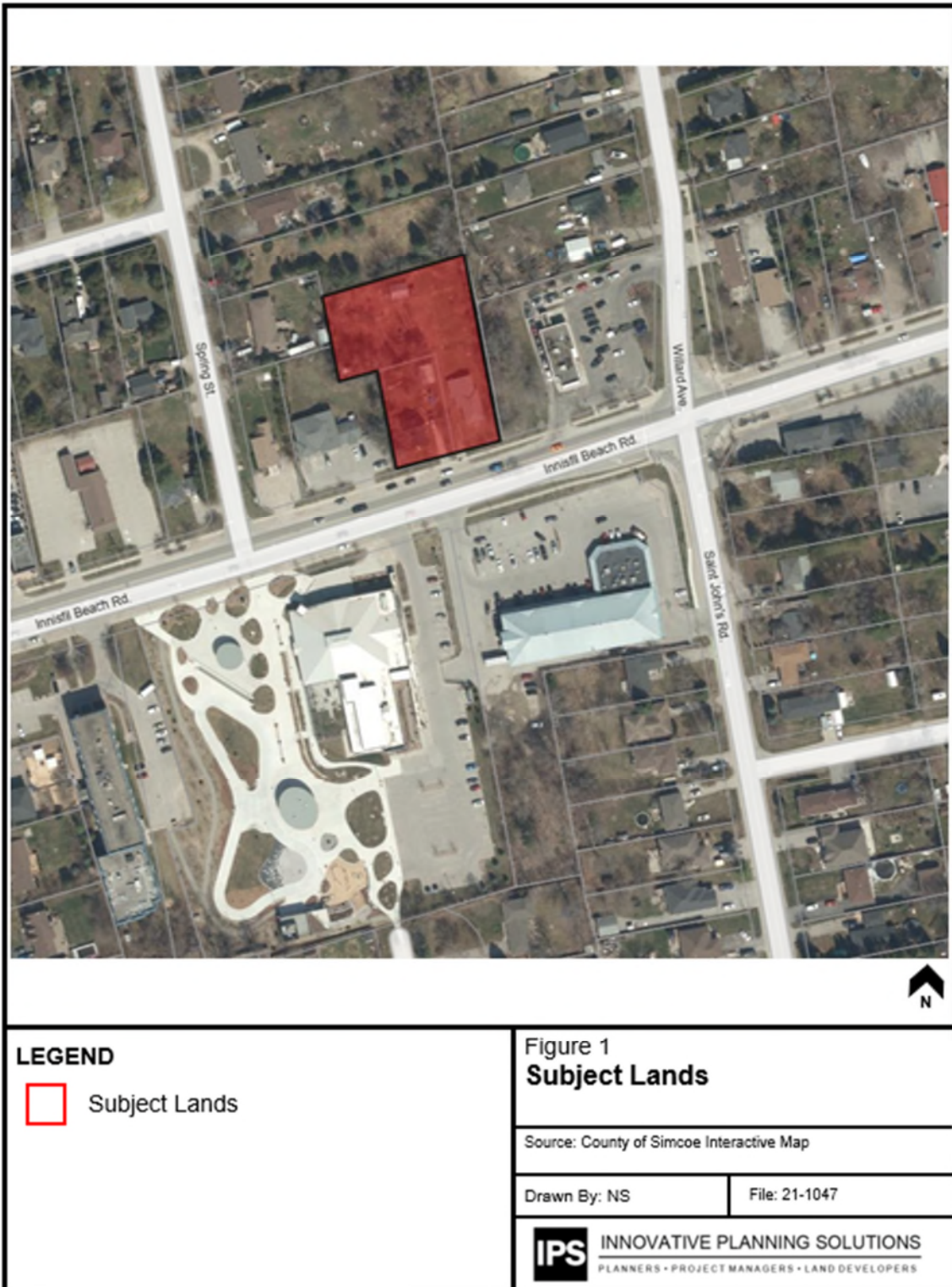
The Subject Lands ('lands') are located at 946-950 Innisfil Beach Road (IBR) in the Town of Innisfil. The lands have an area of approximately 3,896m² with 44.46m of frontage along IBR (Arterial road classification) (**Figure 1**). The properties currently contain one (1) single detached dwelling, accessory sheds and vegetation along property borders on each property. Both 946 & 950 IBR will be merged in title to form one parcel of land to facilitate the proposed development. A copy of the legal survey is provided in **Appendix 1**.

The lands contain two designations, the majority are currently designated 'Downtown Commercial Area' abutting Innisfil Beach Road and 'Residential Low Density 1' at the rear of the Subject Lands under Schedule B1 (Land Use: Alcona) in the Town's Official Plan (**Figure 2**) The entire Subject Lands are zoned 'Mixed Use 2 (MU2)' under the Town's Zoning By-law (**Figure 3**). The front portion of the subject site is located within the Lake Simcoe Region Conservation Authority (LSRCA) boundary and is subject to LSRCA regulations.

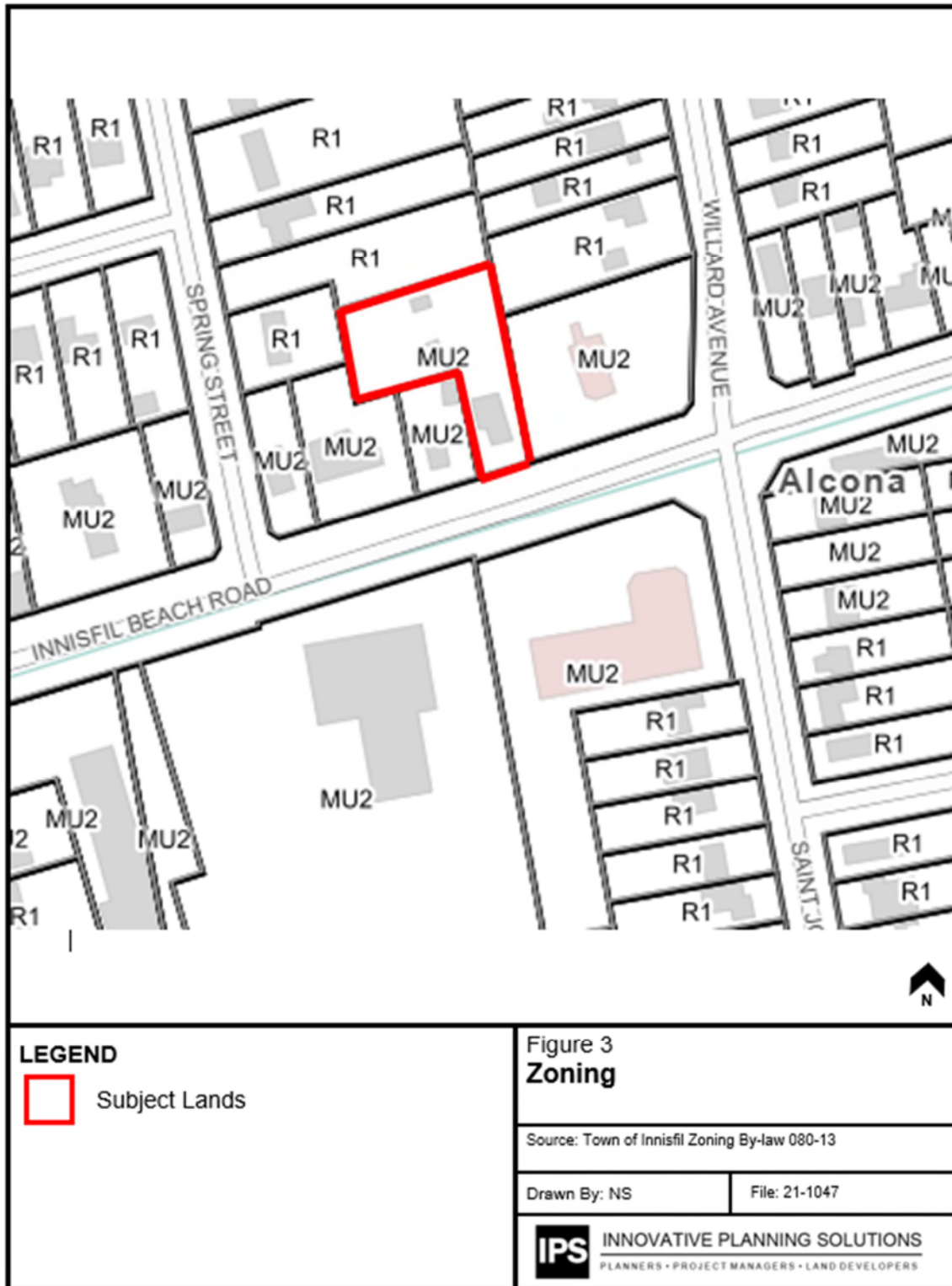
The lands are ideally positioned along the north side of IBR central to downtown Alcona, offering a variety of employment opportunities, commercial amenities, public services, and recreational open spaces. The site is also a short walk to Innisfil Beach Park and approximately 15 minutes from Highway 400 and the commercial/industrial areas abutting the Highway.

Uses in the surrounding area are shown in **Figure 4**, and include:

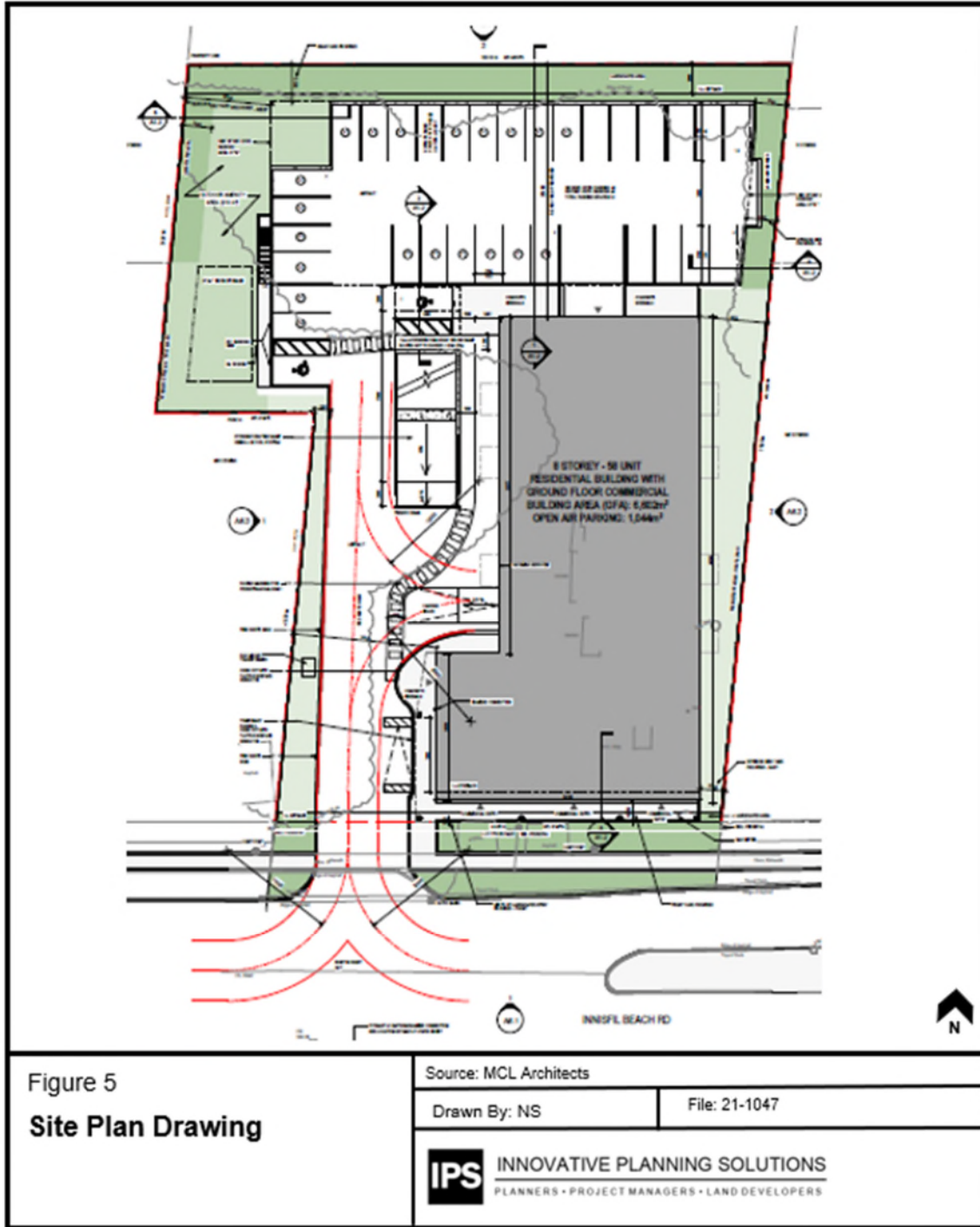
- North:** Lands designated 'Residential Low Density 1, consisting of Single detached dwellings and accessory structures.
- East:** Lands designated 'Downtown Commercial Area' and 'Residential low Density 1' consisting of Commercial uses and amenities along with Single Detached Dwellings.
- South:** Lands designated 'Downtown Commercial Area' and 'Residential low Density 1' consisting of Commercial/institutional uses and amenities along with Single Detached Dwellings further south.
- West:** Lands designated 'Downtown Commercial Area' and 'Residential low Density 1' consisting of Commercial uses and amenities along with Single Detached Dwellings.











3.0 PROPOSED DEVELOPMENT

The proposed Minor Variance application is intended to accommodate the development of an 8 Storey, 58 residential unit & 195 m² commercial space mixed-use building with associated parking structure and landscape areas on the Subject Lands. A copy of the Site Plan is included in **Appendix 2** of this report and conceptual elevation drawings are included in **Appendix 3**. Prior to development occurring, all structures will be demolished, and the two existing parcels will be merged into a single parcel of land.

The proposed common element condominium mixed-use development will provide a single vehicular access from IBR by way of an internal drive aisle which provides access to a two (2) level parking structure at the rear of the property. Parking is also provided within the building located on the ground & second floor and accessed at the rear. Residential, commercial and visitor parking is provided along with Barrier Free spaces. The 195 m² commercial space consisting of 3 commercial units is strategically located at the front of the building facing IBR accessible by a pedestrian walkway while pedestrian access to the residential lobby is provided along the west facing wall slightly behind the commercial space. The 58 residential units occupy floors three (3) to eight (8) in a one (1) to two (2) bedroom unit configuration. The proposal provides an outdoor common amenity area of 310 m², located in the northwest corner of the site. Landscape buffer strips border the site along the west, north, and east property lines to provide vegetative buffering in combination with fencing.

The proposal provides a total of ninety (90) parking spaces, fifteen (15) of which are visitor spaces, five (5) for commercial parking, including two (2) Type 'A' & two (2) Type 'B' barrier-free spaces. The two (2) level open air parking structure located at the rear of the property along with parking within the building on the ground floor and second floor provide convenient and accessible parking for the proposed development. Existing municipal infrastructure is available to service the proposed development including water, sanitary, and storm sewer. Garbage containment is located within the building.

The development proposal has been submitted for Site Plan Control and is currently finalizing the 4th submission to the Town and applicable commenting agencies for review.

A review of the proposed development against the Zoning By-law and current MU2 zone standards has been completed. Table 1 below identifies the various zoning provisions and how the development complies. The development will comply with all zoning provisions except for Six (6), highlighted below. Provisions highlighted in yellow are subject to this proposed Minor Variance application.

Table 1. Zoning Requirement Analysis Table

MIXED-USE 2 (MU2) Zone		
Provision	Required	Provided
Lot Area (min.)	1000m ²	3,896 m ²
Lot Frontage (min.)	15m	44.46m
Building frontage (min.)	<30m min. 60% >30m min. 50%	26.2m
Front Yard (min.) Front Yard (max.)	1m 4m	1.9m
Side yard (min.) East	0m or 7.5m with 45 degree angular plane abutting R1 zone	3.0m from parking structure and within 45 degree angular plane (49 degrees provided) from R1 zoned property (2124 Willard Avenue) 2.3m from mixed use building abutting MU2 zoned property, not subject to 45 degree angular plane
Side Yard (min.) West	0m or 7.5m with 45 degree angular plane abutting R1 zone	8.6m from parking structure, not within 45 degree angular plane 14.4m from mixed use building abutting MU2

		zoned property, not subject to 45 degree angular plane
Rear Yard Setback (min.)	7.5m with 45 degree angular plane	<p>3.7m from parking structure and within 45 degree angular plane (48.8 degrees provided)</p> <p>25.18m from mixed use building and within 45 degree angular plane (45.8 degrees provided)</p>
Landscaped Open Space (min.)	N/A	31% of lot area
Landscape strip (min.) front yard	1 – 4m	0.2m
Landscape strip (min.) rear yard	3m	3m
Landscape strip (min.) side yards	0m	1.6m west 2.1m east
Lot Coverage (max.)	N/A	27%
Floor area per residential unit (min.)	47m ²	+47m ²
Building Height	<p>7.5m (min.)</p> <p>24m (max.) for mixed use</p> <p>Subject to 45 degree angular plane</p>	25.4m within 45 degree angular plane (45.8 degrees provided)
Density (max.)	N/A	158 UPH
Amenity Area (total min.) Outdoor Amenity Area (min.) Indoor Amenity Area (min.)	<p>4m² per residential unit = 232m²</p> <p>2m² per residential unit = 116m²</p> <p>2m² per residential unit = 116m²</p>	<p>310m² (outdoor amenity) + 424m² (balconies)</p> <p>0 m² indoor amenity</p>

Parking (min.) Commercial & Residential	1 space per 40m ² of commercial leasable area = (195m ²) 5 spaces 1.5 spaces per residential unit = (58 units) 87 spaces Total required parking = 92 spaces	5 commercial spaces 85 residential spaces Total parking = 90 spaces
Barrier Free Parking (min.)	2 Type 'A' B.F. spaces 2 Type 'B' B.F. spaces 4 total B.F. spaces	2 Type 'A' B.F. spaces 2 Type 'B' B.F. spaces 4 total B.F. spaces
Visitor Parking (min.)	0.25 per residential unit, included within residential parking total = 15 spaces	15 visitor spaces

4.0 MINOR VARIANCE ANALYSIS

The Committee of Adjustment, under Section 45(1) of the Planning Act, may authorize a Minor Variance from the provisions of the Zoning By-law, subject to the following considerations, known as the four tests:

1. The variance maintains the general intent and purpose of the Official Plan;
2. The variance maintains the general intent and purpose of the Zoning By-law;
3. The variance is desirable for the development and use of the land; and,
4. The variance is minor in nature

In accordance with Section 45(1) of the Act, the subject application has been reviewed against the four tests with an analysis provided below, specifically as it relates to the following requested variances:

1. Side yard setback and angular plane from R1 zone (east side yard) – Section: Table 5.2.b.C
2. Rear yard setback and angular plane – Section: Table 5.2.b.E
3. Building height maximum – Section: Table 5.2.b.F
4. Front landscape strip – Section: Table 5.2.b.
5. Indoor amenity space – Section: Table 5.2.b.Note 6
6. Residential parking space – Section: 3.35.1.1.d

4.1 Does the variance maintain the general intent and purpose of the Town of Innisfil Official Plan?

The subject lands are located within a Primary Settlement Area (Alcona) as per section 9.2 and designated 'Downtown Commercial Area' in the Town of Innisfil's Official Plan ('The Plan'). Primary Settlement Area – "Particular focus shall be given to creating and maintaining vibrant public spaces in the Downtown Commercial Area with a strong pedestrian and built form connection between the Downtown and Innisfil Beach Park along Innisfil Beach Road". Although a small area at the rear of the property is designated 'Residential Low Density 1' and does not contain the mixed-use building within this designation, this report will focus on the 'Downtown Commercial Area' designation of the Official Plan relative to the proposed development and requested minor variances. Within the Downtown Commercial Area designation mixed-use buildings are permitted and promote commercial uses on the ground floor areas fronting IBR and residential uses above. In addition, The Plan encourages infill and intensification and will be directed to the delineated Built-up Areas of Alcona and focused in Strategic Growth Areas. The requested variances are noted below with rational based on the proposal aligning with the general intent and purpose of the Town's Official Plan.

No.	Variance Requested	Rational Based on Proposal
1	Side yard setback and angular plane from R1 zone (east side yard) – Section: Table 5.2.b.C	As outlined in section 11.1.9 of the OP, 45 degree angular planes provide a gradual transition between Mixed Use buildings and low density residential. Similarly, setback provisions provide additional separation from property lines and structures. The proposed two (2) level parking structure is located within the angular plane when abutting a low density residential property, municipally known as 2124 Willard Avenue. The parking structure is constructed with open air which reduces building impacts to abutting lands while only being slightly within the 45 degree angular plane

		provision (49 degrees). The additional setback and angular plane requirements are only a result of mixed use properties abutting low density residential property thus, the only structure affecting this policy is the two (2) level parking structure. Section 11.1.10 of the OP contains policies for screening to residential uses. The two (2) level parking structure provides architectural features to screen vehicular headlines from abutting residential properties while allowing adequate space for additional vegetative screening. As proposed, the reduced side yard setback abutting low density residential lands and slight projection into the 45 degree angular plane along with architectural/vegetative features adhere to OP policies.
2	Rear yard setback and angular plane – Section: Table 5.2.b.E	Similarly to above, section 11.1.9, 11.1.18, & 11.2.7 of the OP identify policies that require transition from mixed use developments when abutting low density lands. Again the reduction in rear setback for the two (2) level parking structure is considered acceptable as architectural/vegetative features buffer the parking structure from residential lands. The 45 degree angular plane is only slightly impacted by the proposed height of the building (0.8 degrees) from the rear yard by the roof parapet and mechanical enclosure. As proposed, the development generally aligns with these policies.
3	Building height maximum – Section: Table 5.2.b.F	The proposed development aligns with section 11.2.6 of the OP, such that the proposed building is 8 storeys in height. The additional height request is to address the roof top parapet and mechanical structures. The proposed development provides adequate transition to low density residential lands and does not conflict with section 11.6.7 of the OP. As proposed, the development generally aligns with these policies and takes into account transitional provisions from low density residential lands while promoting intensification. See architectural drawing package for illustrations of the elevations and angular plane.
4	Front landscape strip – Section: Table 5.2.b.	The proposed building location, orientated close to IBR, minimizes the front yard landscape area. This allows convenient pedestrian connections in a pedestrian first design, that align with OP policies within sections 11.1.3, 11.1.12, 11.1.13, & 11.1.15. Additional front landscape features can be provided on the municipal boulevard to further enhance the front façade area.
5	Indoor amenity space – Section: Table 5.2.b.Note 6	Due to building design including commercial space and parking areas located within the building on the ground and second floors, indoor amenity space is not proposed for this development. This does not conflict with OP policies. It can be noted that the development provides increased outdoor amenity area and private balconies provide ample amenity space for residence.
6	Residential parking space – Section: 3.35.1.1.d	The reduction of residential parking request does not negatively affect OP policies within sections 11.1.23, 11.1.25, 11.1.29, & 11.1.30. The proposed parking areas are located away from streets and effectively screened from abutting lands while providing adequate residential parking for the proposed dwellings. The proposed parking reduction does not negatively impact OP policies and the general intent of the OP is maintained.

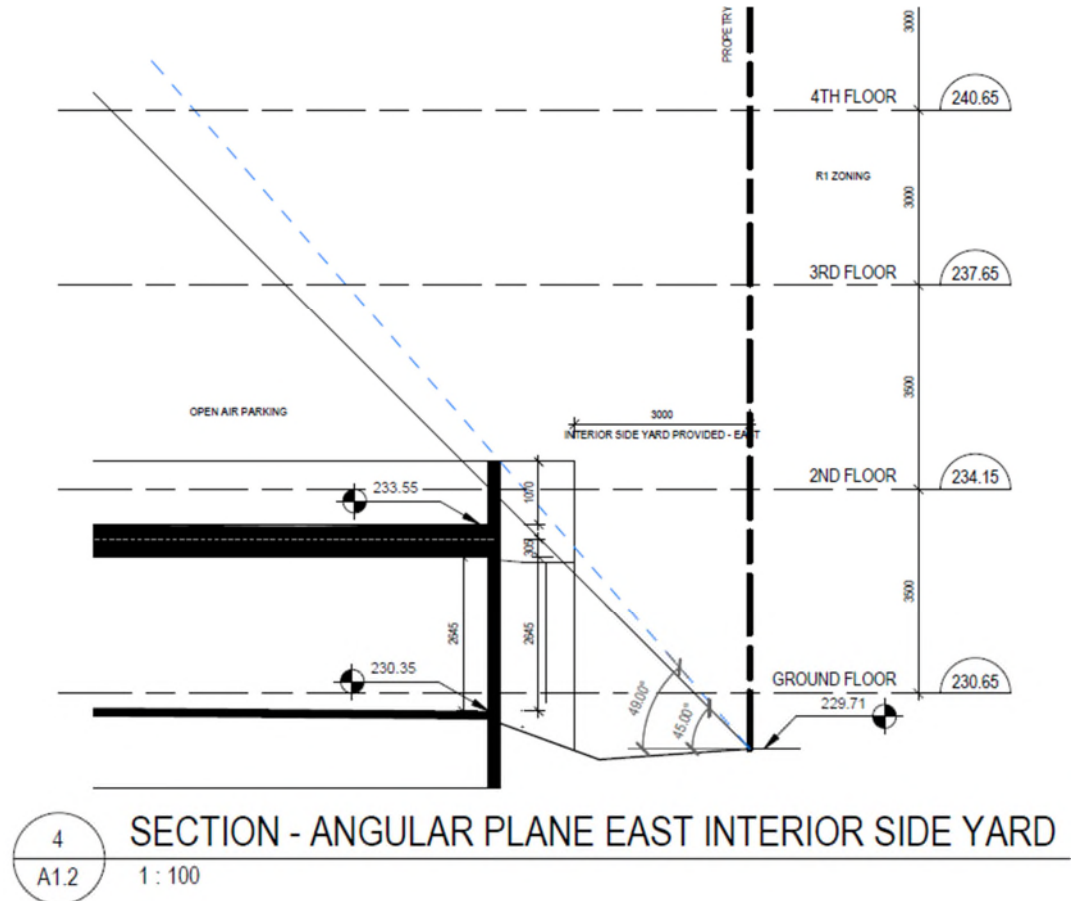
Based on the above, the requested variances are in keeping with the general intent and purpose of the Town's Official Plan.

4.2 Does the application conform to the general intent of the Town of Innisfil's Zoning By-Law?

The proposed development is located with the Mixed-Use Two zone classification within the Town of Innisfil's Zoning By-law 080-13. Within the MU2 zone, mixed-use buildings are listed as permitted uses. Aside from the requested six (6) Minor Variances, the proposed development meets all other requirements of the MU2 zone. The requested variances are noted below with rational based on the proposal aligning with the general intent and purpose of the Town's Zoning By-law.

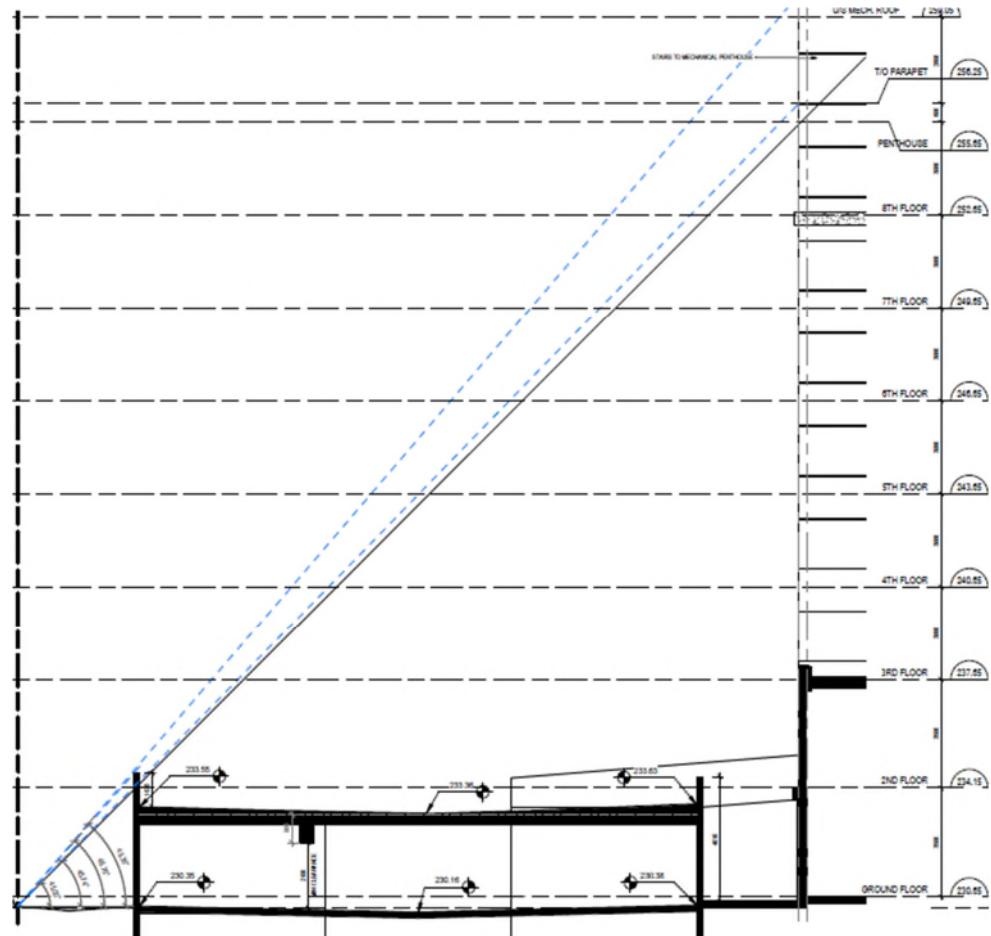
No.	Variance Requested	Rational Based on Proposal
1	Side yard setback and angular plane from R1 zone (east side yard) – Section: Table 5.2.b.C	<p>The Zoning By-law, in Table 5.2.b.C. for minimum interior side yard setback and angular plane, states: <i>0 m or 7.5 m and subject to the 45 degree angular plane (2) where the interior side yard abuts an R1 Zone.</i></p> <p>With respect to interior side yard setbacks for MU2 zones when abutting Residential One (R1) zones the above noted section of the zoning bylaw applies. For lots within a MU2 zone the 7.5m setback and angular plane are not required. The location of the proposed mixed-use building is abutting a MU2 zoned lot (east lot line) municipally know as 940 Innisfil Beach Road. Therefore the setback of the mixed use building does not conflict with the zoning provision. The property municipally known as 2124 Willard Avenue is zoned R1 and the zoning provision noted above would apply to the east property line abutting the two (2) level open air parking structure. The proposed east side yard setback abutting the R1 zone is 3 metres compared to a required 7.5 metre setback resulting in a variance of 4.5 metres. The 45 degree angular plane applies in addition to the side yard setback provision. The two (2) level, open air, parking structure is slightly within the 45 degree angular plane (49 degrees proposed) as illustrated within the architectural drawing package (image provided below). The purpose of the zoning provision is to provide separation distance from R1 zoned properties to structures and allow for buffering to occur in the form of fencing, vegetation, and or architectural features. The proposed upper level of the parking structure provides an architectural feature to buffer vehicular headlights from abutting properties. The second level of the parking structure does not propose a roof to minimize structural impacts to abutting lands which reduces overall height in the rear and side yards. An opaque fence in conjunction with vegetative buffering add to decrease visual obstructions and soften views from adjoining residential lots. The</p>

3 metre landscape strip provides ample area to allow for vegetative buffering to occur that will naturally buffer the parking structure from residential rear yard amenity areas. For these reasons, the proposed reduction of the interior side yard setback and angular plane abutting a R1 zone are in keeping with the general intent of the Zoning By-law.



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| <p>2 Rear yard setback and angular plane – Section: Table 5.2.b.E</p> | <p>The Zoning By-law, in Table 5.2.b.E. for minimum rear yard setback and angular plane, states: <i>7.5 m and subject to the 45 degree angular plane.</i></p> <p>Similar to the above requested variance for east side yard setback, the rear yard setback and angular plane are intended to provide a buffer from structures when abutting a R1 zone. The property municipally known as 2125 Spring Street is zoned R1 and abuts the entire rear yard of the Subject Lands. The requested rear yard variance applies only to the two (2) level open air parking structure proposed at 3.7 metres from the rear property line. Similar to above, the landscape strip of 3.7 metres allows for ample area for vegetive buffering along with an opaque fence. The second level architectural feature surrounding the perimeter of the parking structure further buffers vehicular headlights from impacting abutting properties. Due to the 3.7 metre setback, the parking structure does not impact the 45 degree angular plane however the architectural feature surrounding the perimeter of the parking structure encroaches into the 45 degree angular plane (48.8 degrees or 3.8 degrees difference), see below image. The 45 degree</p> |
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angular plane does intersect the mixed use building height resulting in a variance request to the 45 degree angular plane (45.8 degrees proposed). The angular plane intersects the mixed use building above the roof line. The resulting variance is due to the roof parapet height and mechanical structure used to buffer mechanical equipment from view. It can be noted that the mixed use building is located as close as possible to the front property line resulting in a large 25.18 metre rear yard setback. The proposed rear yard setback for the two (2) level open air parking structure and mixed use building, including buffering elements, abutting a R1 zone are in keeping with the general intent of the Zoning By-law.



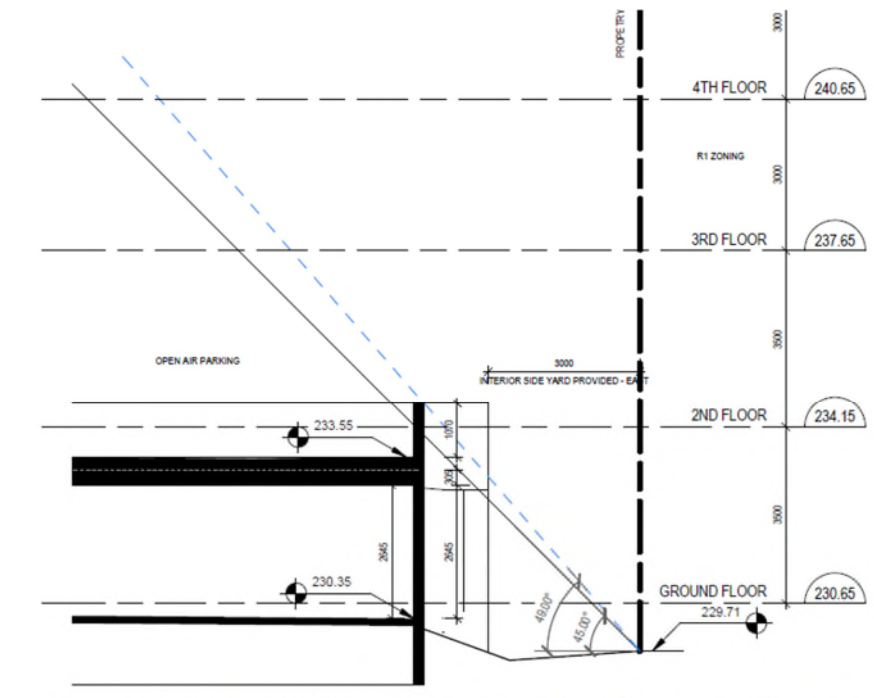
3 Building height maximum – Section: Table 5.2.b.F

The Zoning By-law, in Table 5.2.b.F. for maximum building height, states: *24 m for mixed use, and subject to the 45 degree angular plane*. This provision takes into account the 45 degree angular plane from the rear yard and limits the maximum height from average grade to the top of the parapet wall. The proposed maximum height of the mixed-use building is 25.4m, resulting in a 1.4m variance request for overall height. As noted above, the 45 degree angular plane from the rear yard is slightly impacted (0.8 degrees) and the roof top mechanical structures does not contribute towards maximum height as defined by the Zoning Bylaw. The increased height request is due to ground and second floor parking structure

		ceiling heights within the building to accommodate vehicular and mechanical features. Overall, the height of the building does not impact the intent of the Zoning Bylaw to permit mixed use buildings through a variance that accommodates design features for covered parking areas and increase ceiling heights for commercial uses on the ground floor area. For these reasons the intent of the Zoning Bylaw is satisfied.
4	Front landscape strip – Section: Table 5.2.b.	The Zoning By-law, in Table 5.2.b. for minimum front yard landscape strip, states: <i>1 – 4m setback</i> and Note 5 states: <i>The required landscaping will correspond to the setback provided.</i> The Zoning Bylaw provision for a front yard landscape strip is flexible with respect to the building location. To ensure the proposed mixed-use building is placed as close as possible to IBR, the landscape strip along the frontage of the Subject Lands is reduced to 0.2 metres. As the building location is to align with Official Plan policies, it was determined that a covered walkway to provide pedestrian access would be preferred over a vegetated landscape strip. This results in a 0.8 metre variance request which aligns with Official Plan policies to have street facing buildings that function with a pedestrian first feel.
5	Indoor amenity space – Section: Table 5.2.b.Note 6	The Zoning By-law, in Table 5.2.b. Note 6 for minimum indoor amenity spaces, states: <i>4 m2 per residential unit</i> and Note 6 states: <i>Units shall have amenity space provided at a minimum rate of 4 m2 per unit, of which: a minimum of 2 m2 per unit shall be indoor amenity space; a minimum of 40 m2 shall be outdoor amenity space in a location adjoining or directly accessible to the indoor amenity space.</i> The combination of ground floor commercial and first and second floor parking within the building limits the ability to provide for indoor amenity space. For this reason, the outdoor amenity space exceeds the Zoning Bylaw requirement to provide residential amenity for occupants (310m ² proposed). Furthermore, each residential unit contains personal private amenity space on each balcony adding to the overall available amenity space. This aligns with the general intent of the Zoning Bylaw.
6	Residential parking space – Section:3.35.1.1.d	The Zoning By-law, in section 3.35.1.1.d for minimum residential parking spaces, states: <i>1.5 parking spaces per dwelling unit, of which 0.25 parking spaces shall be designated as visitor parking spaces.</i> For a 58 residential unit use, 87 residential parking spaces are required at a parking calculation of 1.5 spaces per unit. The site is providing 85 parking space dedication for the residential use including 15 visitor parking spaces. This results in two (2) deficient parking spaces and a parking calculation of 1.46 spaces per unit. The intent of the Zoning Bylaw is to facilitate adequate parking for proposed uses. The reduction of 2 spaces is appropriate given the design restriction of the site and the ability to provide additional parking that would negatively impact landscape buffer strips and outdoor amenity areas. For these reasons together with additional justification within the Traffic Brief provided by JD Engineering, the intent of the Zoning Bylaw is satisfied.

Based on the above, the requested variances are in keeping with the general intent and purpose of the Town's Zoning By-law 080-13.

4.3 Is it desirable for the appropriate development or use of the land, building or structure?

No.	Variance Requested	Rational Based on Proposal
1	Side yard setback and angular plane from R1 zone (east side yard) – Section: Table 5.2.b.C	<p>The Zoning By-law variance for a 7.5m setback and subject to the 45 degree angular plane is only requested abutting the property municipally known as 2124 Willard Avenue. The variance of a 3 metre setback and slightly within the 45 degree angular plane (49 degrees proposed) as illustrated in the east interior side yard elevation is for the two (2) level parking structure. The parking structure is designed to be low impact to abutting properties through an open air design the minimizes building massing close to the property line. The second level architectural feature along the perimeter buffers vehicle headlights from impact abutting properties. For a Mixed-Use zone classification abutting low density residential, care is taken to ensure the proposal minimizes building massing and placement. The design allows for a transition from mixed use zones to residential zones while still maintaining appropriate forms of higher density developments. The two (2) level parking structure is necessary to facilitate the proposed mixed use building and is an appropriate from of development in the mixed-use zone classification.</p>  <p>The diagram is a cross-section titled 'SECTION - ANGULAR PLANE EAST INTERIOR SIDE YARD' at a scale of 1:100. It shows a building with four floors: Ground Floor, 2nd Floor, 3rd Floor, and 4th Floor. The ground floor has a height of 230.65 and a ground level of 229.71. The 2nd floor has a height of 234.15, the 3rd floor 237.65, and the 4th floor 240.65. A dashed line represents the 45-degree angular plane. A solid line shows the proposed 49-degree angular plane. The parking structure is shown as a low-rise building with a height of 233.55. The diagram also shows the 'OPEN AIR PARKING' area and the 'INTERIOR SIDE YARD PROVIDED - EAST' area. The property line is indicated by a dashed line. The diagram is labeled with 'R1 ZONING' and 'PROPERTY'.</p> <p>4 A1.2</p> <p>SECTION - ANGULAR PLANE EAST INTERIOR SIDE YARD 1:100</p>

2	Rear yard setback and angular plane – Section: Table 5.2.b.E	Similar to the above requested variance for east side yard setback, the rear yard setback and angular plane are intended to provide a buffer from structures when abutting a R1 zone. The two (2) level parking structure is an appropriate form of design to facilitate the proposed development and allow for increased visual buffering through vegetative plantings from residential properties. The placement of the proposed 8 storey mixed-use main structure has been located as close as possible to the street allowing for an increased distance from the rear property line. The 45 degree angular plane is slightly impacted by the height of the building (0.8 degrees) however, the placement of the structure is appropriate given the 25.18 metre rear yard setback from residential properties.
3	Building height maximum – Section: Table 5.2.b.F	The Zoning By-law, in Table 5.2.b.F. for maximum building height, states: <i>24 m for mixed use, and subject to the 45 degree angular plane</i> . This provision takes into account the 45 degree angular plane from the rear yard and limits the maximum height from average grade to the top of the parapet wall. The increased height request is due to ground and second floor parking structure ceiling heights within the building to accommodate vehicular and mechanical features. Given the proposed design and property layout, the proposed height increase takes into account the Subject Land location along IBR and aligns with overall mixed-use policy objectives for intensification.
4	Front landscape strip – Section: Table 5.2.b.	The placement of the structure as close to IBR as possible results in a reduced front yard landscape strip along the Subject Land frontage. This results in increased rear yard setbacks when abutting residential properties and allows for a pedestrian first connection to a transit orientated arterial roadway (IBR). Architectural features assist with framing the property along IBR, assisting in the creation of a streetscape design in-line with Town visions of Alcona for properties fronting IBR. The reduction in front landscape strip requirements are appropriate for this area to allow for the building placement to be close to the property frontage and allow for parking to be placed in the rear yard.
5	Indoor amenity space – Section: Table 5.2.b.Note 6	As a result of building design, the indoor amenity space of 116m ² is not provided. Commercial and parking areas occupy the majority of the ground floor area along with mechanical rooms and waste disposal areas. It was determined that ground floor street facing commercial space is necessary for mixed-use designs. It is also noted that Alcona Library is across IBR from the subject lands that offers residents and public indoor amenity space that contributes to overall community building initiatives. This aligns with the appropriate building design for the Subject Lands.
6	Residential parking space – Section: 3.35.1.1.d	For a 58 residential unit use, 87 residential parking spaces are required at a parking calculation of 1.5 spaces per unit. The site is providing 85 parking space dedication for the residential use including 15 visitor parking spaces. This results in two (2) deficient parking spaces and a parking calculation of 1.46 spaces per unit. As noted above, the design of the parking areas within the two (2) level open air parking structure and two (2) level parking areas within the building can accommodate the

		residential units and meet the visitor parking requirement. It is also noted that pedestrian access to commercial amenities is within close proximity to the subject site reducing the need for vehicular usage. Transit options are readily available with convenient access to the site from the arterial roadway. For these reasons, together with further justification contained within the Traffic Brief completed by JD Engineering, the design and structure are appropriate for the reduction in residential parking spaces and is in keeping with the general intent of the surrounding area.
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Based on the above, the requested variances are in keeping with the general intent of the surrounding area and are appropriate for the proposed use and building.

4.4 Is the application minor in nature?

No.	Variance Requested	Rational Based on Proposal
1	Side yard setback and angular plane from R1 zone (east side yard) – Section: Table 5.2.b.C	<p>The Zoning By-law, in Table 5.2.b.C. for minimum interior side yard setback and angular plane, states: <i>0 m or 7.5 m and subject to the 45 degree angular plane (2) where the interior side yard abuts an R1 Zone.</i></p> <p>The proposed reduction in side yard setback (east) of 4.5 metres and slight structural (two level parking structure) encroachment into the 45 degree angular plane (49 degrees proposed) from abutting residentially zoned properties is considered minor due to the inclusion of opaque fencing, vegetative buffering, and architectural features that assist with buffering the proposed development. The provided landscape buffer strip, as illustrated in the landscape plan provided by Landmark Environmental, along the east property line abutting the parking structure allows for an adequate planting area for medium calibre vegetation, see provided landscape plans as part of the submission package. The combination of these elements considered, the proposed variance is considered minor in nature.</p>
2	Rear yard setback and angular plane – Section: Table 5.2.b.E	<p>The Zoning By-law, in Table 5.2.b.E. for minimum rear yard setback and angular plane, states: <i>7.5 m and subject to the 45 degree angular plane.</i></p> <p>The proposed reduction in rear yard setback (north) of 3.8 metres and slight (main building) encroachment into the 45 degree angular plane (45.8</p>

		degrees proposed) for the main building and architectural feature surrounding the upper level parking structure (48.8 degrees proposed), can be considered minor in nature. This is due to the vegetative buffering along the rear property line to assist with screening of the parking structure, as illustrated in the landscape plan provided by Landmark Environmental, and the large rear yard setback of 25.18 metres to the main building. The slight encroachment into the 45 degree angular plane (0.8 degrees) poses little to no impact in relation to the rear yard residential properties. The rear yard setback reduction and angular plane encroachment is to facilitate a parking structure that utilizes an open air design to reduce structural impacts to abutting lands. This, combined with architectural screening around the perimeter of the second level minimizes vehicular headlight impacts to abutting properties and is further buffered through the use of vegetation. The combination of these elements considered, the proposed variance is considered minor in nature.
3	Building height maximum – Section: Table 5.2.b.F	<p>The Zoning By-law, in Table 5.2.b.F. for maximum building height, states: <i>24 m for mixed use, and subject to the 45 degree angular plane.</i></p> <p>The requested height variance of 1.4 metres for a maximum building height of 25.4 metres is considered minor in nature as the design of the building incorporates parking levels within the building on the ground and second floor. This is due to high water tables found along IBR and on this property which restrict below ground parking design options. The building design also reduces the overall proposed height by minimize the height of the parapet and the inclusion of all mechanical equipment within a wholly enclosed structure on the roof. To note, the mechanical building is not included within the building height as defined within the Zoning Bylaw. By placing the building as close to the street as possible and away from residential properties, the proposed height and the slight encroachment into the 45 degree angular plan is considered minor in nature.</p>
4	Front landscape strip – Section: Table 5.2.b.	<p>The Zoning By-law, in Table 5.2.b. for minimum front yard landscape strip, states: <i>1 – 4m setback</i> and Note 5 states: <i>The required landscaping will correspond to the setback provided.</i></p> <p>The proposed 0.2 metre front yard landscape strip resulting in a 0.8 metre variance request is considered minor in nature to allow for pedestrian first access to ground floor commercial areas. It is noted that the existing municipal boulevard area is available for increased vegetative elements that assist with an attractive building façade. Through the Site Plan Control process, design of vegetative elements are being considered by staff and are dependant on municipal infrastructure. The reduction of the front yard landscape strip does not negatively affect the building or site design and is considered minor in nature.</p>

5	Indoor amenity space – Section: Table 5.2.b.Note 6	<p>The Zoning By-law, in Table 5.2.b. Note 6 for minimum indoor amenity spaces, states: <i>4 m2 per residential unit</i> and Note 6 states: <i>Units shall have amenity space provided at a minimum rate of 4 m2 per unit, of which: a minimum of 2 m2 per unit shall be indoor amenity space; a minimum of 40 m2 shall be outdoor amenity space in a location adjoining or directly accessible to the indoor amenity space.</i></p> <p>As a result of building design to accommodate commercial and parking areas, the availability of providing indoor amenity space is not possible. To offset the zoning deficiency, additional outdoor amenity space is provided exceeding the Zoning Bylaw requirements (116m² required, 310m² proposed) to provide residents with private amenity for their enjoyment. Due to the proximity of the development site, available community indoor amenity options are available within walking distance providing further flexibility to occupants. The resulting variance is considered minor in nature due to the design restrictions and close proximity to additional amenities within the surrounding area.</p>
6	Residential parking space – Section:3.35.1.1.d	<p>The Zoning By-law, in section 3.35.1.1.d for minimum residential parking spaces, states: <i>1.5 parking spaces per dwelling unit, of which 0.25 parking spaces shall be designated as visitor parking spaces.</i></p> <p>The site is providing 85 parking space for 58 residential units including 15 visitor parking spaces. This results in two (2) deficient parking spaces and a parking calculation of 1.46 spaces per unit. The reduced parking does not impact the ability to provide a minimum of 1 parking space dedicated for each residential unit and provide ample parking for visitors. To increase additional variances for landscape buffer areas as a result of increasing parking spaces to meet Bylaw requirements is not appropriate to allow for a functional design. Rather, reducing parking spaces by two (2) allows for healthy landscape buffer areas to be provided while maintaining overall site continuity. Allowing for healthy vegetative buffer strips abutting residential properties assist with reducing development impacts and increasing greenery. The site contains a high-water table which limits the ability to provide additional parking below grade. For these reasons as well as further justification provided in the Traffic Brief as part of the submission package, the reduction in parking can be considered minor in nature.</p>

Based on the above, the requested variances are considered minor in nature.

5.0 Conclusion

This report explores the merits of the proposed development as it relates to applicable planning policy, for lands located at 946 & 950 Innisfil Beach Road in the Town of Innisfil.

The purpose of this application is to obtain approval for six (6) Minor Variances in order to permit the development of an 8 Storey, 58 residential unit & 195m² commercial space mixed-use building with associated parking structure and landscape areas. The requested variances for parking, building height including angular plane, rear and side yard setbacks, landscape buffer strip, and indoor amenity area are required in order to accommodate the proposed development.

It is our professional opinion that the proposed Minor Variances satisfy the four tests under the Planning Act while demonstrating consistency with and conformity to the applicable Provincial and Municipal planning policies and objectives, representing good planning.


Respectfully submitted,

Innovative Planning Solutions



Nick Skerratt

Senior Planner



Darren Vella, MCIP, RPP,

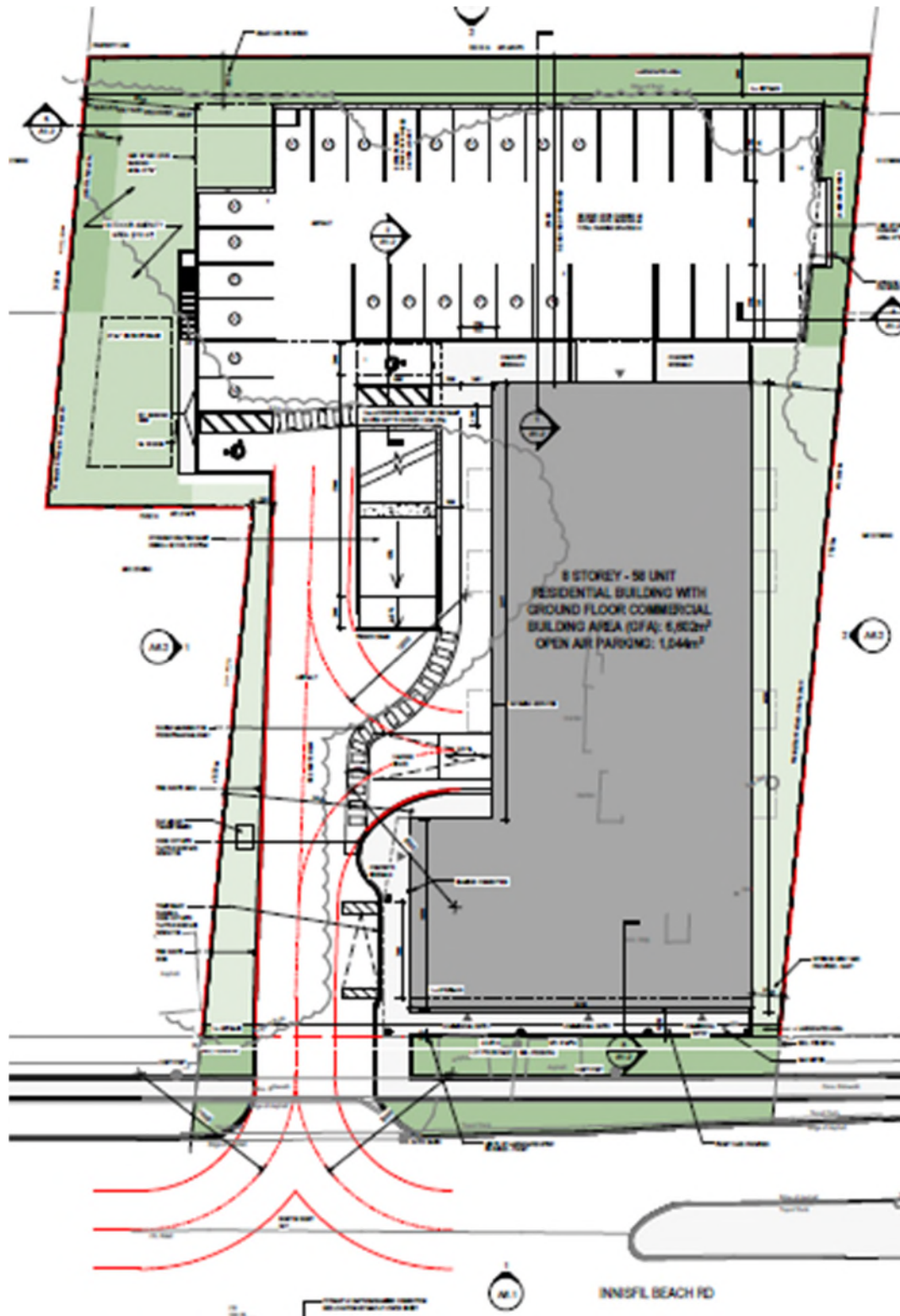
President & Director of Planning

APPENDICIES

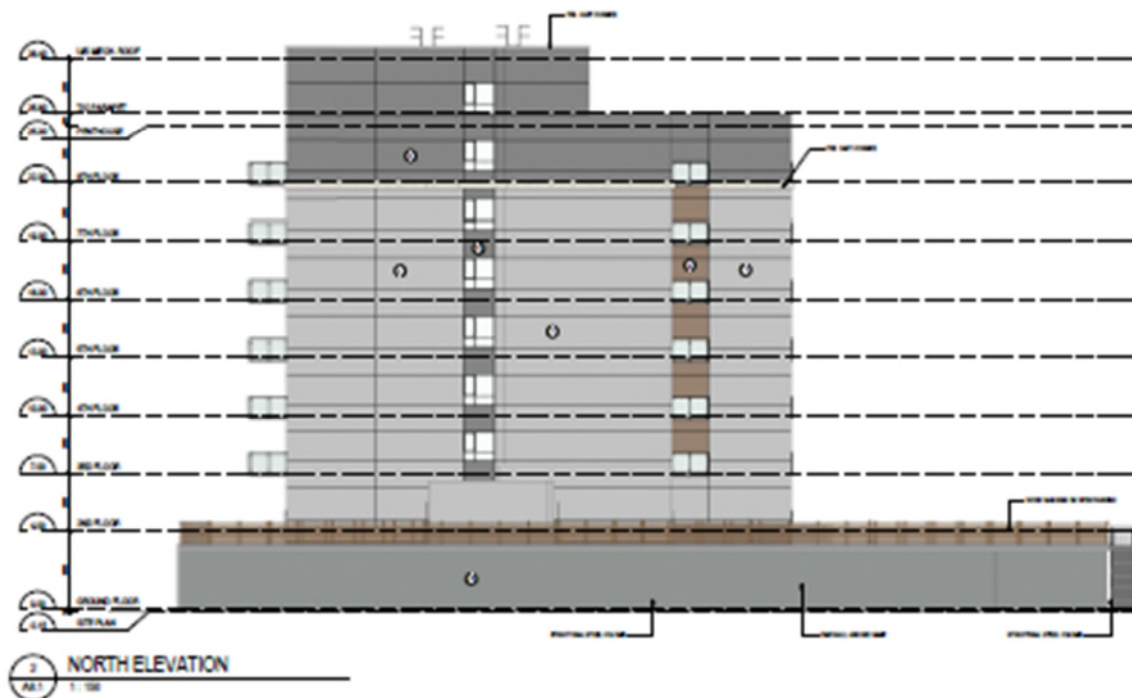
APPENDIX 1
LEGAL SURVEY

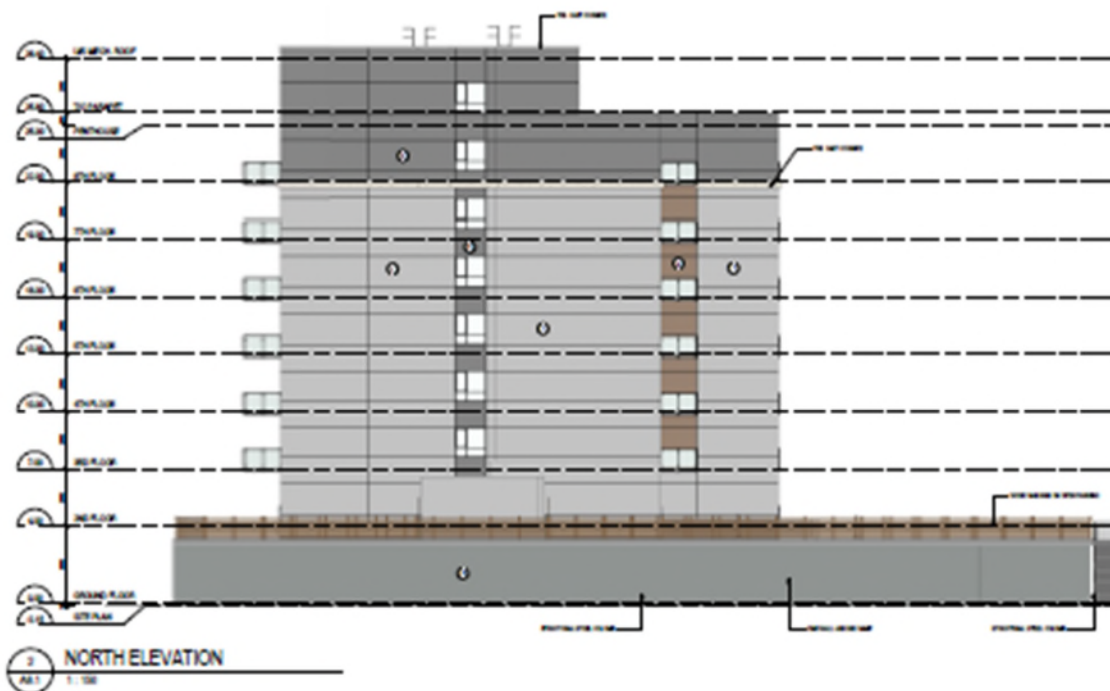


APPENDIX 2
SITE PLAN DRAWING



APPENDIX 3
CONCEPTUAL ELEVATION DRAWINGS







SURVEYOR'S
REAL PROPERTY REPORT

PLAN OF SURVEY
OF PART OF
LOT 24, CONCESSION 8
AND PART OF
LOT 10, REGISTERED PLAN 1052
GEOGRAPHIC TOWNSHIP OF INNISFIL
TOWN OF INNISFIL
COUNTY OF SIMCOE

SCALE 1: 200
RODNEY GEYER
ONTARIO LAND SURVEYOR INC.

SURVEYOR'S REAL PROPERTY REPORT
PART 2 - REPORT SUMMARY

DESCRIPTION OF LAND:
- PART OF LOT 24, CONCESSION 8,
AND PART OF LOT 10, REGISTERED PLAN 1052,
GEOGRAPHIC TOWNSHIP OF INNISFIL,
TOWN OF INNISFIL, COUNTY OF SIMCOE
PIN 58996-0105 AND PIN 58996-0099

REGISTERED EASEMENTS AND/OR RIGHTS OF WAY:
- NONE REGISTERED ON TITLE

COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS:
- NOT CERTIFIED BY THIS REPORT

ADDITIONAL REMARKS:
- NOTE FENCE AND SHED LOCATIONS SHOWN HEREON
- ALL BUILDINGS AND INTERIOR ITEMS TO BE REMOVED,
- NO TIES TO LOT LINES HAVE BEEN SHOWN.

THIS REPORT WAS PREPARED FOR JOHN PAUL STOPYAK AND
RYAN DECARA-STOPYAK AND THE UNDERSIGNED ACCEPTS NO
RESPONSIBILITY FOR USE BY OTHER PARTIES.

BEARING NOTE

BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS
A AND B BY REAL TIME NETWORK OBSERVATIONS AND ARE REFERRED
TO THE CENTRAL MERIDIAN 81°W, ZONE 17 BASED ON NAD 83 CSRS
(2010 EPOCH).

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY
MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.9997346

OBSERVED REFERENCE POINTS (ORP's) ARE DERIVED FROM GPS
OBSERVATIONS USING THE CAN-NET VRS NETWORK, UTM ZONE 17
NAD 83 CSRS (2010 EPOCH)
COORDINATES TO URBAN ACCURACY PER SEC. 14 (2) OF O. REG. 216/10

POINT ID	NORTHING	EASTING
ORP A	4907858.77	615727.30
ORP B	4907977.08	615627.87

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH
CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

FOR BEARING COMPARISONS APPLY THE FOLLOWING ROTATION
P2, P3, P5, P7, P8 COUNTERCLOCKWISE 01°15'20"
P4 COUNTERCLOCKWISE 01°18'20"
P6 COUNTERCLOCKWISE 01°03'00"

BENCHMARK NOTE

ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE DERIVED FROM
GNSS OBSERVATIONS USING THE CAN-NET VRS NETWORK.
OBSERVATIONS ARE RELATED TO THE CGVD28 DATUM BY USING THE
HT2.0 GEOD MODEL.

METRIC NOTE

DISTANCES AND COORDINATES SHOWN HEREON ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

LEGEND

P1	DENOTES	PLAN 51R-35919
P2	DENOTES	PLAN 51R-34606
P3	DENOTES	REGISTERED PLAN No 1052
P4	DENOTES	PLAN 51R-22457
P5	DENOTES	PLAN OF SURVEY BY ROBERT P. KEEPER ONTARIO LAND SURVEYOR, DATED JULY 10, 1975
P6	DENOTES	PLAN 51R-31595
P7	DENOTES	PLAN OF SURVEY BY W. DOUGLAS SMITH, ONTARIO LAND SURVEYOR, DATED MARCH 16, 1983
P8	DENOTES	PLAN OF SURVEY BY ROGER R. WELSMAN, ONTARIO LAND SURVEYOR, DATED JULY 20, 1964
■	DENOTES	SURVEY MONUMENT FOUND
□	DENOTES	SURVEY MONUMENT SET
IB	DENOTES	IRON BAR
RIB	DENOTES	ROUND IRON BAR
SIB	DENOTES	STANDARD IRON BAR
SSIB	DENOTES	SHORT STANDARD IRON BAR
1550	DENOTES	DINO. R.S. ASTRI, O.L.S.
1841	DENOTES	PETER T. RAIKES, O.L.S.
(OU)	DENOTES	ORIGIN UNKNOWN
(MS)	DENOTES	MEASURED
WT	DENOTES	WITNESS
BOARD	DENOTES	BOARD FENCE
BIP	DENOTES	BELL PEDESTAL
CALC	DENOTES	CALCULATED
CB	DENOTES	CATCH BASIN
FFE	DENOTES	FINISHED FLOOR ELEVATION
GM	DENOTES	GAS METER
HW	DENOTES	HAND WELL
LP	DENOTES	LIGHT POLE
MH	DENOTES	MANHOLE COVER
PWF	DENOTES	POST AND WIRE FENCE
TBC	DENOTES	TOP BACK OF CURB
⊙	DENOTES	DECIDUOUS TREE

NOTE

ADDITION TOPOGRAPHIC FEATURES ON SOUTH SIDE WERE ADDED TO
THIS PLAN AUGUST 31, 2022. FIELD WORK FOR THE ADDITIONAL TOPO
FEATURES WAS COMPLETED AUGUST 17, 2022.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE
WITH THE SURVEYORS ACT, THE SURVEYORS ACT AND THE
REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 17th DAY OF AUGUST, 2022

OCTOBER 20, 2022
DATE: _____
RODNEY H. GEYER
ONTARIO LAND SURVEYOR

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
2174467

THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
Regulation 205, Section 2(2)

© COPYRIGHT, 2022 RODNEY GEYER, O.L.S. INC.
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WITHOUT THE EXPRESS WRITTEN PERMISSION OF RODNEY GEYER, IS STRICTLY PROHIBITED.

RODNEY GEYER
ONTARIO LAND SURVEYOR INC.
180 PARSONS ROAD, UNIT 29
ALLSTON, ONTARIO L9R 1E8
PHONE: (705) 434-0411
www.geyerlandsurveyor.com

CHECKED BY:	DATE:	DRAWN BY:	DATE:	REV. DATE:	NO.:	REV.:
RHG	OCTOBER 20, 2022	DS	OCTOBER 20, 2022		21-3381-SRPR-1	B



NOTES

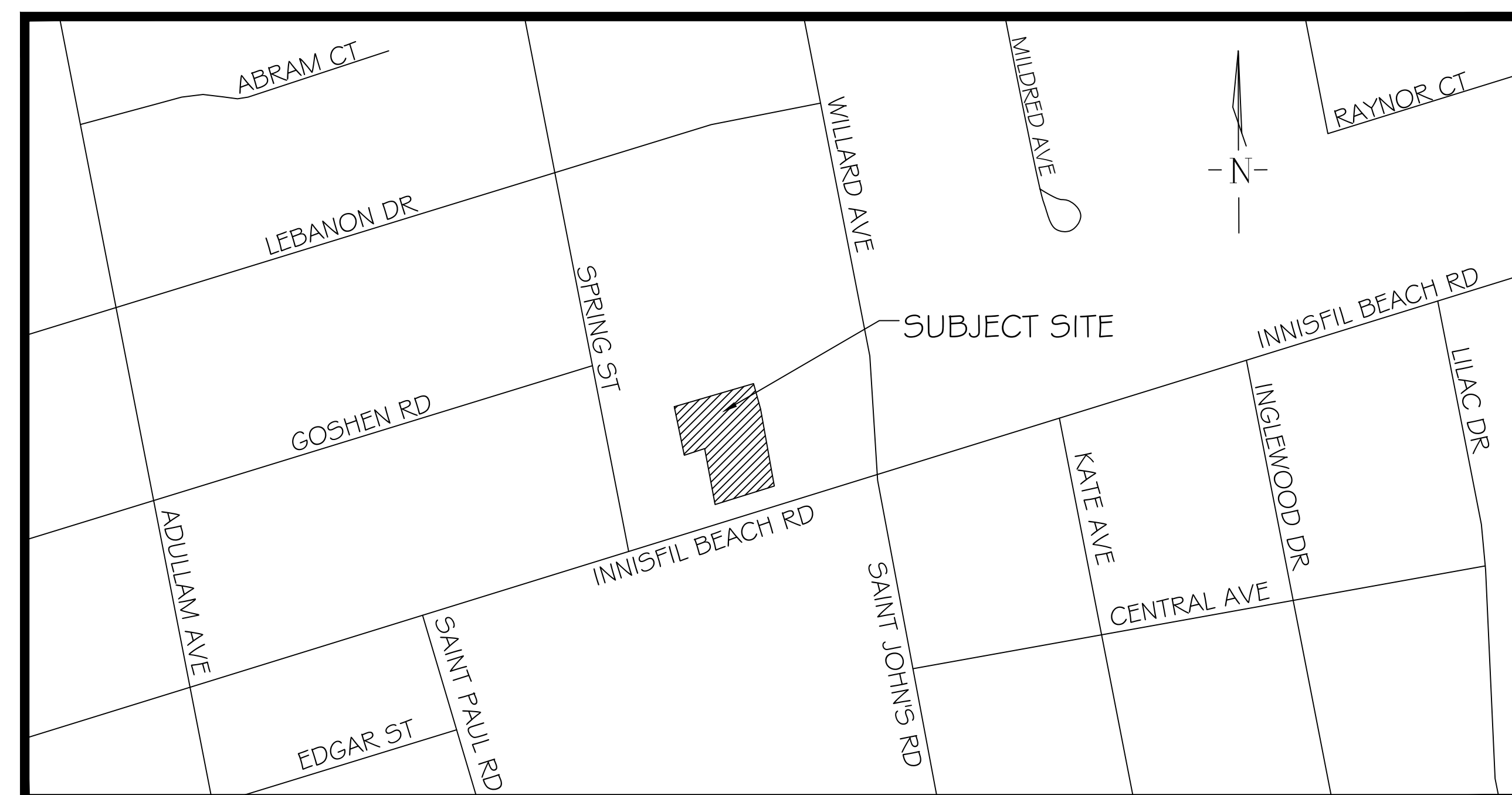
THE POSITION OF ALL POLE LINES, CONDUITS, WATER MAINS, SEWERS AND
OTHER UNDERGROUND AND OVERHEAD UTILITIES AND STRUCTURES IS NOT
NECESSARILY SHOWN ON THIS PLAN, AND WHERE SHOWN, THE ACCURACY OF
THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED.
BEFORE STARTING WORK, THE CONTRACTOR SHALL INFORM HIMSELF OF THE
EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES, AND SHALL
ASSUME ALL LIABILITY FOR DAMAGE TO THEM.
BURIED SERVICES AND UTILITIES ARE NOT SHOWN AND LOCATES
ARE REQUIRED PRIOR TO ANY EXCAVATION WORK.

946-950 INNISFIL BEACH ROAD, INNISFIL, ON

MUNICIPAL FILE: SP-2021-018

LANDMARK ENVIRONMENTAL GROUP LTD.

PROJECT NO. LA 596-21



KEY PLAN N.T.S.

DRAWING LIST:

EX-1	EXISTING CONDITIONS
TP-1	TREE PRESERVATION PLAN 1
TP-2	TREE PRESERVATION PLAN 2
L-1	LANDSCAPE PLAN
LD-1	DETAILS 1
LD-2	DETAILS 2
LD-3	DETAILS 3

CLIENT:

ROCH DEVELOPMENTS

7850 TRANMERE DRIVE
MISSISSAUGA, ON
L5S 1L9

MUNICIPALITY:

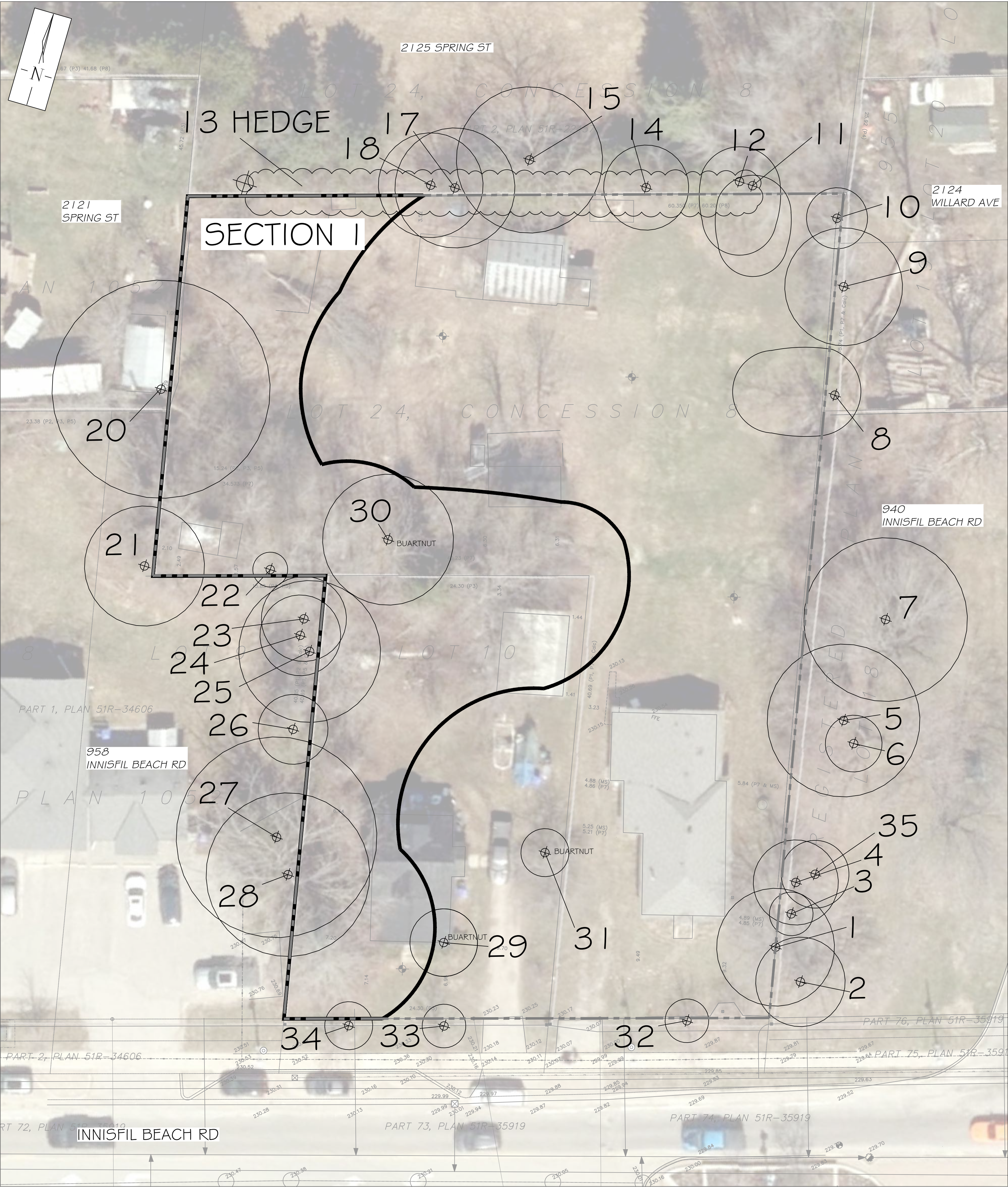


TOWN OF INNISFIL

2101 INNISFIL BEACH ROAD
INNISFIL, ON
L9S 1A1

LANDSCAPE ARCHITECT:





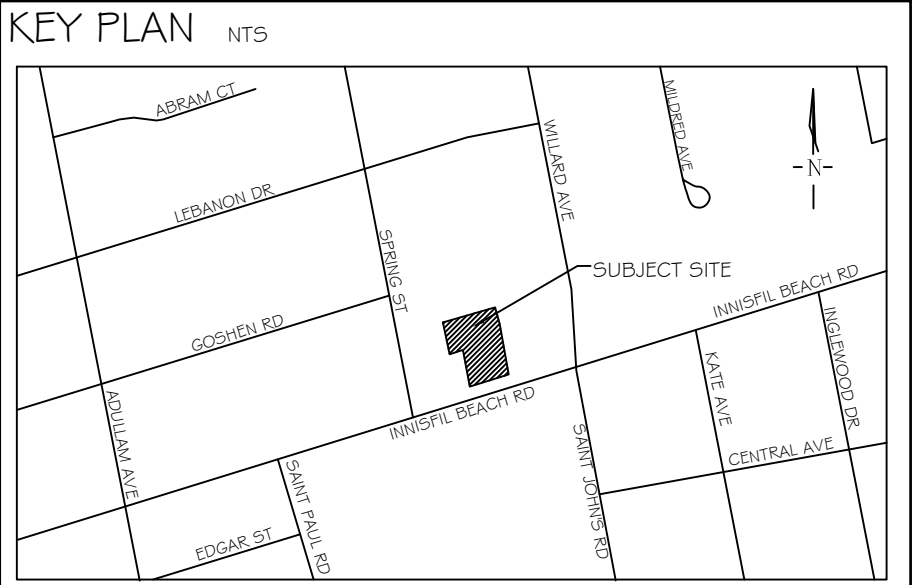
CANOPY SURVEY TREE INVENTORY			
Key	Latin Name	Common Name	Canopy Radius (m)
1	<i>Juglans nigra</i>	Black Walnut	5.4
2	<i>Acer negundo</i>	Manitoba Maple	4.1
3	<i>Juglans nigra</i>	Black Walnut	2.0
4	<i>Juglans nigra</i>	Black Walnut	3.9
5	<i>Acer saccharinum</i>	Silver Maple	7.0
6	<i>Juglans nigra</i>	Black Walnut	2.6
7	<i>Acer saccharinum</i>	Silver Maple	7.5
8	<i>Acer negundo</i>	Manitoba Maple	9.3
9	<i>Crataegus ssp</i>	Cockspur Hawthorn	5.4
10	<i>Thuja occidentalis</i>	Eastern White Cedar	2.8
11	<i>Acer negundo</i>	Manitoba Maple	7.3
12	<i>Acer negundo</i>	Manitoba Maple	6.8
13 Hedge	<i>Thuja occidentalis</i>	Eastern White Cedar	3.4
14	<i>Fraxinus americana</i>	White Ash	3.9
15	<i>Juglans ailantifolia x Juglans cinerea</i>	Buartnut	6.7
17	<i>Ulmus rubra</i>	Red or Slippery Elm	5.5
18	<i>Fraxinus americana</i>	White Ash	4.8
19	<i>Thuja occidentalis</i>	Eastern White Cedar	3.4
20	<i>Acer negundo</i>	Manitoba Maple	10.0
21	<i>Acer negundo</i>	Manitoba Maple	5.5
22	<i>Populus tremuloides</i>	Trembling Aspen	1.6
23	<i>Acer negundo</i>	Manitoba Maple	3.9
24	<i>Populus tremuloides</i>	Trembling Aspen	3.7
25	<i>Juglans ailantifolia x Juglans cinerea</i>	Buartnut	6.5
26	<i>Thuja occidentalis</i>	Eastern White Cedar	3.2
27	<i>Juglans ailantifolia x Juglans cinerea</i>	Buartnut	9.2
28	<i>Juglans ailantifolia x Juglans cinerea</i>	Buartnut	7.5
29	<i>Juglans ailantifolia x Juglans cinerea</i>	Buartnut	3.1
30	<i>Juglans ailantifolia x Juglans cinerea</i>	Buartnut	6.0
31	<i>Juglans ailantifolia x Juglans cinerea</i>	Buartnut	2.2
32	<i>Acer saccharinum</i>	Silver Maple	2.0
33	<i>Acer saccharinum</i>	Silver Maple	2.0
34	<i>Acer saccharinum</i>	Silver Maple	2.2
35	<i>Juglans ailantifolia x Juglans cinerea</i>	Buartnut	3.1

Offsite Tree	
Boundary Tree	
Buartnut Tree	

SECTION 1					
LATIN NAME	COMMON NAME	CONDITION	AVG DBH	COMMENTS	COMPOSITION %
<i>Acer negundo</i>	Manitoba Maple	Poor	15-25	lower branch dieback, poor branch structure, poor form, River Bank Grapevine entering canopies	70%
<i>Acer rubrum</i>	Red Maple	Fair - Good	10-20	Minor leans, small diameter trees starting to establish	2.5%
<i>Juglans ailantifolia x Juglans cinerea</i>	Buartnut	Poor - Fair	15-25	Minor Butternut Canker, suspected to be hybrids due to high seed viability and good vigour of trees	2.5%
<i>Picea abies</i>	Norway Spruce	Dead/dying - Poor	15-25, two large trees near frontage	Sap pitching, lower branch dieback, Eastern Spruce Budworm, branch tip dieback	2.5%
<i>Populus tremuloides</i>	Trembling Aspen	Poor - Fair	15-25	Hypoxylon Canker, lower branch dieback, natural mortality from hydric soils	20%
<i>Thuja occidentalis</i>	Eastern White Cedar	Fair	5-15	Foliage dieback, epicormic branching,	2.5%
Total					100%

SECTION CANOPY AREA (m2)
SECTION I = 1,314 m2
SOLITARY TREES = 36 m2
TOTAL = 1,350 m2

NOTE:
VEGETATION CLEARING IS TO BE AVOIDED FROM APRIL 1 TO AUGUST 31 TO AVOID IMPACTS TO BIRDS PROTECTED UNDER THE MIGRATORY BIRDS CONVENTION ACT. IF CLEARING MUST PROCEED WITHIN THIS WINDOW, THE AFFECTED AREA MUST BE SCREENED BY A QUALIFIED ECOLOGIST BEFORE 48HRS OF CLEARING ACTIVITIES.



GENERAL NOTES
The Client and its contractors are responsible for all utility locates and confirming all setbacks, elevations, grades, etc. prior to installation of the constructed works. The Contractor is to report any discrepancies in writing to the Landscape Architect prior to proceeding with the works to determine the impact and suitability of the proposed works. The Landscape Architect will not be responsible for any unapproved adjustments on site. Construction of the works must conform to Authority requirements and applicable codes where they have jurisdiction. All specifications and drawings are instruments of service and are the property and ownership of the Landmark Environmental Group Ltd. As such, the drawings shall not be modified or reproduced without the expressed written consent of Landmark Environmental Group Ltd., or they will be considered void. The said drawings are for Site Plan approval only and may require additional detailing prior to tender and construction. The Landmark Environmental Group Ltd. is not liable for errors or omissions from the use of these drawings prior to approval, seal, signature and date, and will be considered void. It is advised that the Contractor contact the Landscape Architect prior to commencement of the construction works to ensure that the Contractor has the latest approved drawings. The Landmark Environmental Group Ltd. is not responsible for the accuracy of the base drawing information (eg Survey, Architectural, Engineering, etc). If there are any discrepancies, the Contractor will refer to the appropriate base drawing information and report discrepancies on the Landscape Drawings to the Landscape Architect.
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LEGEND
TREE LOCATION WITH CANOPY
DELINEATED SECTIONS & GROUPINGS
PROPERTY BOUNDARY

13	JUNE 05, 2024	S.K.	REVISED TREE PRESERVATION FENCE AS PER PEL COMMENTS
12	JUNE 03, 2024	S.K.	AS PER SITE PLAN & ELECTRICAL PLAN UPDATES
11	APR 01, 2024	S.K.	AS PER SITE GRADING / SERVICING PLAN UPDATES
10	MAR 15, 2024	S.K.	AS PER SITE PLAN / ELECTRICAL PLAN UPDATES & TOWN COMMENTS
9	FEB 09, 2024	S.K.	AS PER TOWN COMMENTS
8	SEPT 18, 2023	S.K.	AS PER SITE SERVICING PLAN UPDATES
7	SEP 14, 2023	D.L.	AS PER SERVICING PLAN UPDATES
6	AUG 25, 2023	S.K.	AS PER ELECTRICAL PLAN UPDATES
5	AUG 01, 2023	S.K.	AS PER SITE GRADING & SERVICING PLAN UPDATES
4	JULY 6, 2023	D.L.	UPDATE LANDSCAPE PLAN AS PER SURVEY PLAN
3	SEPT 26, 2022	S.K.	ISSUED FOR SUBMISSION TO TOWN
2	JULY 26, 2022	S.K.	AS PER SITE PLAN UPDATES
1	JULY 22, 2022	LO	AS PER UPDATED SITE PLAN
NO	DATE	BY	REVISIONS

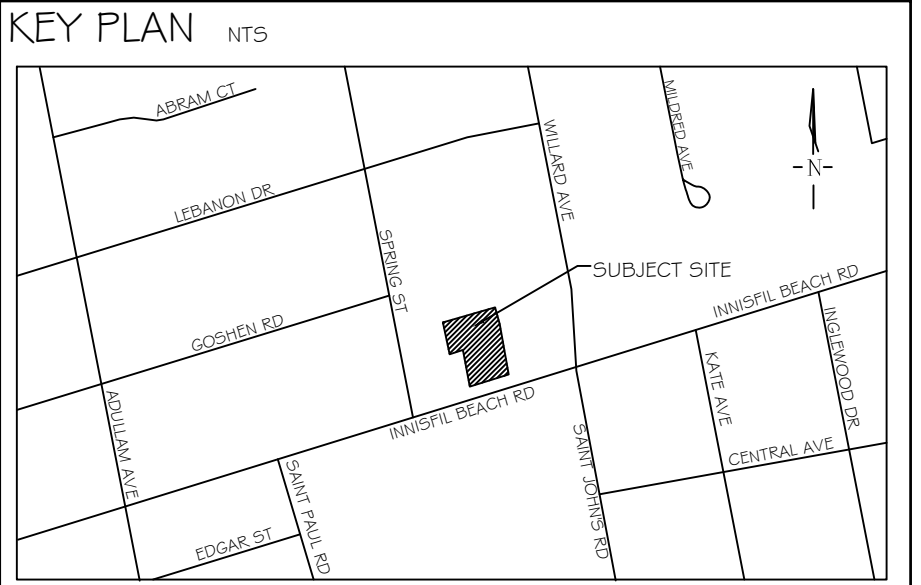
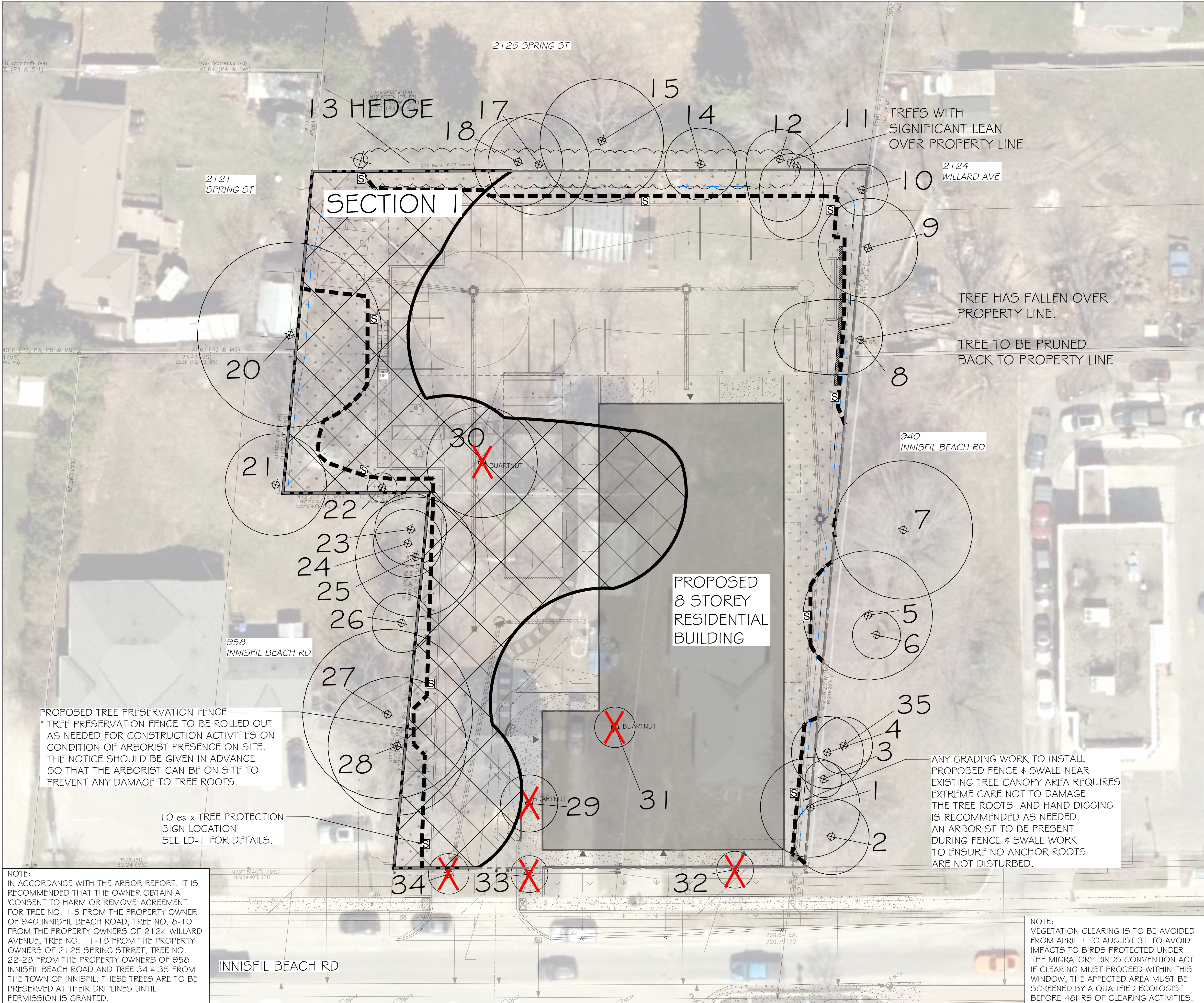
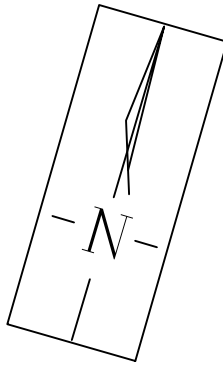
STAMP	APPROVAL
	TOWN OF INNISFIL NAME _____ DATE _____ SIGNATURE _____

AERIAL PHOTO (2022) SOURCED FROM SIMCO COUNTY GIS
SURVEY PROVIDED BY RODNEY GEYER, ONTARIO LAND SURVEYOR INC.
(21-3361 SRPR TOPO LOCAL SEPTEMBER 28 2021 DWG)

LANDMARK ENVIRONMENTAL GROUP LTD.
Landscape Architects
Consulting Arborists
Urban Forestry

LANDSCAPE ARCHITECTS & CONSULTING ARBORISTS
OFFICE: 705-796-1122
info@LEGGroupLtd.com
www.LEGroupLtd.com

CLIENT:	ROCH DEVELOPMENTS
PROJECT:	946-950 INNISFIL BEACH ROAD
DRAWING:	EXISTING CONDITIONS
SCALE BAR: 4m 0 4 8 12 Scale = 1:200	
PROJECT NO.: LA 59G-21	SCALE: 1:200
MUNICIPAL FILE NO.: SP 2021-018	DATE: NOVEMBER 17, 2021
DRAWN BY: B.B	CHECKED BY: J.H
DRAWING No.: EX-1	



GENERAL NOTES

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- LEGEND**
- TREE LOCATION WITH CANOPY
 - DELINEATED SECTIONS & GROUPINGS
 - TREE RECOMMENDED TO REMOVE
 - SECTION DELINEATED FOR REMOVAL
 - TREE PROTECTION SIGN
 - TREE PRESERVATION FENCE
 - PROPERTY BOUNDARY
 - PROPOSED SWALE (BY OTHERS)

13	JUNE 05, 2024	S.K.	REVISED TREE PRESERVATION FENCE AS PER PEL COMMENTS
12	JUNE 03, 2024	S.K.	AS PER SITE PLAN & ELECTRICAL PLAN UPDATES
11	APR. 01, 2024	S.K.	AS PER SITE GRADING / SERVICING PLAN UPDATES
10	MAR. 15, 2024	S.K.	AS PER SITE PLAN / ELECTRICAL PLAN UPDATES & TOWN COMMENTS
9	FEB. 09, 2024	S.K.	AS PER TOWN COMMENTS
8	SEPT. 18, 2023	S.K.	AS PER SITE SERVICING PLAN UPDATES
7	SEP. 14, 2023	D.L.	AS PER SERVICING PLAN UPDATES
6	AUG. 25, 2023	S.K.	AS PER ELECTRICAL PLAN UPDATES
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4	JULY 6, 2023	D.L.	UPDATE LANDSCAPE PLAN AS PER SURVEY PLAN
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1	JULY 22, 2022	LO	AS PER UPDATED SITE PLAN
NO	DATE	BY	REVISIONS

	APPROVAL
	TOWN OF INNISFIL
	NAME _____
	DATE _____
SIGNATURE _____	

APRIL PHOTO (2023) SOURCED FROM SIMCO COUNTY GIS
SITE PLAN PROVIDED BY MIDNIGHT CHARRON LIMITED ARCHITECTS
(INNISFIL BEACH ROAD # 950, 2024 05 27 SHEET - AL-1 - SITE PLAN DWG TRANS ON MAY 27, 2024)
SITE GRADING & SERVICING PLAN PROVIDED BY FIRSTLINE ENGINEERING LTD
(GRADING & SERVICING PLAN - 11652-SERV-GRD.DWG TRANS ON MAR 21, 2024)

LANDMARK
ENVIRONMENTAL GROUP LTD
Landscape Architects
Consulting Arborists
Urban Forestry

**LANDSCAPE ARCHITECTS
& CONSULTING ARBORISTS**

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info@LEGroupltd.com
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CLIENT:	ROCH DEVELOPMENTS
PROJECT:	946-950 INNISFIL BEACH ROAD
DRAWING:	TREE PRESERVATION PLAN 1
SCALE BAR:	4m 0 4 8 12 Scale = 1:200
PROJECT NO.:	LA 59G-21
MUNICIPAL FILE NO.:	SP 2021-018
DRAWN BY:	B.B
CHECKED BY:	J.H
DATE:	NOVEMBER 17, 2021
DRAWING No.:	TP-1

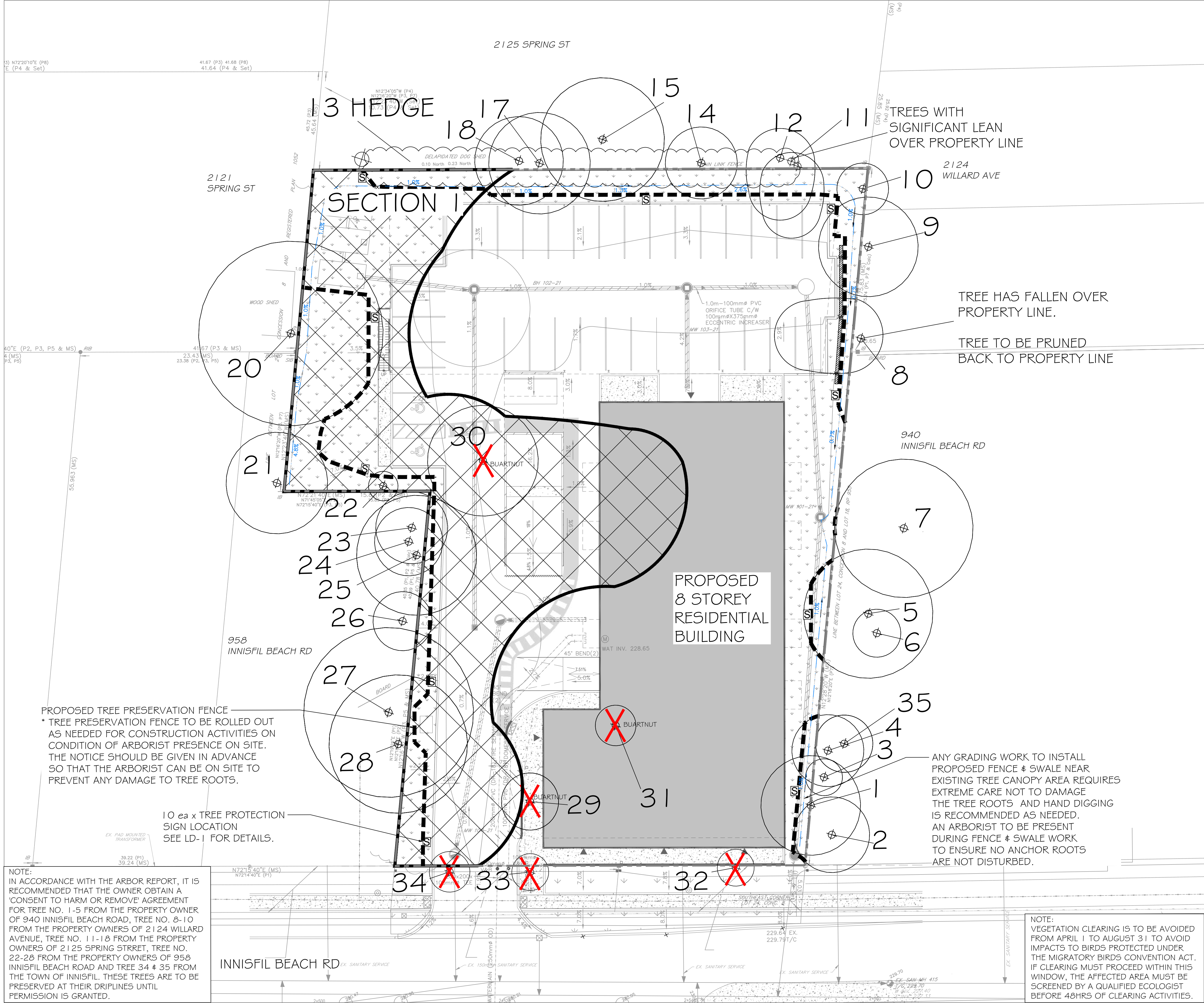
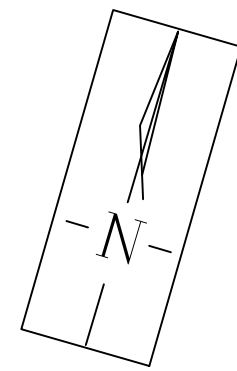
PROPOSED TREE PRESERVATION FENCE
* TREE PRESERVATION FENCE TO BE ROLLED OUT AS NEEDED FOR CONSTRUCTION ACTIVITIES ON CONDITION OF ARBORIST PRESENCE ON SITE. THE NOTICE SHOULD BE GIVEN IN ADVANCE SO THAT THE ARBORIST CAN BE ON SITE TO PREVENT ANY DAMAGE TO TREE ROOTS.

10 ea x TREE PROTECTION SIGN LOCATION
SEE LD-1 FOR DETAILS.

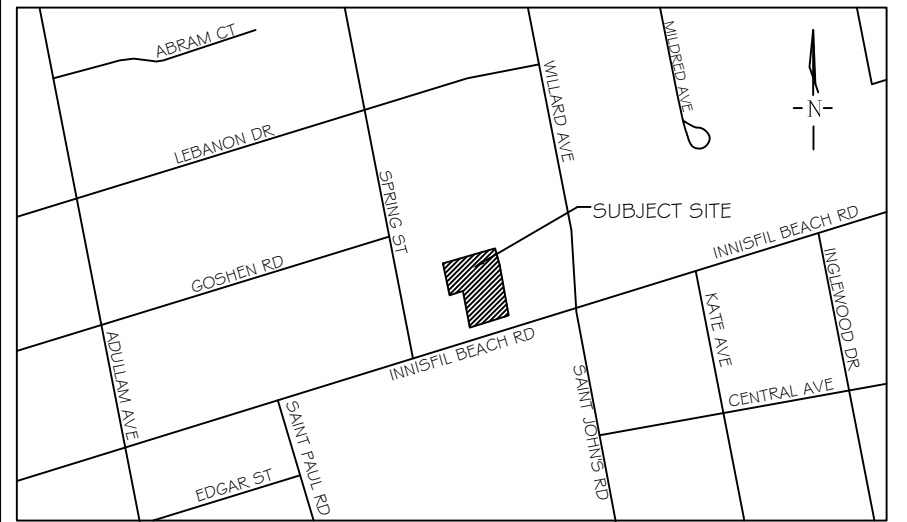
NOTE:
IN ACCORDANCE WITH THE ARBOR REPORT, IT IS RECOMMENDED THAT THE OWNER OBTAIN A 'CONSENT TO HARM OR REMOVE' AGREEMENT FOR TREE NO. 1-5 FROM THE PROPERTY OWNER OF 940 INNISFIL BEACH ROAD, TREE NO. 8-10 FROM THE PROPERTY OWNERS OF 2124 WILLARD AVENUE, TREE NO. 11-18 FROM THE PROPERTY OWNERS OF 2125 SPRING STREET, TREE NO. 22-28 FROM THE PROPERTY OWNERS OF 958 INNISFIL BEACH ROAD AND TREE 34 & 35 FROM THE TOWN OF INNISFIL. THESE TREES ARE TO BE PRESERVED AT THEIR DRIPLINES UNTIL PERMISSION IS GRANTED.

ANY GRADING WORK TO INSTALL PROPOSED FENCE & SWALE NEAR EXISTING TREE CANOPY AREA REQUIRES EXTREME CARE NOT TO DAMAGE THE TREE ROOTS AND HAND DIGGING IS RECOMMENDED AS NEEDED. AN ARBORIST TO BE PRESENT DURING FENCE & SWALE WORK TO ENSURE NO ANCHOR ROOTS ARE NOT DISTURBED.

NOTE:
VEGETATION CLEARING IS TO BE AVOIDED FROM APRIL 1 TO AUGUST 31 TO AVOID IMPACTS TO BIRDS PROTECTED UNDER THE MIGRATORY BIRDS CONVENTION ACT. IF CLEARING MUST PROCEED WITHIN THIS WINDOW, THE AFFECTED AREA MUST BE SCREENED BY A QUALIFIED ECOLOGIST BEFORE 48HRS OF CLEARING ACTIVITIES.



KEY PLAN NTS



GENERAL NOTES

The Client and its contractors are responsible for all utility locates and confirming all setbacks, elevations, grades, etc. prior to installation of the constructed works. The Contractor is to report any discrepancies in writing to the Landscape Architect prior to proceeding with the works to determine the impact and suitability of the proposed works. The Landscape Architect will not be responsible for any unapproved adjustments on site. Construction of the works must conform to Authority requirements and applicable codes where they have jurisdiction. All specifications and drawings are instruments of service and are the property and ownership of the Landmark Environmental Group Ltd. As such, the drawings shall not be modified or reproduced without the expressed written consent of Landmark Environmental Group Ltd. or they will be considered void. The said drawings are for Site Plan approval only and may require additional detailing prior to tender and construction. The Landmark Environmental Group Ltd. is not liable for errors or omissions from the use of these drawings prior to approval, seal, signature and date, and will be considered void. It is advised that the Contractor contact the Landscape Architect prior to commencement of the construction works to ensure that the Contractor has the latest approved drawings. The Landmark Environmental Group Ltd. is not responsible for the accuracy of the base drawing information (eg Survey, Architectural, Engineering, etc). If there are any discrepancies, the Contractor will refer to the appropriate base drawing information and report discrepancies on the Landscape Drawings to the Landscape Architect.

LEGEND

- TREE LOCATION WITH CANOPY
- DELINEATED SECTIONS & GROUPINGS
- TREE RECOMMENDED TO REMOVE
- SECTION DELINEATED FOR REMOVAL
- TREE PROTECTION SIGN
- TREE PRESERVATION FENCE
- PROPERTY BOUNDARY
- PROPOSED SWALE (BY OTHERS)

13	JUNE 05, 2024	S.K.	REVISED TREE PRESERVATION FENCE AS PER PEL COMMENTS
12	JUNE 03, 2024	S.K.	AS PER SITE PLAN & ELECTRICAL PLAN UPDATES
11	APR. 01, 2024	S.K.	AS PER SITE GRADING / SERVING PLAN UPDATES
10	MAR. 15, 2024	S.K.	AS PER SITE PLAN / ELECTRICAL PLAN UPDATES & TOWN COMMENTS
9	FEB. 09, 2024	S.K.	AS PER TOWN COMMENTS
8	SEPT. 18, 2023	S.K.	AS PER SITE SERVING PLAN UPDATES
7	SEP. 14, 2023	D.L.	AS PER SERVING PLAN UPDATES
6	AUG. 25, 2023	S.K.	AS PER ELECTRICAL PLAN UPDATES
5	AUG. 01, 2023	S.K.	AS PER SITE GRADING & SERVING PLAN UPDATES
4	JULY 6, 2023	D.L.	UPDATE LANDSCAPE PLAN AS PER SURVEY PLAN
3	SEPT 26, 2022	S.K.	ISSUED FOR SUBMISSION TO TOWN
2	JULY 26, 2022	S.K.	AS PER SITE PLAN UPDATES
1	JULY 22, 2022	LO	AS PER UPDATED SITE PLAN
NO	DATE	BY	REVISIONS

STAMP



APPROVAL

TOWN OF INNISFIL
NAME _____
DATE _____
SIGNATURE _____

SITE PLAN PROVIDED BY MCKNIGHT CHARRON LIMITED ARCHITECTS
INNISFIL BEACH ROAD W/ING & 950, 2024-05-27-SHEET - A1.1 - SITE PLAN/GRADING TRANS ON MAY 27, 2024
SITE GRADING & SERVING PLAN PROVIDED BY PINESTONE ENGINEERING LTD
(GRADING & SERVING PLAN - 1:1652 SERV-GRD.DWG TRANS ON MAR.21, 2024)

LANDMARK
ENVIRONMENTAL GROUP LTD
Landscape Architects
Consulting Arborists
Urban Forestry

**LANDSCAPE ARCHITECTS
& CONSULTING ARBORISTS**

OFFICE: 705-796-1122
info@LEGGroupLtd.com
www.LEGroupLtd.com

CLIENT: ROCH DEVELOPMENTS

PROJECT: 946-950 INNISFIL BEACH ROAD

DRAWING: TREE PRESERVATION PLAN 2

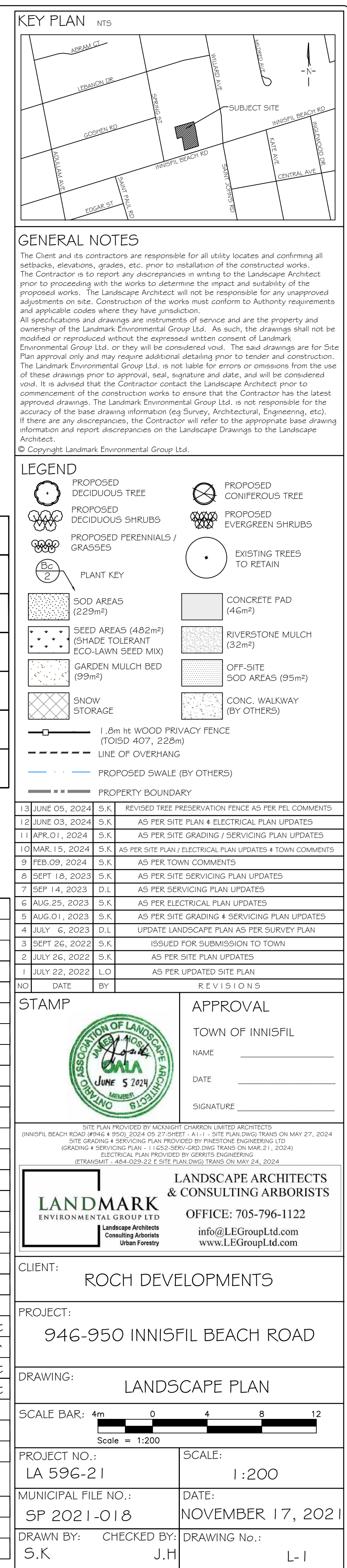
SCALE BAR: 4m 0 4 8 12
Scale = 1:200

PROJECT NO.: LA 59G-21
SCALE: 1:200

MUNICIPAL FILE NO.: 5P 2021-018
DATE: NOVEMBER 17, 2021

DRAWN BY: B.B
CHECKED BY: J.H
DRAWING No.: TP-2

NOTE:
VEGETATION CLEARING IS TO BE AVOIDED FROM APRIL 1 TO AUGUST 31 TO AVOID IMPACTS TO BIRDS PROTECTED UNDER THE MIGRATORY BIRDS CONVENTION ACT. IF CLEARING MUST PROCEED WITHIN THIS WINDOW, THE AFFECTED AREA MUST BE SCREENED BY A QUALIFIED ECOLOGIST BEFORE 48HRS OF CLEARING ACTIVITIES.

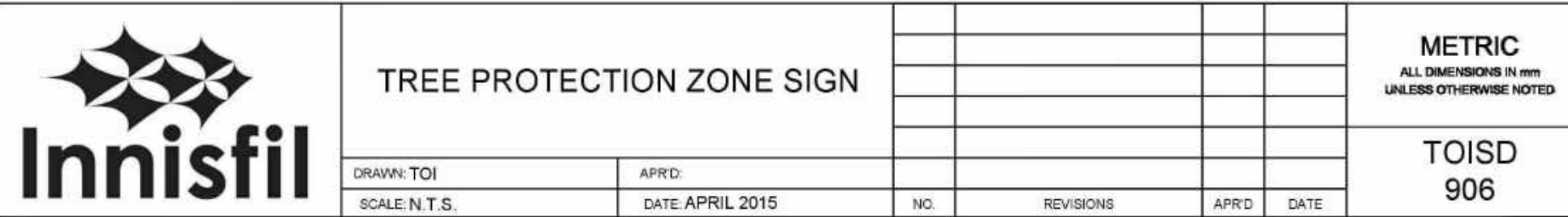


PLANT DENSITY CALCULATIONS			
AREA: 3901.28 m ²		TYPE: RESIDENTIAL	
REQUIRED MIN. TOTALS	PROPOSED TOTALS	VEGETATION TYPE	REQUIRED SIZING
20	20	DECIDUOUS TREES	50mm CAL/WB
10	10	EVERGREEN TREES	2m HT WB
80	80	DECIDUOUS SHRUBS	0.6m - 1.2m HT
40	40	EVERGREEN SHRUBS	0.45m SPR / 1.2m HT

NOTE:

- 1) ALL PROPOSED TREES & SHRUBS SHALL BE PLANTED AS PER THE TOWN OF INNISFIL STANDARDS. PLANTING DETAILS AND PLANTING NOTES ARE FOUND ON SHEET LD-2.
- 2) PROPERTY FENCING IS TO BE INSTALLED ALONG THE PROPERTY LINE AS PER THE TOWN OF INNISFIL STANDARDS. REFER TO LD-2, TOSD 411 FOR DETAILED FENCING LOCATION.

PLANT LIST				
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE/CONDITION
DECIDUOUS TREE				
As	1	<i>Acer saccharum</i>	Sugar Maple	50mm cal/WB
Ar	2	<i>Acer rubrum</i>	Red Maple	50mm cal/WB
Ac	2	<i>Amelanchier canadensis</i>	Serviceberry	50mm cal/WB
Cc	4	<i>Carpinus caroliniana</i>	Blue Beech	50mm cal/WB
Ce	5	<i>Cercis canadensis</i>	Eastern Redbud	50mm cal/WB
Ov	6	<i>Ostrya virginiana</i>	Ironwood	50mm cal/WB
EVERGREEN TREE				
Jv	5	<i>Juniperus virginiana</i>	Eastern Red Cedar	2m ht WB
To	5	<i>Thuja occidentalis</i>	Eastern White Cedar	2m ht WB
DECIDUOUS SHRUB				
Am	9	<i>Aronia melanocarpa</i>	Black Chokeberry	2gal pot/60cm ht
Ca	16	<i>Ceanothus americanus</i>	New Jersey Tea	2gal pot/60cm ht
Cs	6	<i>Cornus amomum</i>	Silky Dogwood	2gal pot/60cm ht
Po	13	<i>Physocarpus opulifolius</i>	Common Ninebark	2gal pot/60cm ht
Ro	10	<i>Rubus odoratus</i>	Purple Flowering Raspberry	2gal pot/60cm ht
Sa	16	<i>Spiraea alba</i>	Meadow-sweet	2gal pot/60cm ht
Vd	10	<i>Viburnum dentatum</i>	Arrowwood	2gal pot/60cm ht
EVERGREEN SHRUB				
Iv	10	<i>Ilex verticillata</i>	Winterberry Holly	3gal pot/120cm ht
Jh	5	<i>Juniperus horizontalis</i>	Creeping Juniper	3gal pot/45cm spr
Mp	10	<i>Myrica pensylvanica</i>	Bayberry	3gal pot/120cm ht
Tx	15	<i>Taxus canadensis</i>	Canadian Yew	3gal pot/120cm ht
PERENNIALS				
Rf	5	<i>Rudbeckia fulgida</i>	Black-eyed Susan	1gal pot/60cm ht
Ss	5	<i>Schizachyrium scoparium</i>	Little bluestem	1gal pot/60cm ht
PLANT LIST (OFF-SITE)				
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE/CONDITION
DECIDUOUS TREE				
Gt	2	<i>Gleditsia triacanthos var. intermis</i>	Thornless Honeylocust	50mm cal/WB



THE INTENT OF THE TREE PRESERVATION PLAN IS TO PROVIDE PROTECTION AND PRESERVATION OF EXISTING TREES ON THE SUBJECT PROPERTY. THEREFORE, ALL TREES ARE TO BE PRESERVED UNLESS OTHERWISE INDICATED IN THE PLAN OR THE ARBORIST'S REPORT. CONTACT THE LANDSCAPE ARCHITECT TO CONFIRM THE REMOVAL/RETENTION STATUS OF ANY TREES ON SITE, PRIOR TO CLEARING AND GRUBBING. THE OWNER WILL TAKE EVERY PRECAUTION TO PROTECT AND PRESERVE THE TREES APPROVED TO BE RETAINED IN ACCORDANCE WITH THE APPROVED PLANS.

7. PRIOR TO THE COMMENCEMENT OF ANY CLEARING, GRUBBING OR CONSTRUCTION WORKS, THE REQUIRED HOARDING WILL BE ERECTED 5M OUTSIDE OF THE OUTERMOST DRIPLINE OF ANY TREE TO BE RETAINED, IN ACCORDANCE WITH THE HOARDING DETAIL, AND TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT. ERECTION OF ANY PROTECTION FENCING LESS THAN 5M SHALL BE UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT.

5. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ERECT AND MAINTAIN ALL HOARDING AS PER THE APPROVED DETAIL, PRESERVATION NOTES AND LOCATIONS SHOWN ON THE DRAWINGS.

5. TREES LOCATED ON THE IMMEDIATE EDGE OF THE CONSTRUCTION WORKS ARE TO BE PRUNED IN THE INTEREST OF SAFETY, IN ACCORDANCE WITH APPROVED ARBORICULTURAL PRACTICES.

S. TREE LOCATIONS ARE APPROXIMATE AND THEREFORE VERIFICATION ON SITE IS REQUIRED.

7. SHOULD A TREE REQUIRED TO BE PROTECTED BECOME DAMAGED OR REMOVED WITHOUT WRITTEN PERMISSION OF THE TOWN OF INNISFIL OR THE LANDSCAPE ARCHITECT, THE CONTRACTOR OR OWNER WILL BE RESPONSIBLE FOR REPLACEMENT OF THE TREE OF EQUAL CALIPER AND ACCEPTABLE TREE SPECIES AT THE DISCRETION AND SATISFACTION OF THE LANDSCAPE ARCHITECT.

THE WORK COMPLETED BY THE CONTRACTOR WILL NOT CAUSE OR EXACERBATE FLOODING CONDITIONS OR CAUSE SEDIMENT BUILDUP OVER THE ROOTZONE OF PROTECTED TREES. NO GRADING SHALL TAKE PLACE WITHIN THE TREE PRESERVATION AREA UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.

9. ANY REQUIRED LIMB TRIMMING SHALL BE UNDER THE DIRECT SUPERVISION OF THE LANDSCAPE ARCHITECT OR A QUALIFIED ARBORIST.

O. PRESERVATION FENCING TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED DETAIL. FILTER FABRIC TO BE INSTALLED IN CONJUNCTION WITH THE APPROVED ENGINEERING DRAWINGS.

1. HOARDING/TREE PRESERVATION MAY BE COMPLETED IN CONJUNCTION WITH SEDIMENTATION CONTROL.



The diagram illustrates the required safety distance around a transformer. A central rectangle labeled "TRANSFORMER" has a "DOOR" indicated at the bottom. It is surrounded by a dashed rectangular boundary. The dimensions are specified as follows:

- A vertical dimension of 1.5 m from the top of the transformer to the top edge of the dashed box.
- A horizontal dimension of 1.5 m from the left side of the transformer to the left edge of the dashed box.
- A horizontal dimension of 1.5 m from the right side of the transformer to the right edge of the dashed box.
- A vertical dimension of 3 m from the bottom of the transformer to the bottom edge of the dashed box.

The area outside the dashed box contains several circular symbols representing trees or vegetation, indicating the site's context.

DATA SOURCE:
<https://alectrautilities.com/electrical-safety-home>
Landscaping around transformer boxes

PISA SMOOTH™

REGION ONTARIO

UNILOCK
EXCLUSIVE TECHNOLOGIES

**PISA SMOOTH™
COLORS**

CLIFFSIDE GREY

	COPING 850mm x 550mm x 250mm 21 3/4" x 3 3/8" x 10 7/8"		CORNER 650mm x 650mm x 275mm 21 3/4" x 3 3/8" x 10 7/8"
	STANDARD 850mm x 550mm x 275mm 21 3/4" x 3 3/8" x 10 7/8"		

IRISH COAST

	COPING 850mm x 550mm x 250mm 21 3/4" x 3 3/8" x 10 7/8"		CORNER 650mm x 650mm x 275mm 21 3/4" x 3 3/8" x 10 7/8"
	STANDARD 850mm x 550mm x 275mm 21 3/4" x 3 3/8" x 10 7/8"		

GRANITE

	COPING 850mm x 550mm x 250mm 21 3/4" x 3 3/8" x 10 7/8"		CORNER 650mm x 650mm x 275mm 21 3/4" x 3 3/8" x 10 7/8"
	STANDARD 850mm x 550mm x 275mm 21 3/4" x 3 3/8" x 10 7/8"		

**PISA SMOOTH™
FINISH**

STANDARD FINISH

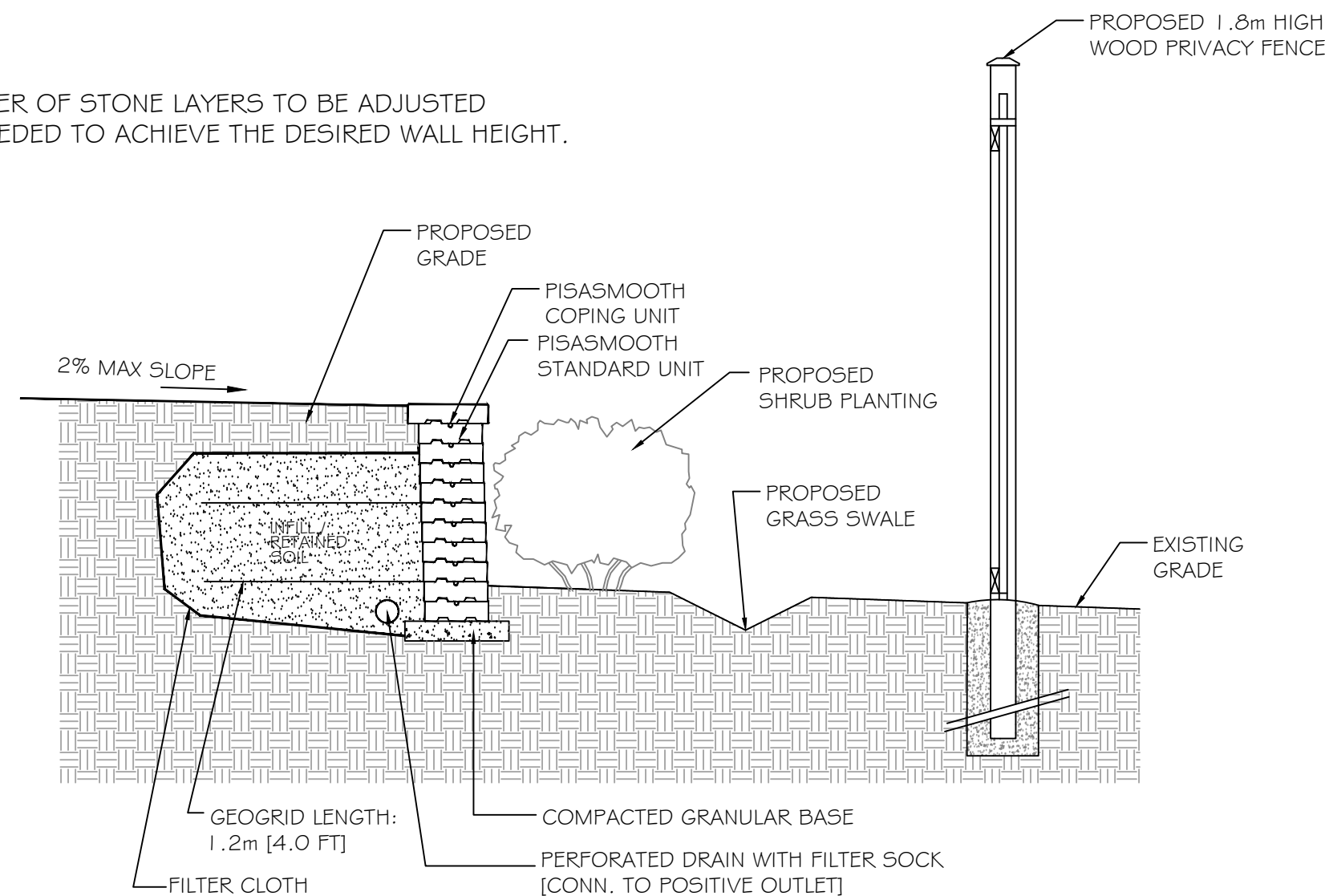
CLASSIC COAT

UNILOCK Exclusive Technologies

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NOTE:
NUMBER OF STONE LAYERS TO BE ADJUSTED
AS NEEDED TO ACHIEVE THE DESIRED WALL HEIGHT.



DETAIL SOURCE: <https://commercial.unilock.com/resources/cross-sections-and-details>

REVIEWED: J.H.	DATE: JUNE 23-23
DRAWN: S.K	SCALE: N.T.S.

GENERAL NOTES

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If there are any discrepancies, the Contractor will refer to the appropriate base drawing for clarification and report discrepancies on the Landscape Drawings to the Landscape Architect.

© Copyright Landmark Environmental Group Ltd.

LEGEND

13	JUNE 05, 2024	S,K	REVISED TREE PRESERVATION FENCE AS PER PEL COMMENTS
12	JUNE 03, 2024	S,K	AS PER SITE PLAN & ELECTRICAL PLAN UPDATES
11	APR. 01, 2024	S,K	AS PER SITE GRADING / SERVICES PLAN UPDATES
10	MAR. 15, 2024	S,K	AS PER SITE PLAN / ELECTRICAL PLAN UPDATES & TOWN COMMENTS
9	FEB. 09, 2024	S,K	AS PER TOWN COMMENTS
8	SEP 18, 2023	S,K	AS PER SITE SERVICING PLAN UPDATES
7	SEP 14, 2023	D,L	AS PER SERVICING PLAN UPDATES
6	AUG 25, 2023	S,K	AS PER ELECTRICAL PLAN UPDATES
5	AUG 01, 2023	S,K	AS PER SITE GRADING & SERVICES PLAN UPDATES
4	JULY 6, 2023	D,L	UPDATE LANDSCAPE PLAN AS PER SURVEY PLAN
3	SEPT 26, 2022	S,K	ISSUED FOR SUBMISSION TO TOWN
2	JULY 26, 2022	S,K	AS PER SITE PLAN UPDATES
1	MAY 22, 2022	L,O	AS PER UPDATED SITE PLAN
0	2/27/22	S,K	REDESIGN FOR "PLAN"

STAMP



APPROVAL

TOWN OF INNISFIL

NAME _____

DATE _____

SIGNATURE _____



LANDSCAPE ARCHITECTS
& CONSULTING ARBORISTS

OFFICE: 705-796-1122

info@LEGGroupLtd.com
www.LEGGroupLtd.com

CLIENT: ROCH DEVELOPMENTS

PROJECT:
946-950 INNISFIL BEACH ROAD

DRAWING: DETAILS I

SCALE BAR:

PROJECT NO.: 1A 59C 21	SCALE: N T S
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MUNICIPAL FILE NO.:	DATE:
CE 2021-018	NOVEMBER 17, 2021

DRAWN BY: B.B. S.K.	CHECKED BY: J.H.	DRAWING No.: LD-1
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"No Net Loss" Calculation Table for Innisfil Compensation

Date: March 15, 2024

Project: 948-950 Innisfil Beach Road, Innisfil

File Number: LA 596-21

No Net Loss Calculations

Total Canopy Area on Site (m2):	1,350
Total Canopy Area to be Retained (m2):	0
Total Canopy Area to be Compensated (m2):	1,350

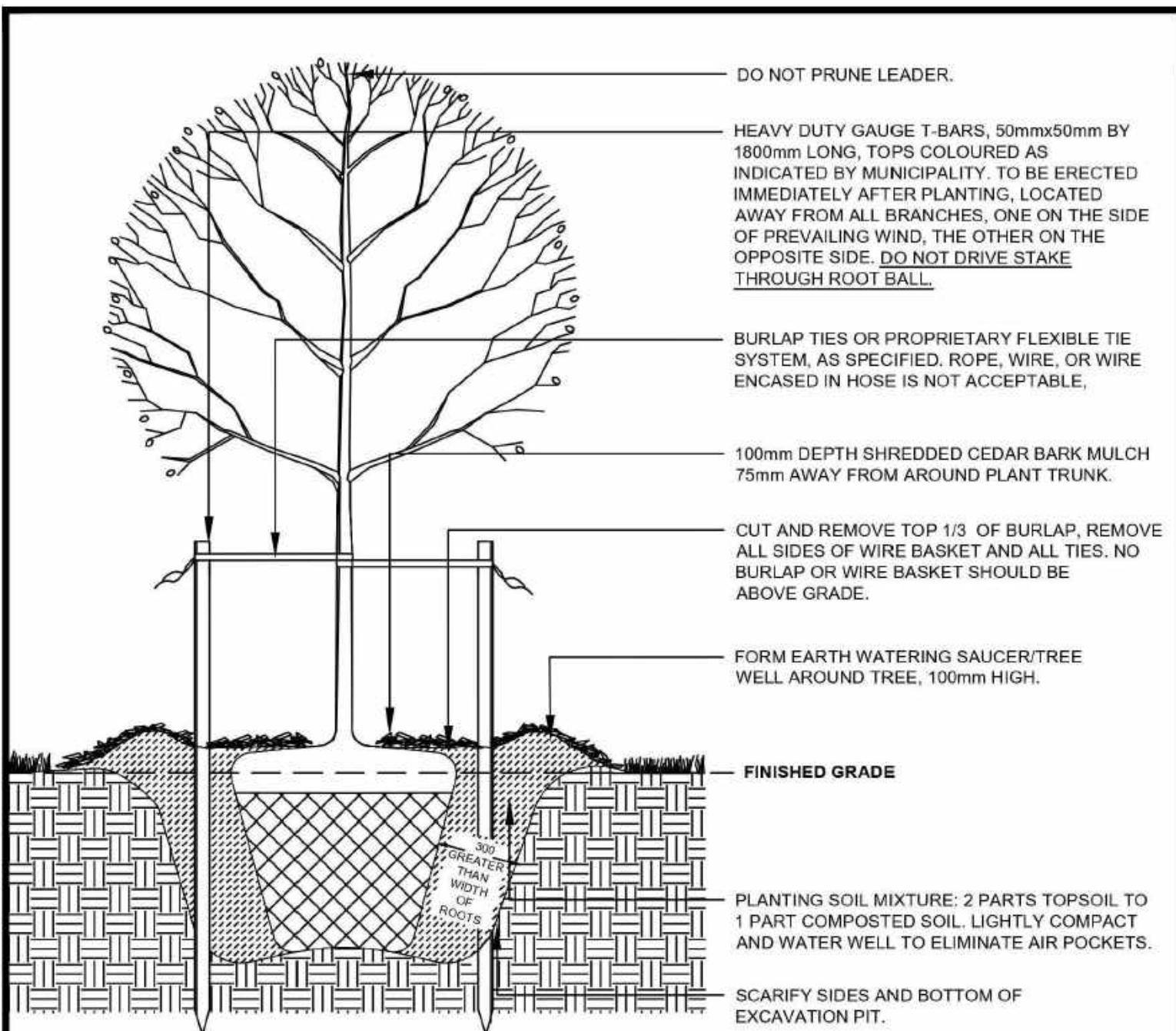
Compensation Tree Recommendations

Latin Name	Common Name	QTY	Canopy Diameter Expectation (m)	Canopy Area (m2)	Total Canopy Area (m2)
<i>Acer saccharum</i>	Sugar Maple	1	18	254	254
<i>Acer rubrum</i>	Red Maple	2	12	113	226
<i>Amelanchier canadensis</i>	Serviceberry	2	4	13	26
<i>Carpinus caroliniana</i>	Blue Beech	4	10	79	314
<i>Cercis canadensis</i>	Eastern Redbud	5	8	50	252
<i>Ostrya virginiana</i>	Ironwood	6	8	50	302

Total Canopy Area

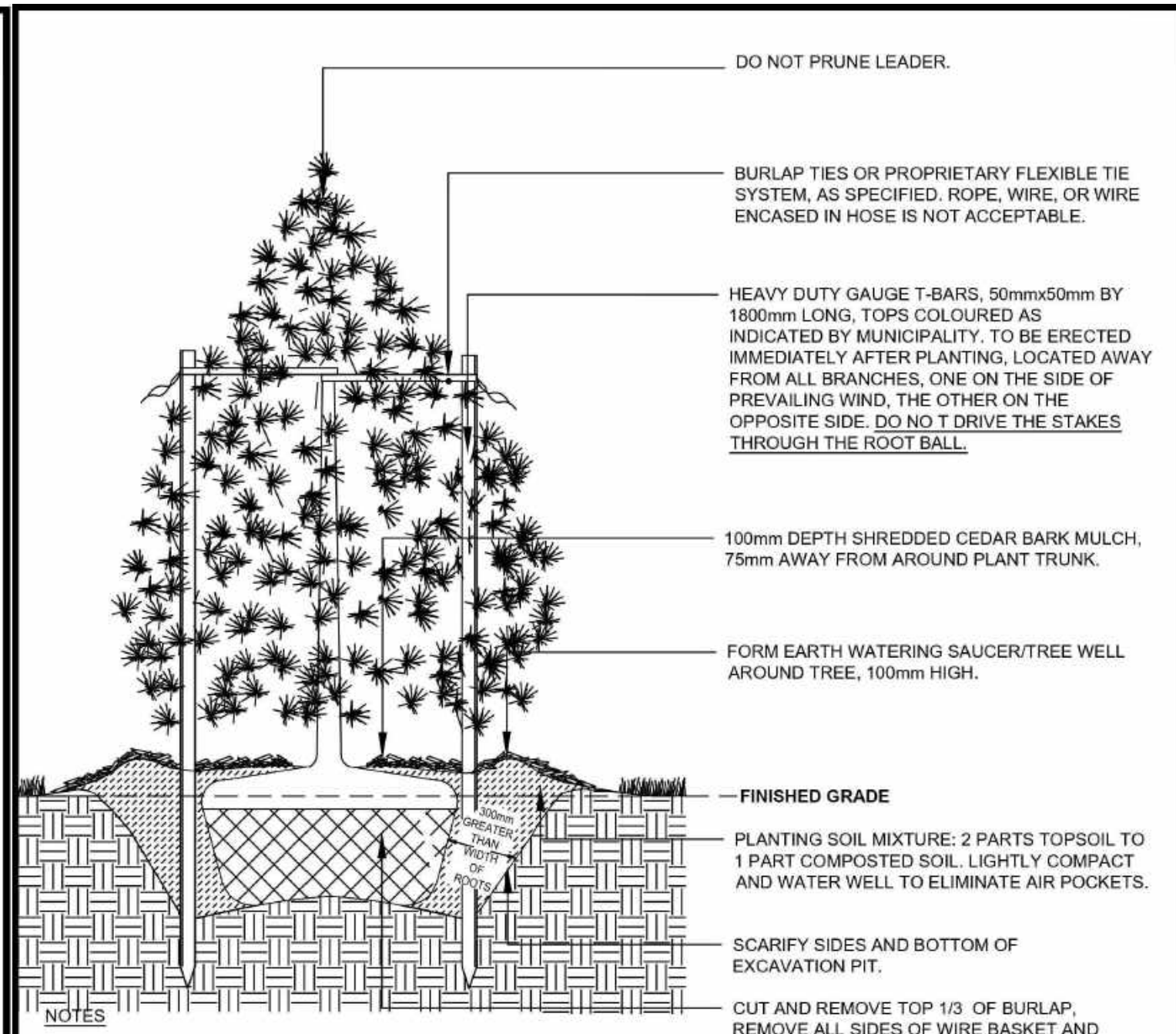
No Net Loss Calculation Results

Total Canopy Area Compensation Required (m2):	1,350
Total Canopy Area Compensation Provided (m2):	1,374



- NOTES**
- DO NOT ALLOW AIR POCKETS WHEN BACKFILLING.
 - POSITION CROWN OF ROOT BALL 100mm ABOVE FINISHED GRADE TO ALLOW FOR SETTLING.
 - DO CORRECTIVE PRUNING TO RETAIN NATURAL FORM OF TREE AS DIRECTED BY THE ARBORIST OR LANDSCAPE ARCHITECT, INCLUDING REMOVAL OF DEAD, BROKEN, OR CROSSING BRANCHES OR CODOMINANT LEADERS. DO NOT REMOVE MORE THAN 20% OF LIVE CANOPY.
 - PRUNE GIRDLING ROOTS.
 - WHEN TREES ARE PLANTED ON SLOPES, SEE DRAWING TOISD 903. BOTTOM OF PLANTING PIT TO BE SLOPED TO PROVIDE POSITIVE DRAINAGE.
 - NO TREE PITS SHALL BE LEFT OPEN OVERNIGHT.
 - STAKES AND TIES TO BE REMOVED ONE YEAR AFTER PLANTING. TREES SHOULD BE STRAIGHT AND HAVE A MINIMUM OF 50mm DBH. TREE SHOULD HAVE A STRONG LEADER.
 - BARE ROOT STOCK WILL NOT BE ACCEPTED.

	DECIDUOUS TREE PLANTING		METRIC ALL DIMENSIONS IN mm UNLESS OTHERWISE NOTED
	DRAWN: A&A	APPRD:	
	SCALE: N.T.S.	DATE: JUNE 2011	
		TOISD	901

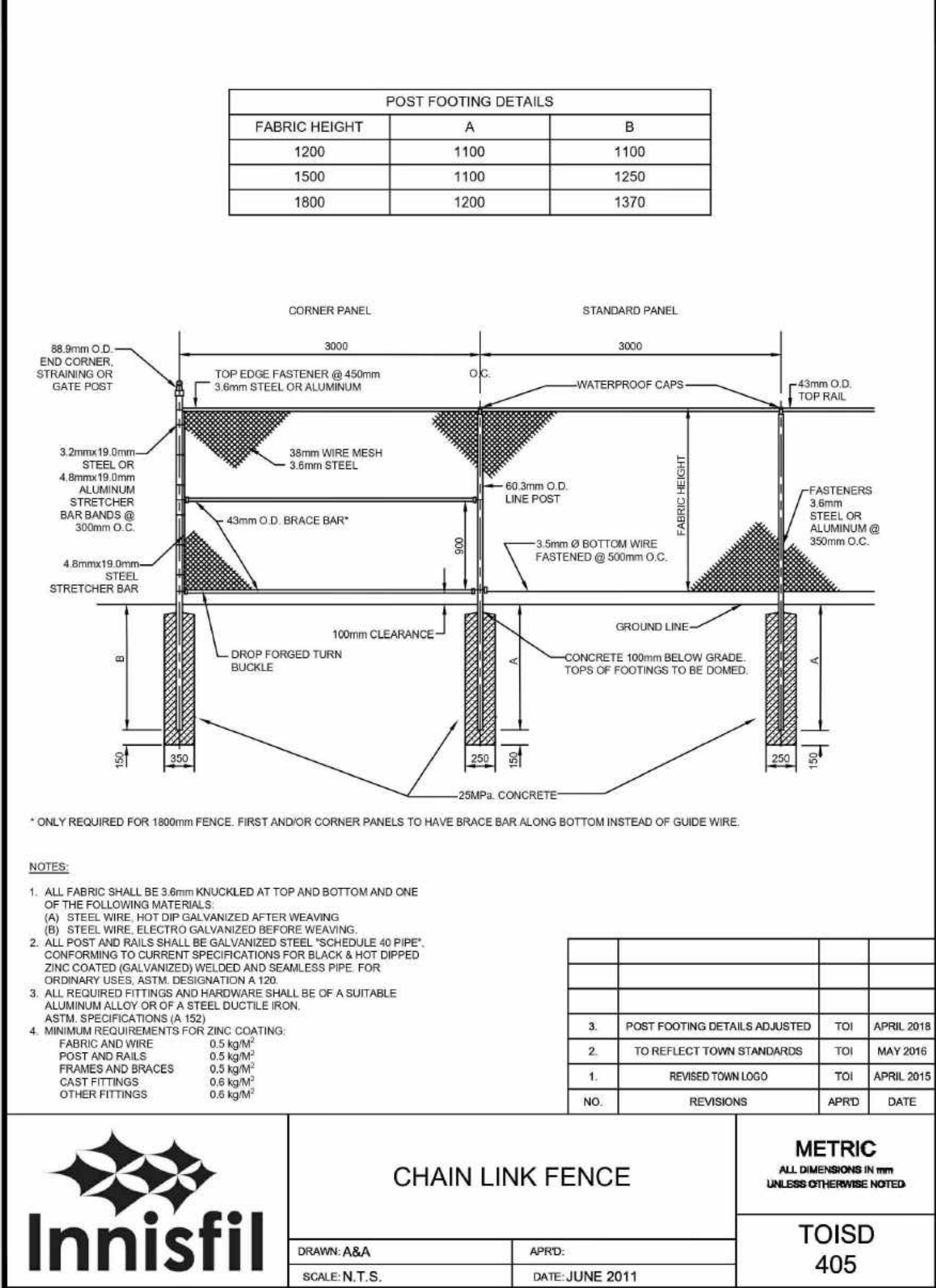


- NOTES**
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 - POSITION CROWN OF ROOT BALL 100mm ABOVE FINISHED GRADE TO ALLOW FOR SETTLING.
 - DO CORRECTIVE PRUNING TO RETAIN NATURAL FORM OF TREE AS DIRECTED BY THE ARBORIST OR LANDSCAPE ARCHITECT, INCLUDING REMOVAL OF DEAD, BROKEN, OR CROSSING BRANCHES OR CODOMINANT LEADERS. DO NOT REMOVE MORE THAN 20% OF LIVE CANOPY.
 - PRUNE GIRDLING ROOTS.
 - WHEN TREES ARE PLANTED ON SLOPES, SEE DRAWING TOISD 903. BOTTOM OF PLANTING PIT TO BE SLOPED TO PROVIDE POSITIVE DRAINAGE.
 - NO TREE PITS SHALL BE LEFT OPEN OVERNIGHT.
 - STAKES AND TIES TO BE REMOVED ONE YEAR AFTER PLANTING. TREES SHOULD BE STRAIGHT AND BE A MINIMUM OF 200mm TALL.
 - TREE SHOULD HAVE A STRONG LEADER.
 - BARE ROOT STOCK WILL NOT BE ACCEPTED.

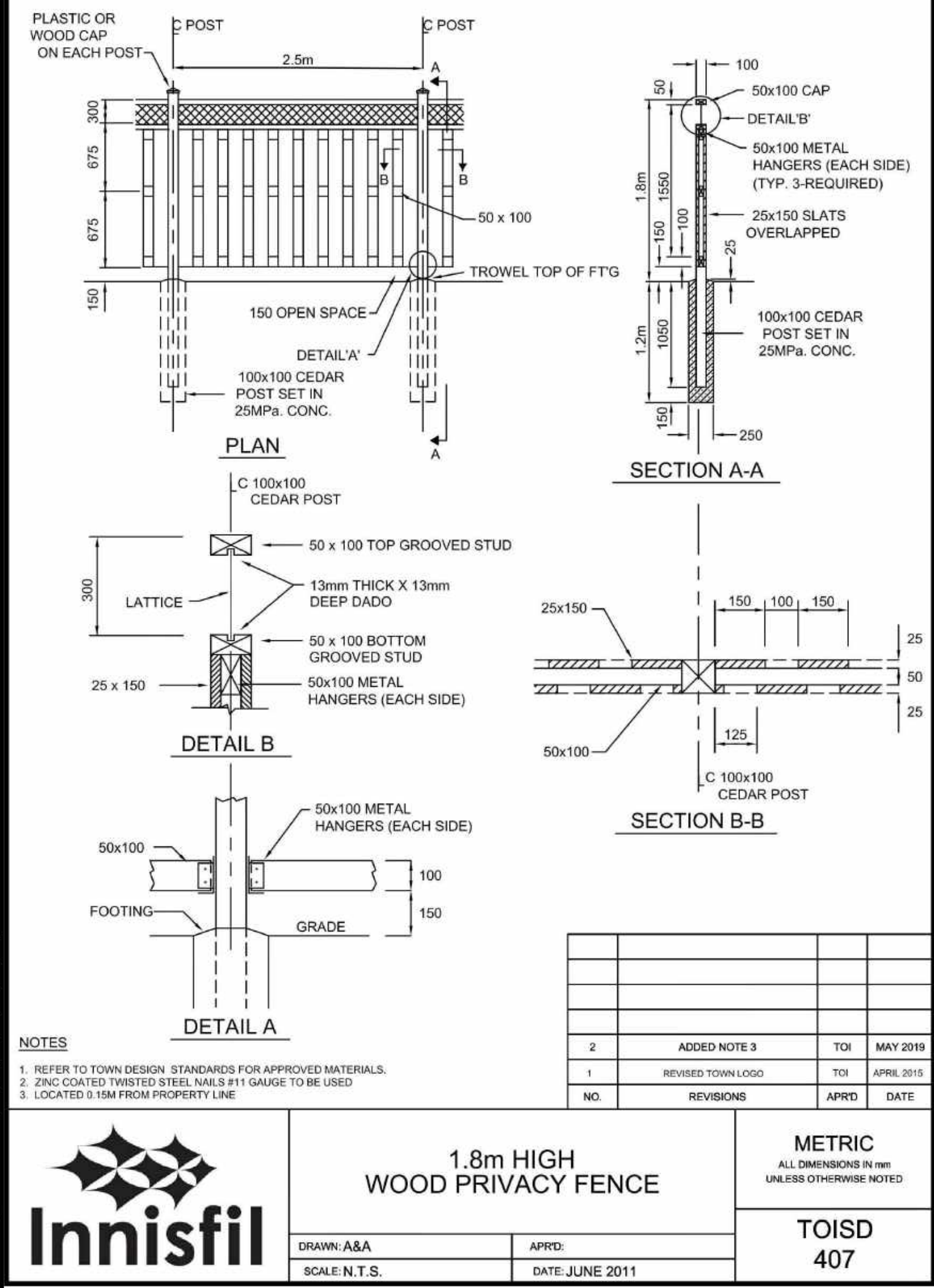
	CONIFEROUS TREE PLANTING		METRIC ALL DIMENSIONS IN mm UNLESS OTHERWISE NOTED
	DRAWN: A&A	APPRD:	
	SCALE: N.T.S.	DATE: JUNE 2011	
		TOISD	902

PLANTING NOTES

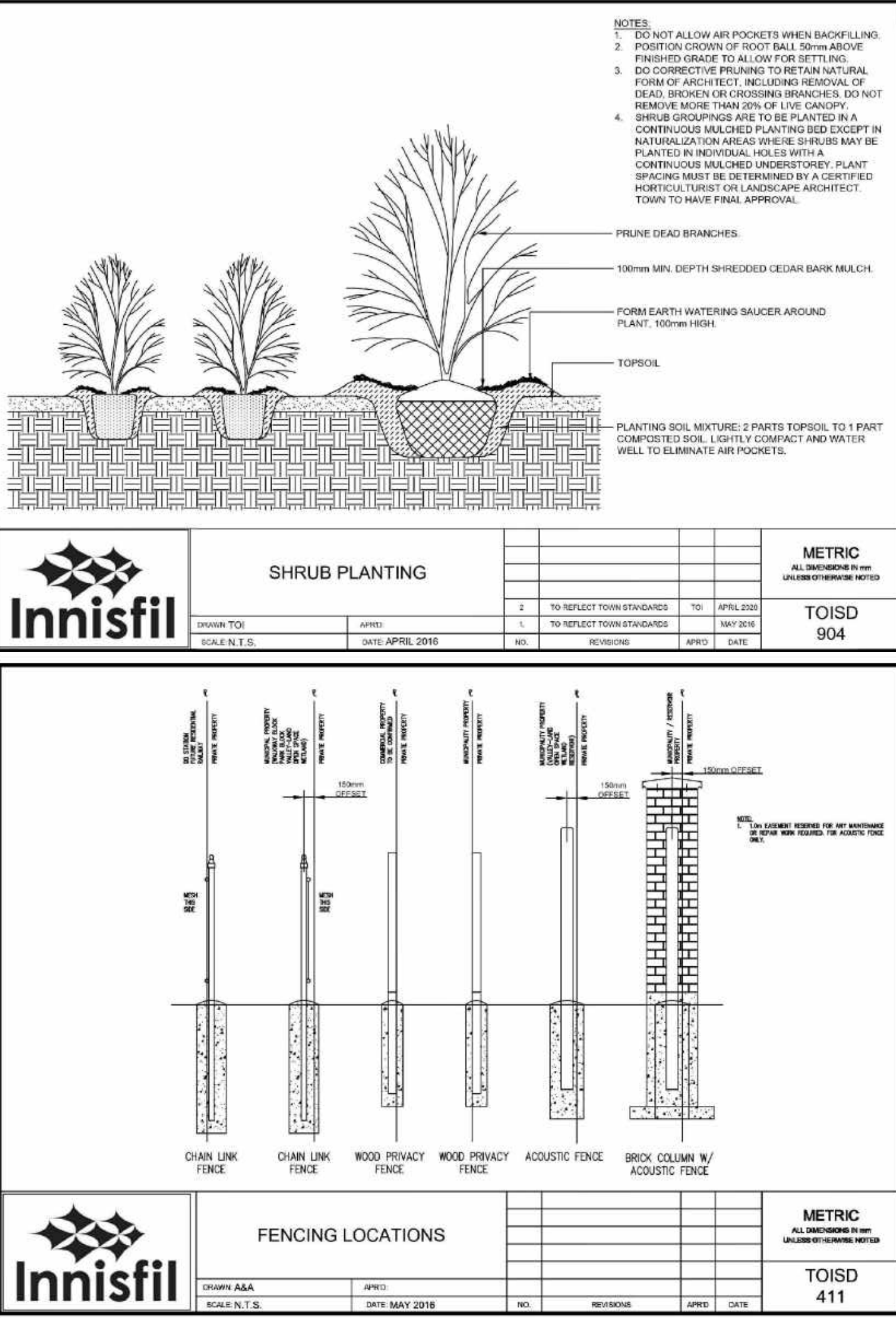
- The Contractor shall review all information in all drawings details and specifications and report any discrepancies to the Landscape Architect in writing prior to commencement of works.
- All planting and related work shall be completed by experienced personnel under the direction and supervision of a qualified foreman.
- All plant material which cannot be planted immediately will be properly heeled in or covered with a similar material which will keep root surfaces moist until planted.
- All plant material and operations shall meet or exceed current horticultural standards of the Canadian Nursery Trade Association and the Ontario Landscape Contractors Association. All plant material to be No. 1 Grade Nursery Stock. All unsatisfactory stock including field grown will be refused on site.
- The Landscape Architect reserves the right to reject any material, plantings and sod prior to or after installation which does not conform to approved specifications in accordance with approved details. The Contractor will be asked to remove any unapproved material which does not conform to specifications unless there is prior written agreement with the Landscape Architect.
- Trees and shrubs shall have an uncut, strong central leader, be sound, healthy, vigorous, well-branched, densely foliated, free of disease, insects and have well-developed root systems.
- Where applicable, sod to be Canada No. 1 Nursery Sod, meeting Ontario Sod Growers Association Standards. All Areas to receive 200mm minimum depth of topsoil under sod unless otherwise indicated. See Drawings and Specifications for areas to be mulched.
- The Contractor shall stake out all planting locations for approval by the Landscape Architect or Contract Administrator prior to planting. Where dimensions are not provided, the drawing may be scaled ONLY to determine approximate locations of plant material. Dimensions are in millimeters unless otherwise stated.
- All mass plantings shall be in continuous beds with mulch as specified in planting details.
- All planting will be under warrantee by the Contractor for a minimum of 1 year. The Contractor shall water at time of planting and whenever deemed necessary to maintain trees in a healthy condition. Apply aqueous fertilizer in a ratio of 10-6-4 in accordance with manufacturers instructions. Sod, where specified, to be maintained and guaranteed until established, minimum after two mowings.
- Unwrap or do not wrap tree trunks. Stake trees in accordance with required specifications.
- Provide sufficient rodent protection on all new planting so as to deter bark or shoot damage by rodents. Significant rodent damage, as determined by the Landscape Architect will require plant replacement.



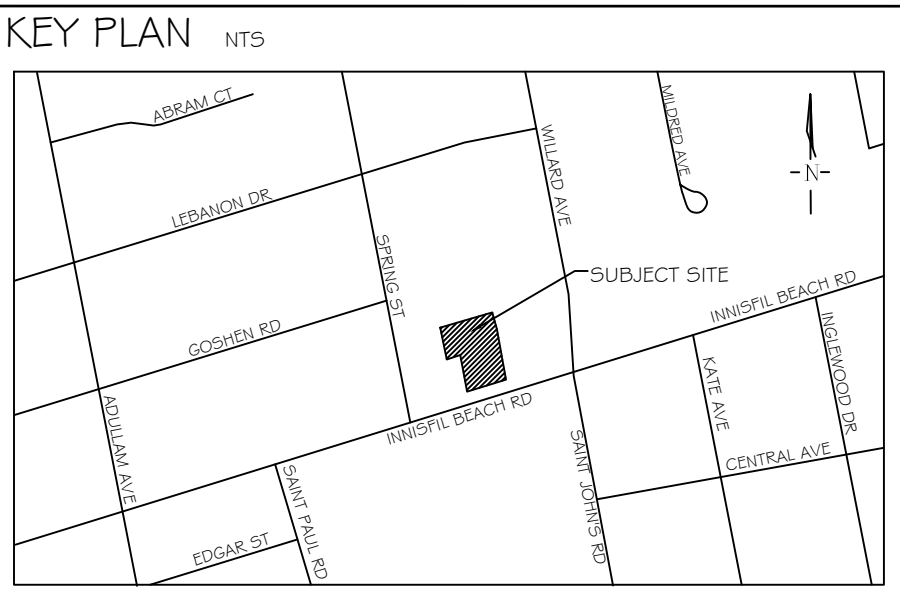
	CHAIN LINK FENCE		METRIC ALL DIMENSIONS IN mm UNLESS OTHERWISE NOTED
	DRAWN: A&A	APPRD:	
	SCALE: N.T.S.	DATE: JUNE 2011	
		TOISD	405



	1.8m HIGH WOOD PRIVACY FENCE		METRIC ALL DIMENSIONS IN mm UNLESS OTHERWISE NOTED
	DRAWN: A&A	APPRD:	
	SCALE: N.T.S.	DATE: JUNE 2011	
		TOISD	407



	FENCING LOCATIONS		METRIC ALL DIMENSIONS IN mm UNLESS OTHERWISE NOTED
	DRAWN: A&A	APPRD:	
	SCALE: N.T.S.	DATE: MAY 2018	
		TOISD	411




GENERAL NOTES

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LEGEND

13 JUNE 05, 2024	S.K.	REVISED TREE PRESERVATION FENCE AS PER PEL COMMENTS
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1 JULY 22, 2022	L.O.	AS PER UPDATED SITE PLAN
NO	DATE	BY
REVISIONS		

	STAMP		APPROVAL
	TOWN OF INNISFIL		
		NAME	_____
		DATE	_____
		SIGNATURE	_____

	LANDSCAPE ARCHITECTS & CONSULTING ARBORISTS	
	OFFICE: 705-796-1122	
	info@LEGroupLtd.com www.LEGroupLtd.com	

CLIENT:		ROCH DEVELOPMENTS	
PROJECT:		946-950 INNISFIL BEACH ROAD	
DRAWING:		DETAILS 2	
SCALE BAR:			
PROJECT NO.: LA 596-21		SCALE: N.T.S	
MUNICIPAL FILE NO.: SP 2021-018		DATE: NOVEMBER 17, 2021	
DRAWN BY: S.K.		CHECKED BY: J.H.	
		DRAWING No.: LD-2	

MAGLIN SITE FURNITURE INC.
WWW.MAGLIN.COM
TEL: 800-716-5506
FAX: 877-260-9393

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TITLE:
MLB4000 BENCH, BACKLESS, HDPE
PART NO:
MLB4000-B-R(X)
SCALE (A)
1:16
WEIGHT:
94.17 LBS
DATE:
2015-08-28
M02

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DATE:
2015-08-28
M02

350 SERIES

MATERIALS: Bike Rack is constructed using H.S. steel tube, formed steel and solid steel angle.

FINISH: All steel components are protected with E-Coat rust proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces.

INSTALLATION: The bike rack is delivered pre-assembled. It is available with a surface mount installation.

TO SPECIFY: Select MBR350-4-S
Choose:
- Powdercoat Color

OPTIONS: MBR350-5-S (5 rings)

DIMENSIONS:
Height: 23.81" (60.48cm)
Length: 37.25" (94.62 cm)
Diameter: 24.63" (62.56 cm)
Weight: 79.4 lbs (36.0 kg)

T: 800-716-5506
F: 877-260-9393
WWW.MAGLIN.COM
SALES@MAGLIN.COM

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- Details and specifications may vary due to continuing improvements of our products.

MATERIALS: Bike Rack is constructed using H.S. steel tube, formed steel and solid steel angle.

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210 SERIES

MATERIALS: Table frame is made from 3" x 2-3/8" structural I-Beam with mitered corners. Horizontal support beams are used for superior stability and structural integrity. Surface material is ipe hardwood.

FINISH: All steel components are protected with E-Coat rust proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces.

INSTALLATION: The table is delivered pre-assembled. Holes (0.5") are provided for securing to base.

TO SPECIFY: Select MLPT210-S-W-WCA
Choose:
- Powdercoat Color

OPTIONS: - Gaming board (GB)
- Wheelchair accessibility (WCA)
- IPE Wood (W)
- Surface Mount (S)

DIMENSIONS:
Height: 29.63" (75.2 cm)
Length: 70" (177.8 cm)
Width: 66.4" (168.8 cm)
Weight: 386.63 lbs (175.37 kg)

T: 800-716-5506
F: 877-260-9393
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MATERIALS: Table frame is made from 3" x 2-3/8" structural I-Beam with mitered corners. Horizontal support beams are used for superior stability and structural integrity. Surface material is ipe hardwood.

FINISH: All steel components are protected with E-Coat rust proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces.

INSTALLATION: The table is delivered pre-assembled. Holes (0.5") are provided for securing to base.

TO SPECIFY: Select MLPT210-S-W-WCA
Choose:
- Powdercoat Color

OPTIONS: - Gaming board (GB)
- Wheelchair accessibility (WCA)
- IPE Wood (W)
- Surface Mount (S)

DIMENSIONS:
Height: 29.63" (75.2 cm)
Length: 70" (177.8 cm)
Width: 66.4" (168.8 cm)
Weight: 386.63 lbs (175.37 kg)

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KEY PLAN

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NO. DATE BY

STAMP

APPROVAL

TOWN OF INNISFIL

NAME _____

DATE _____

SIGNATURE _____

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CLIENT: ROCH DEVELOPMENTS

PROJECT: 946-950 INNISFIL BEACH ROAD

DRAWING: DETAILS 3

SCALE BAR:

PROJECT NO.: LA 596-21	SCALE: N.T.S.
MUNICIPAL FILE NO.: SP 2021-018	DATE: NOVEMBER 17, 2021
DRAWN BY: S.K.	CHECKED BY: J.H.
DRAWING No.: LD-3	