



**COMMITTEE OF ADJUSTMENT NOTICE OF PUBLIC HEARING  
APPLICATION NO. A-023-2025, A-024-2025 & A-2025-049**

**TAKE NOTICE** that an application has been received by the Town of Innisfil from **Amy & Adam Skidmore, Owner**, for a minor variance from Zoning By-law 080-13, pursuant to Section 45 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended.

The subject properties are described legally as **PLAN 1065 LOT 23 RP 51R7727 PART 5** known municipally as **3867 Dixon Rd** and is zoned “**Residential (R1)**”.

**The applicant is seeking relief from Section 3.3b of the Zoning By-Law which limits the gross floor area of an accessory building to 50m<sup>2</sup>. The applicant is proposing to construct a detached garage with ADU with a gross floor area of approximately 185m<sup>2</sup>.**

**The applicant is seeking relief from Section 3.5i) of the Zoning By-Law which does not permit detached accessory dwelling units in the front yard. In the case of this through lot, the front yard has been identified as Big Bay Point Rd as per Section 2.125e) of the Zoning By-law.**

**The applicant is seeking relief from Section 3.3f) of the Zoning By-law which does not permit an accessory building to exceed the height of the principal building on the lot or 5.0m. The applicant is seeking relief from this section to permit a height of approximately 5.97m.**

The Committee of Adjustment for the Town of Innisfil will consider this application in person at Town Hall and virtually through Zoom on **Thursday, September 18, 2025, at 6:30 PM.**

To participate in the hearing and/or provide comments, you must register by following the link below or scanning the above QR code:  
<https://innisfil.ca/en/building-and-development/committee-of-adjustment-hearings.aspx>

Requests can also be submitted in writing to:  
Town of Innisfil Committee of Adjustment,  
2101 Innisfil Beach Road, Innisfil, Ontario,  
L9S 1A1 or by email to [planning@innisfil.ca](mailto:planning@innisfil.ca).

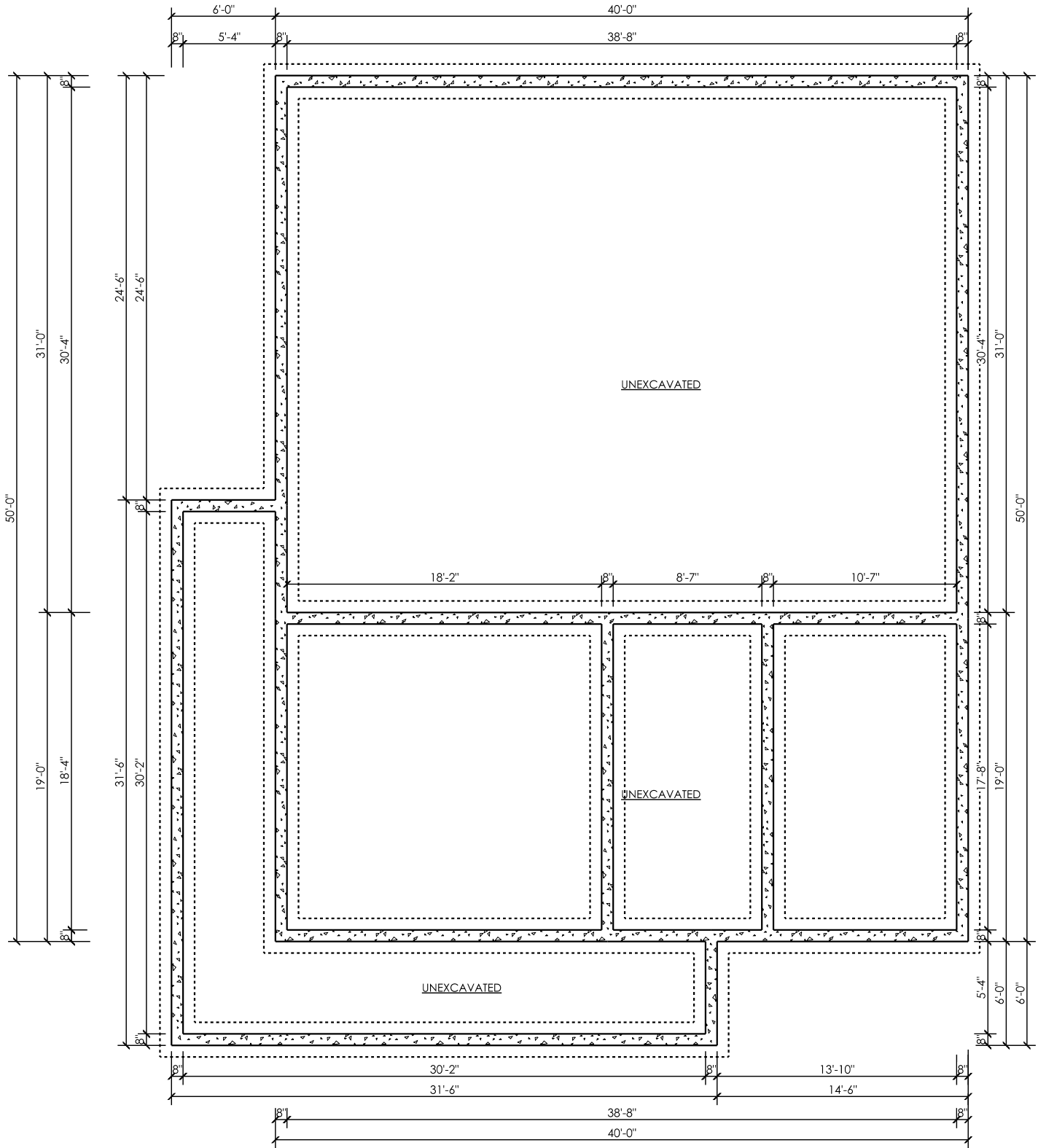
If you wish to receive a copy of the decision of the Committee of Adjustment in respect of the proposed consent, you must make a written request to the Secretary-Treasurer of the Committee of Adjustment by way of email or regular mail. The Notice of Decision will also explain the process for appealing a decision to the Ontario Land Tribunal (OLT).



Additional information relating to the proposed application is available on the Town of Innisfil website. Accessible formats are available on request, to support participation in all aspects of the feedback process. To request an alternate format please contact Planning Services at [planning@innisfil.ca](mailto:planning@innisfil.ca).

Dated: **August 28, 2025**

Sarah Burton Hopkins, Secretary Treasurer  
[sburtonhopkins@innisfil.ca](mailto:sburtonhopkins@innisfil.ca) 705-436-3710 ext. 3504



**FINE LINE DESIGN  
SERVICES**  
GLENN & HEATHER MIDDLEBROOK  
1866 Old Second Rd N  
Phelpston On  
705 322 5588 Cell 705 796 8380  
E-MAIL: heather@finelinedrafting.ca  
www.finelinedrafting.ca

NOTE: THE CONTRACTOR IS RESPONSIBLE  
TO CONFIRM ALL DIMENSIONS PRIOR TO  
THE COMMENCEMENT OF CONSTRUCTION,  
AND REPORT ANY DISCREPANCIES TO THE  
DESIGNER. THE CONTRACTOR MUST COMPLY  
WITH ALL LOCAL AND PROVINCIAL BUILDING  
CODES

INDIVIDUAL BCIN:	14607
FIRM BCIN:	108381
DRAWN BY:	H.M.

The undersigned has reviewed and takes responsibility for this design, and meets the  
requirements set out in the 2024 Ontario Building Code to be a designer.

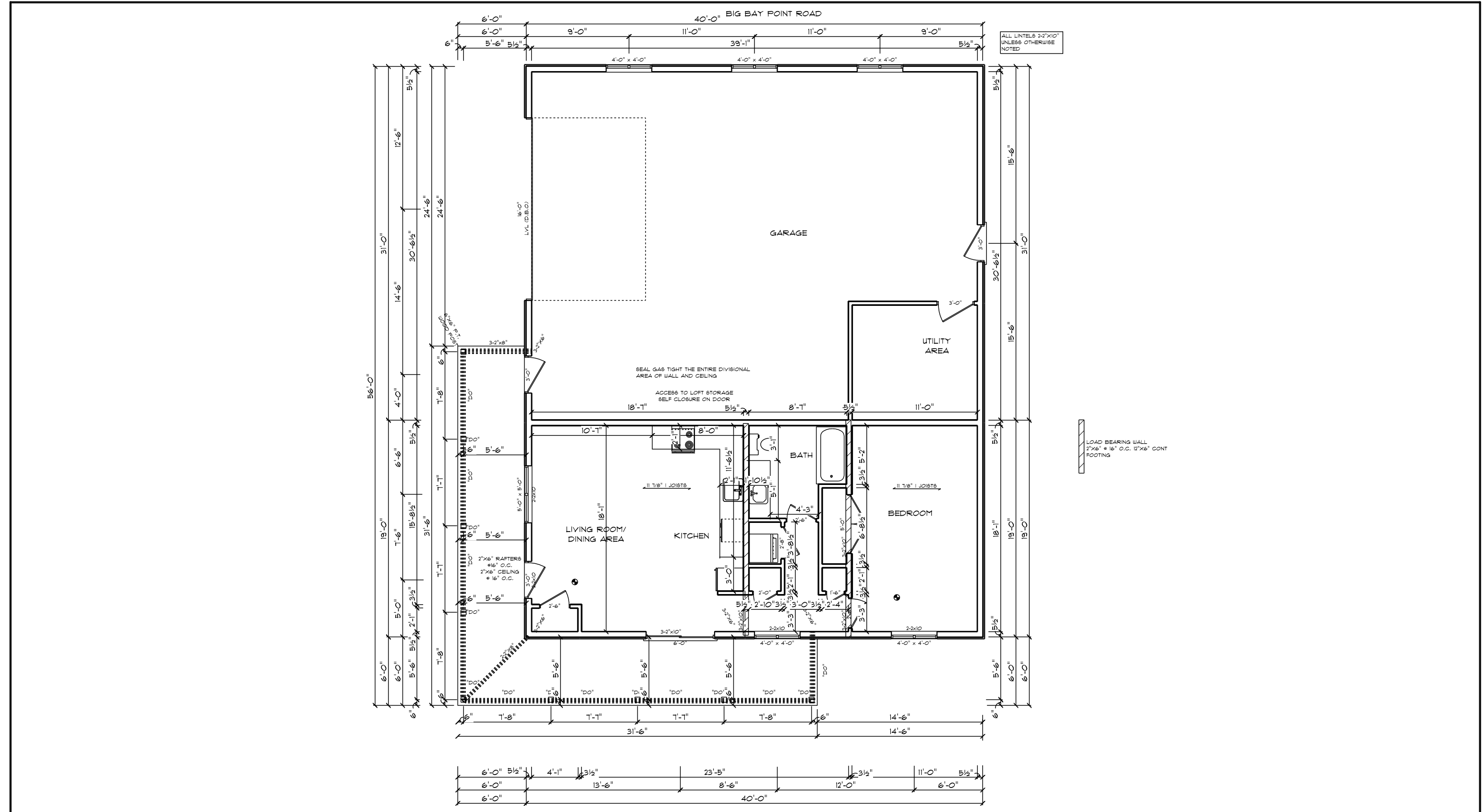
<b>QUALIFICATION INFORMATION</b> Required unless exempt under 3.2.5.1 Division C of the Building Code	
HEATHER MIDDLEBROOK NAME	14607 BCIN
<b>REGISTRATION INFORMATION</b> Required unless exempt under 3.2.4.1 Division C of the Building Code	
FINE LINE DESIGN SERVICES FIRM NAME	108381 BCIN

**Foundation**

PROJECT ADDRESS:	3867 Dixon Road Innisfil
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CLIENT NAME:	SKIDMORE
PROJECT:	PROPOSED NEW SHOP AND DWELLING UNIT
START DATE:	April 1 2024
PRINT DATE:	Sept 8 2024

SCALE:	1/8"=1'-0"
JOB NUMBER:	24-052
DRAWING NUMBER:	A1



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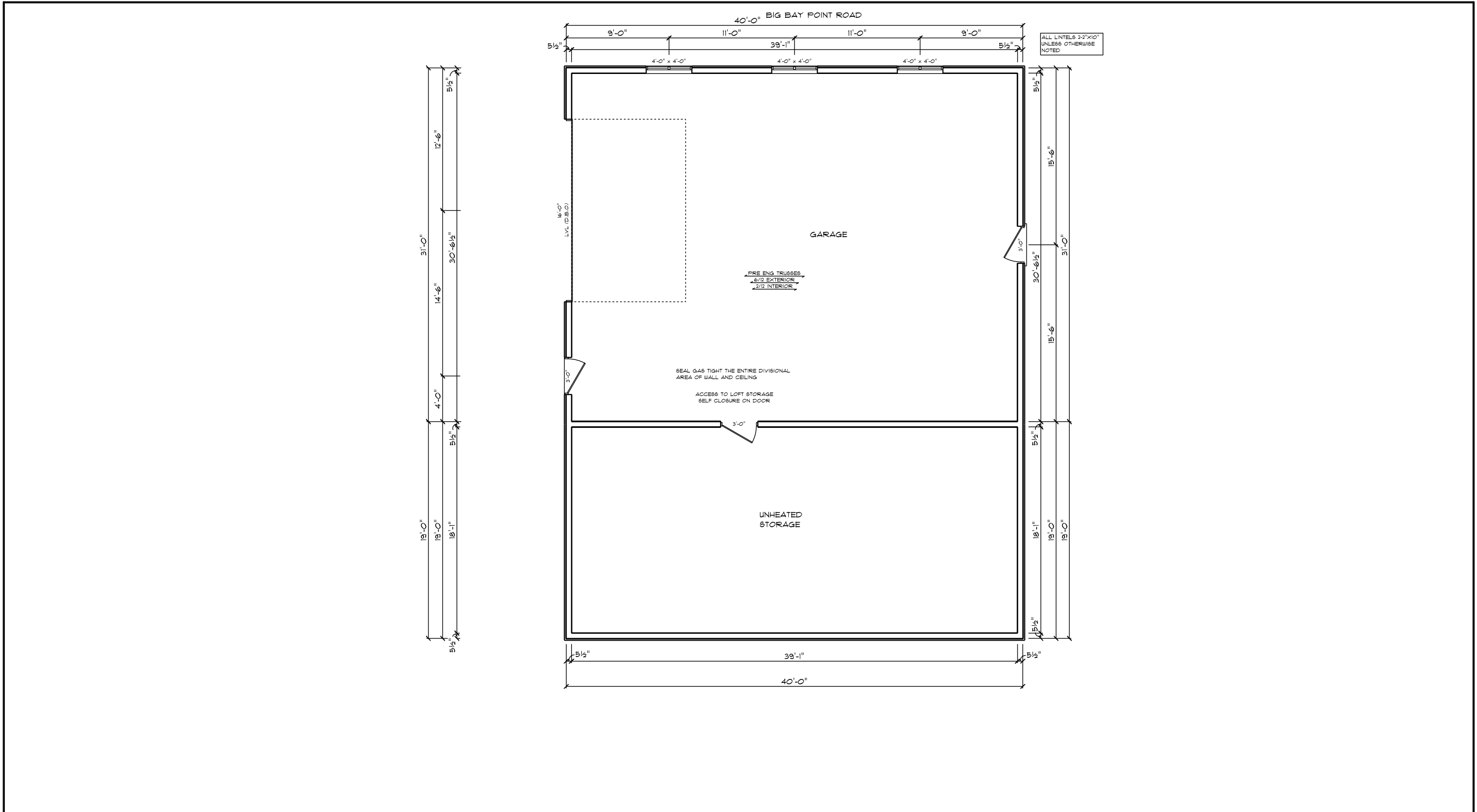
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**Main Floor**

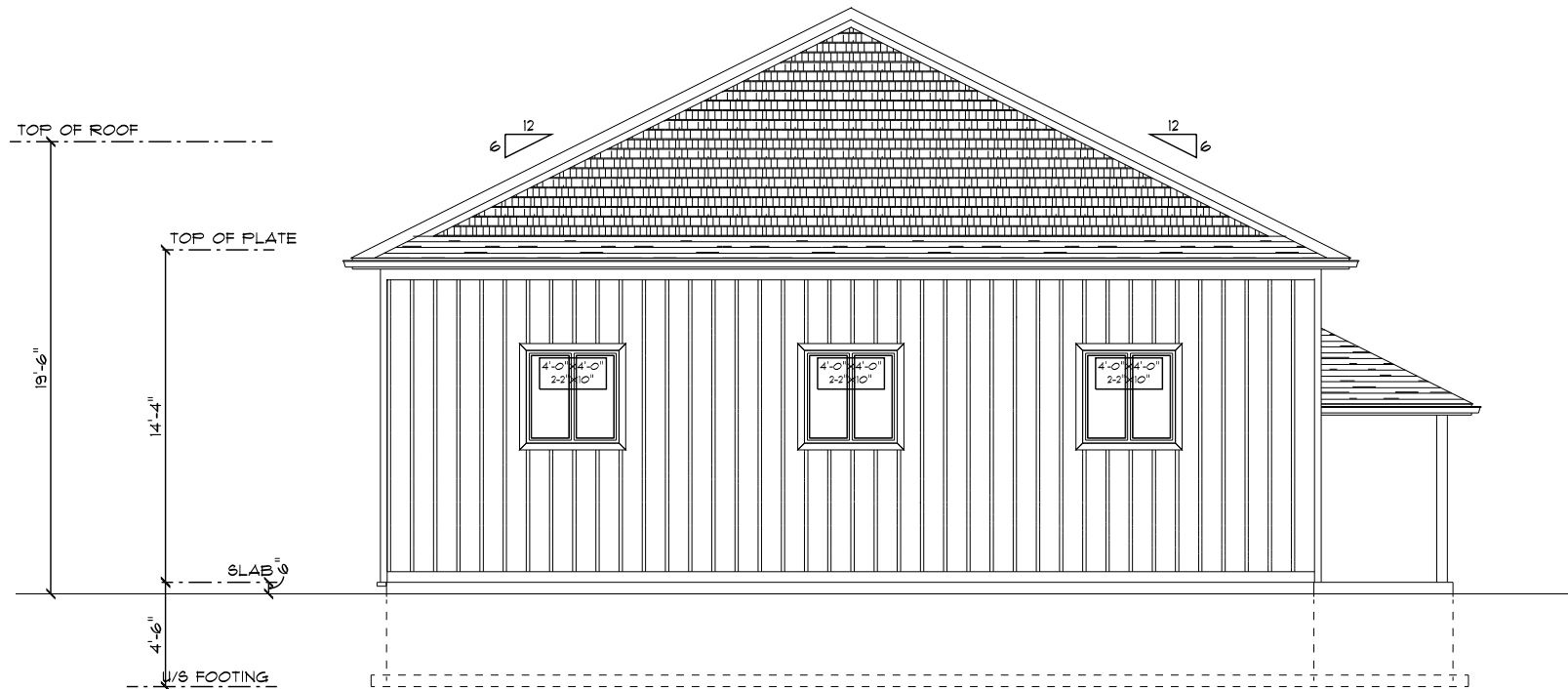
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CLIENT NAME:	SKIDMORE
PROJECT:	PROPOSED NEW SHOP AND DWELLING UNIT
START DATE:	April 1 2024
PRINT DATE:	Sept 3 2024

SCALE:	1/8"=1'-0"
JOB NUMBER:	24-052
DRAWING NUMBER:	A2

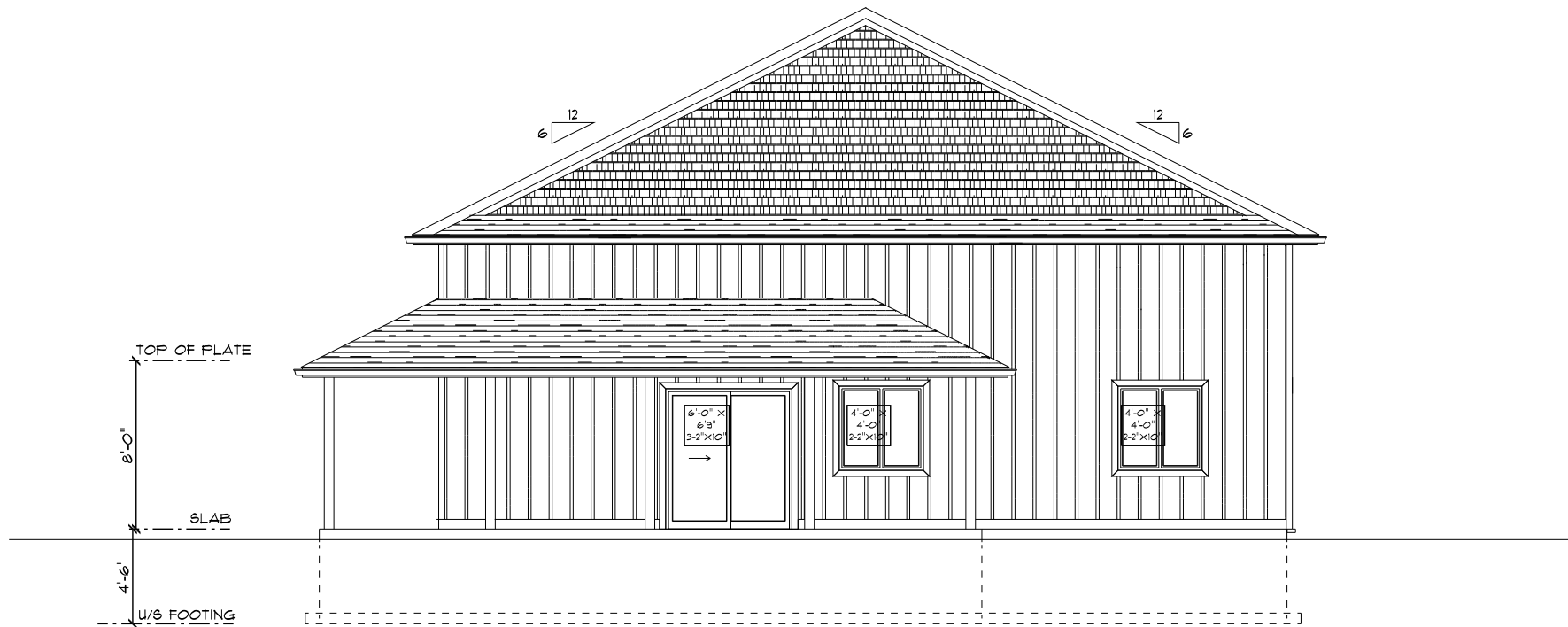


<div><div>FINE LINE DESIGN SERVICES</div><div>GLENN &amp; HEATHER MIDDLEBROOK</div><div>1866 Old Second Rd N Phelpston On 705 322 5588 Cell 705 796 8380 E-MAIL: heather@finelinedrafting.ca www.finelinedrafting.ca</div></div>	NOTE: THE CONTRACTOR IS RESPONSIBLE TO CONFIRM ALL DIMENSIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, AND REPORT ANY DISCREPANCIES TO THE DESIGNER. THE CONTRACTOR MUST COMPLY WITH ALL LOCAL AND PROVINCIAL BUILDING CODES		The undersigned has reviewed and takes responsibility for this design, and meets the requirements set out in the 2024 Ontario Building Code to be a designer.		Loft Area		CLIENT NAME:	SKIDMORE	SCALE:	1/8"=1'-0"
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	FIRM BCIN:	108381	NAME		SIGNATURE	BCIN	START DATE:	April 1 2024	DRAWING NUMBER:	A3
	DRAWN BY:	H.M.	REGISTRATION INFORMATION		Required unless exempt under 3.2.4.1 Division C of the Building Code		PROJECT ADDRESS:	3867 Dixon Road Innisfil		
			FINE LINE DESIGN SERVICES		108381	BCIN				



BIG BAY POINT RD  
ELEVATION

BIG BAY POINT RD  
HABITABLE WALL AREA: 0 SQFT  
OPENING AREA: 0



DIXON ELEVATION  
HABITABLE AREA ONLY: 340 SQFT  
OPENING AREA: 14 SQFT

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HEATHER MIDDLEBROOK  
NAME

*H. Middlebrook*  
SIGNATURE 14607  
BCIN

**REGISTRATION INFORMATION**

Required unless exempt under 3.2.4.1 Division C of the Building Code

FINE LINE DESIGN SERVICES 108381  
FIRM NAME BCIN

Front /Rear  
Elevation

PROJECT ADDRESS: 3867 Dixon Road  
Innisfil

CLIENT NAME:  
SKIDMORE

PROJECT: PROPOSED  
NEW SHOP AND  
DWELLING UNIT

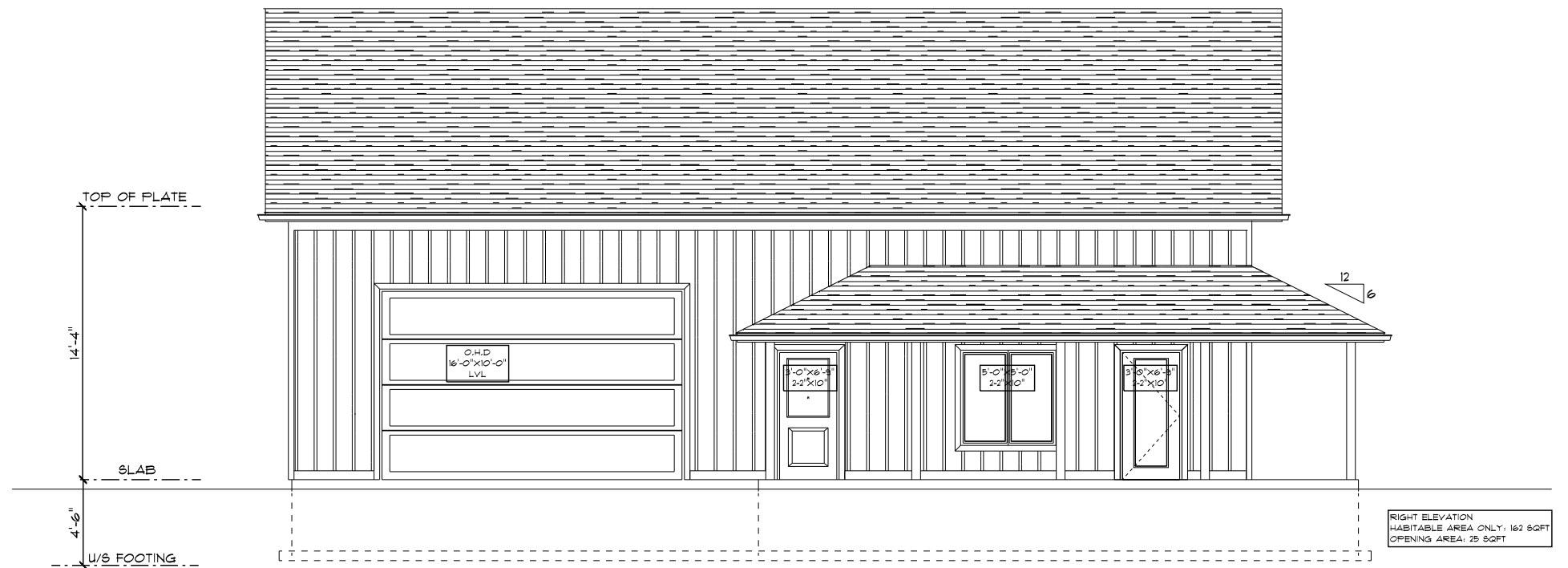
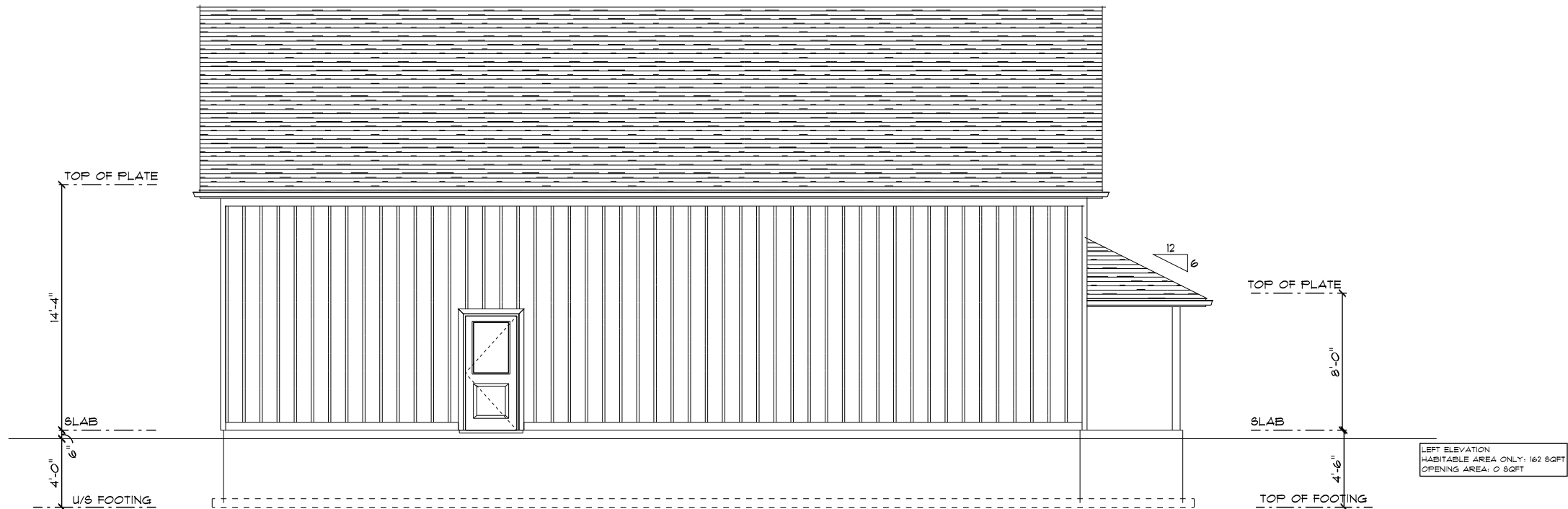
START DATE: April 1 2024

PRINT DATE: Sept 3 2024

SCALE:  
1/8"=1'-0"

JOB NUMBER:  
24-052

DRAWING  
NUMBER:  
**A4**



**FINE LINE DESIGN  
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GLENN & HEATHER MIDDLEBROOK  
8254 8th Lne  
Utopia, On  
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FIRM BCIN: 108381

DRAWN  
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HEATHER MIDDLEBROOK 14607  
NAME SIGNATURE BCIN

**REGISTRATION INFORMATION**

Required unless exempt under 3.2.4.1 Division C of the Building Code

FINE LINE DESIGN SERVICES 108381  
FIRM NAME BCIN

Elevations

PROJECT ADDRESS: 3867 Dixon Road  
Innisfil

CLIENT NAME:

SKIDMORE

PROJECT:

PROPOSED  
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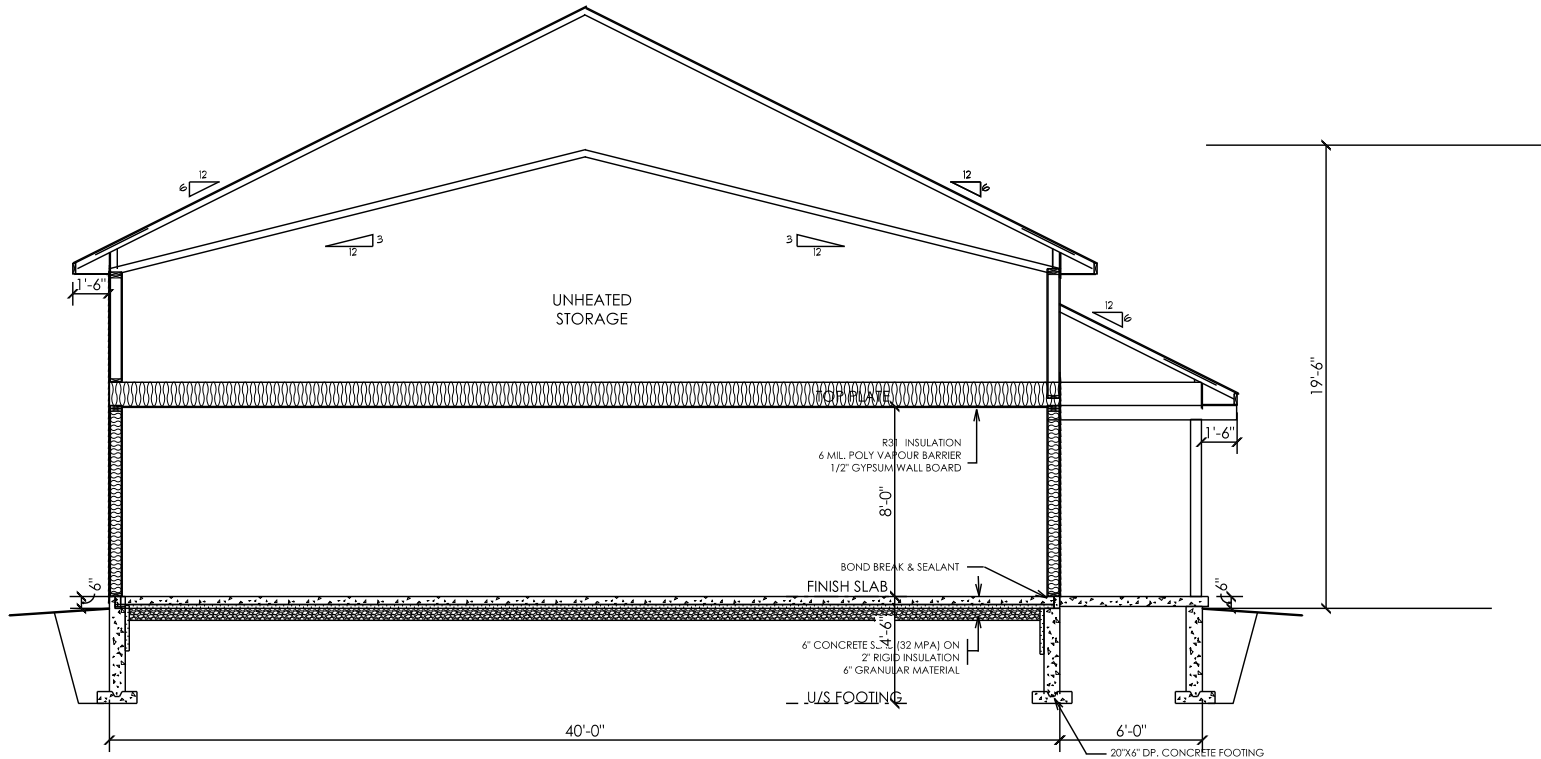
A5



ASPHALT SHINGLES  
1/2" PLYWOOD ROOF SHEATHING C/W H-CLIPS  
PRE-ENGINEERED ROOF TRUSSES @ 24" O.C. (12" RAISED HEEL)  
EAVE PROTECTION  
INSULATION BAFFLE  
INSULATION STOP

2" X 6" FASCIA BOARD  
ALUMINUM SOFFIT AND FASCIA

DOUBLE 2" X 6" TOP PLATE  
SIDING  
APPROVED AIR BARRIER  
3/8" PLYWOOD SHEATHING  
2"X6" STUDS @ 16" O.C.  
R22 BATT INSULATION  
6 MIL. POLY VAPOUR BARRIER  
1/2" GYPSUM WALL BOARD  
2" X 6" BASE PLATE  
2"X6" SILL PLATE ATTACHED TO FOUNDATION  
WITH 1/2" DIA. ANCHOR BOLTS @ 7'10" O.C. MAX.  
APPROVED SILL GASKET

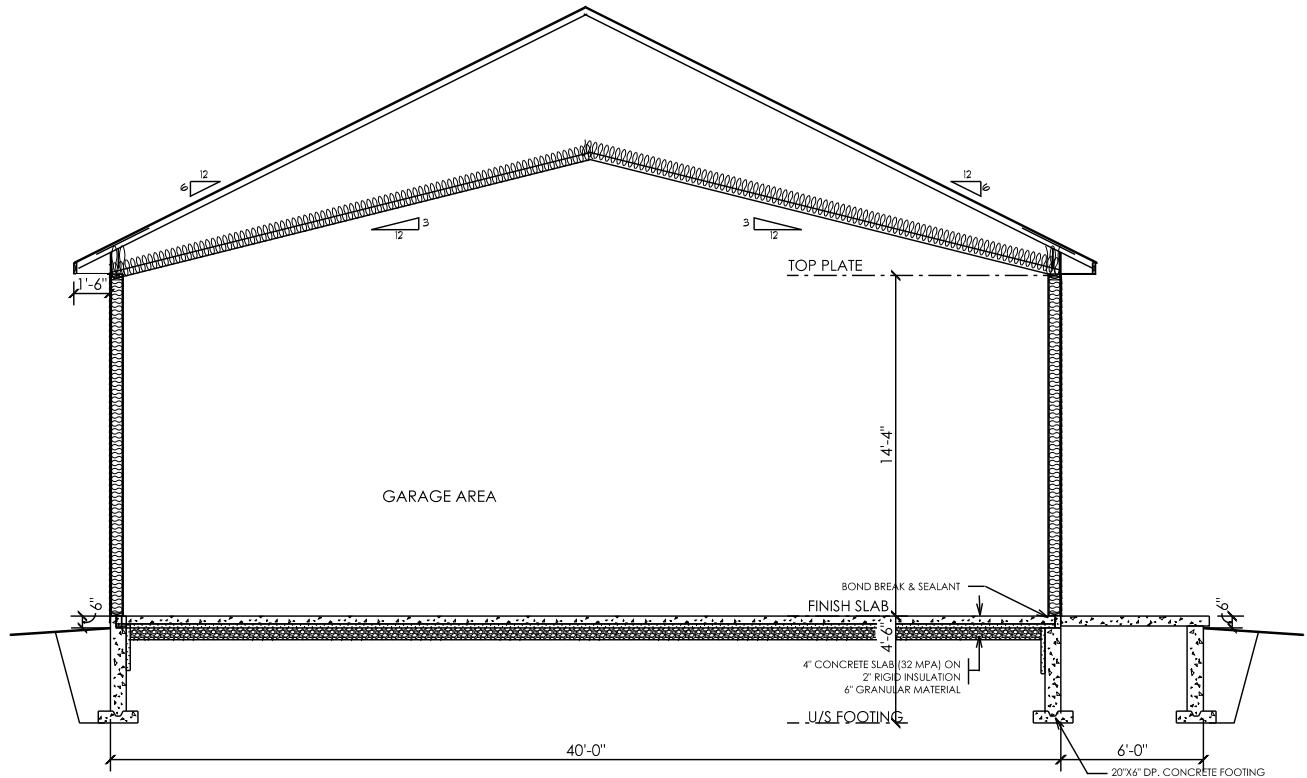
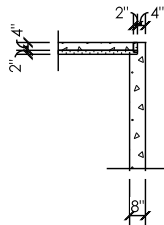


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2"X6" STUDS @ 12" O.C.  
C/W BLOCKING 4'-0" O.C.  
R22 BATT INSULATION  
6 MIL. POLY VAPOUR BARRIER  
1/2" GYPSUM WALL BOARD

2" X 6" BASE PLATE  
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SIGNATURE

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FINE LINE DESIGN SERVICES

108381

FIRM NAME

BCIN

**Section**

PROJECT ADDRESS:

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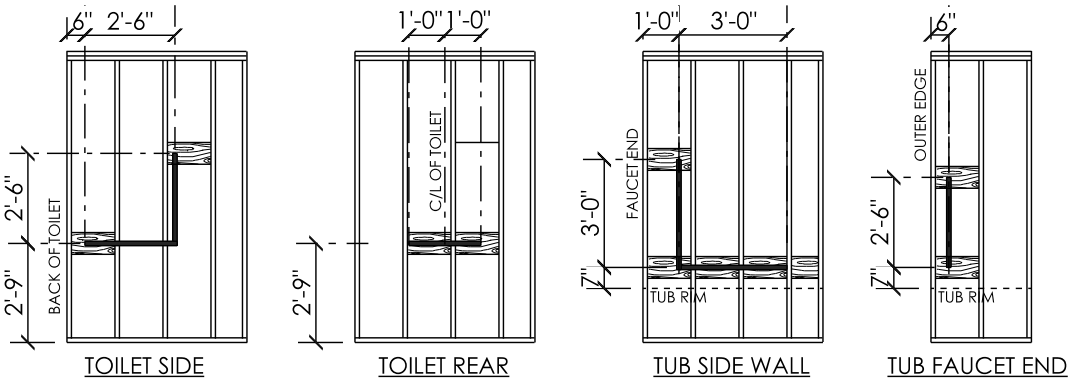
ENERGY EFFICIENCY COMPLIANCE PATH

SB-12 PRESCRIPTIVE PACKAGE A1 (TABLE 3.1.1.2.A)

MINIMUM INSULATION LEVELS & MECHANICALS:

CEILING WITH ATTIC SPACE	R 60 (EFFECTIVE R 59.22)
CEILING WITHOUT ATTIC SPACE	R 31 (EFFECTIVE R 29.80)
EXPOSED FLOOR	R 31 (EFFECTIVE R 29.80)
WALLS ABOVE GRADE	R 22 (EFFECTIVE R 17.03)
BASEMENT WALLS	R 20 ci (EFFECTIVE R 21.12)
BELOW GRADE SLAB > 600mm (1'11 5/8") BELOW GRADE	N/A
HEATED SLAB OR SLAB < 600mm (1'11 5/8") BELOW GRADE	R 10 (EFFECTIVE R 11.13)
EDGE OF BELOW GRADE SLAB < 600mm (1'11 5/8") BELOW GRADE	R 10
WINDOWS AND SLIDING GLASS DOORS	MAX. U-VALUE 0.28 / 25 ER
SKYLIGHTS	MAX. U-VALUE 0.49
SPACE HEATING EQUIPMENT	MIMIMUM AFUE 96 %
HEAT RECOVERY VENTILATOR (HRV)	MINIMUM SRE 75 %
DOMESTIC HOT WATER TANK	MINIMUM EF 0.80
DRAIN WATER HEAT RECOVERY (DWHR)	MINIMUM EFFICIENCY 42 %

STUD WALL REINFORCEMENT



STUD WALL REINFORCEMENT

- STUD WALL REINFORCEMENT SHALL BE PROVIDED IN THE MAIN BATHROOM OF THE DWELLING UNIT FOR THE FUTURE INSTALLATION OF GRAB BARS.
- BLOCKING SHOWN SHALL CONSIST OF MINIMUM 2" X 8" ON THE FLAT ATTACHED TO WALL STUDS WITH 4 - 3 1/4" ARDOX. NAILS EACH END.

GENERAL NOTES

1. ALL WORK SHALL COMPLY WITH THE LATEST EDITION OF THE ONTARIO BUILDING CODE.
2. ALL WORK SHALL ALSO COMPLY WITH ALL LOCAL MUNICIPAL BY-LAWS, AND OTHER AUTHORITIES HAVING JURISDICTION RELATED TO THE CONSTRUCTION OF THIS PROJECT.
3. WINDOW AND DOOR R.S.O. TO BE VERIFIED BY CONTRACTOR AND / OR OWNER.
4. ATTIC ACCESS HATCH TO BE A MINIMUM OF 3.4 SQ. FT. WITH NO DIMENSION LESS THAN 21 1/2".
5. ROOF VENTILATION TO BE MIN. 1 SQ.FT. FOR EVERY 300 SQ.FT. OF INSULATED CEILING IF CEILING CONTAINS AN ATTIC SPACE.
6. ROOF VENTILATION TO BE MIN 1 SQ. FT. FOR EVERY 150 SQ.FT. OF INSULATED CEILING IF CEILING DOES NOT CONTAIN AN ATTIC SPACE.
7. SMOKE ALARMS TO BE INTERCONNECTED AND INSTALLED IN AREAS LOCATED ON THE DRAWINGS.
8. SMOKE ALARMS SHALL COMFORM TO CAN/ULC-S531 AND INSTALLED BY PERMANENT CONNECTION TO AN ELECTRICAL CIRCUIT WITH NO DISCONNECT SWITCH.
9. CARBON MONOXIDE DETECTORS TO BE INTERCONNECTED AND INSTALLED IN LOCATIONS NOTED ON THE DRAWINGS.
10. EXTERIOR DOOR TO BE RESISTANT TO FORCED ENTRY AND INCLUDE:
  - DEAD BOLT LOCK
  - SOLID BLOCKING AT LOCK HEIGHT
  - DOOR VIEWER, WINDOW OR SIDELIGHT
  - HINGES TO BE SCREWED TO PENETRATE SOLID WOOD BY NOT LESS THAN 1 3/16"
11. EXTERIOR AND INTERIOR LOADBEARING LINTELS TO BE 2-2"x10" #1 - # 2 SPF UNLESS OTHERWISE INDICATED.
12. STEEL LINTELS TO BE PROVIDED FOR BRICK VENEER AND STONE AS FOLLOWS:
  - SPAN UP TO 8'1" L 3 1/2" X 3 1/2" X 1/4"
  - SPAN 8'1" - 8'9" L 4" X 3 1/2" X 1/4"
  - SPAN 8'9" - 10'10" L 4 7/8" X 3 1/2" X 5/16"
  - SPAN 10'10" - 11'5" L 4 7/8" X 3 1/3" X 3/8"
  - SPANS GREATER THAN 11'5" REFER TO DRAWINGS
13. UNLESS NOTED OTHERWISE STEEL COLUMNS SHALL BE 4" DIA. WITH 1/4" WALL C/W 6" X 6" TOP PLATE, AND 6" X 6" BASE PLATE.
14. FRAMING AROUND FLOOR OPENINGS:
  - HEADER JOISTS OVER 3'11" IN LENGTH TO BE DOUBLED
  - SIZE OF HEADER JOISTS EXCEEDING 10'6" IN LENGTH TO BE DESIGNED BY OTHERS
  - TRIMMER JOISTS OVER 2'7" IN LENGTH TO BE DOUBLED
  - SIZE OF TRIMMER JOISTS TO BE DESIGNED BY OTHERS WHEN HEADER JOIST EXCEEDS 6'7" IN LENGTH
15. SUPPORT OF NON-LOAD BEARING WALLS BY DOUBLE JOISTS UNDER OR SOLID BLOCKING @ 3'11" O.C.
16. PROVIDE MINIMUM BEARING FOR WOOD FRAMING MEMBERS AS FOLLOWS:
  - BEARING FOR BEAMS - 3 1/2" UNLESS NOTED OTHERWISE
  - BEARING OF LINTELS - 1 1/2" UNLESS NOTED OTHERWISE
  - CEILING JOISTS - 1 1/2" UNLESS NOTED OTHERWISE
  - ROOF RAFTERS - 1 1/2" UNLESS NOTED OTHERWISE
17. FOOTING DESIGN
  - FOOTING DESIGN ASSUMES STABLE SOILS WITH AN ALLOWABLE BEARING PRESSURE OF 75 KPa
  - SEE DRAWINGS FOR FOOTING SIZES
  - FOOTING SIZED TO BE DOUBLED IF HIGH WATER TABLE IS ENCOUNTERED
18. BRICK VENEER
  - GALVANIZED 7"x 7/8" .03" BRICK TIES MINIMUM 16"O.C. HORIZONTAL AND 24" VERTICAL. TIE BRICK VENEER TO WOOD FRAMING
  - PROVIDE WEEP HOLES AT 2'7" MAX. AT BOTTOM OF AIR SPACE / CAVITY, AND OVER DOOR AND WINDOWS
  - PROVIDE BASE FLASHING FOR WEEP HOLES MINIMUM 6" UP THE WOOD FRAME WALL

GENERAL NOTES CONTINUED

19. MINIMUM LUMBER GRADE TO BE #1 - # 2 SPRUCE-PINE-FIR (S-P-F) UNLESS NOTED OTHERWISE.
20. CONCRETE STRENGTH - UNLESS NOTED OTHERWISE:
  - FOUNDATION WALL 20 MPa
  - FOOTINGS 20 MPa
  - BASEMENT OR CRAWL SPACE FLOOR SLAB 25 MPa
  - GARAGE SLAB AND EXTERIOR STAIRS AND PORCHES 32 MPa WITH 5 % - 8 % AIR
21. STEP FOOTING
  - MINIMUM HORIZONTAL RUN 1'11 5/8"
  - MAXIMUM VERTICAL RISE 1'11 5/8"
22. STAIRS
  - MAINTAIN 6'5" HEADROOM MINIMUM
  - MAXIMUM RISER HEIGHT 7 7/8"
  - MINIMUM RISER HEIGHT 4 7/8"
  - MINIMUM RUN DEPTH 11 1/4"
  - MAXIMUM RUN DEPTH 14"
  - MINIMUM TREAD DEPTH 11 1/4"
  - MAXIMUM TREAD DEPTH 14"
  - RISE AND RUN TO BE UNIFORM THROUGHOUT THE FLIGHT
23. GUARDS
  - PROVIDE GUARDS WHERE THE ELEVATION DIFFERENCE IS 1'11 5/8"
  - PROVIDE GUARDS ON INTERIOR STAIRS GREATER THAN 2 RISERS ON EACH SIDE NOT PROTECTED BY A WALL.
  - GUARD HEIGHT WITHIN THE DWELLING MINIMUM 2'11"
  - GUARD HEIGHT NOT WITHIN THE DWELLING
    - MINIMUM 2'11" HIGH WHERE THE ELEVATION DIFFERENCE IS BETWEEN 1'11 5/8" AND 5'11" ABOVE THE ADJACENT SURFACE
    - MINIMUM 42" HIGH WHERE THE ELEVATION DIFFERENCE IS GREATER THAN 5'11" ABOVE THE ADJACENT SURFACE.
  - PICKET SPACING IN GUARDS NOT TO EXCEED 4" BETWEEN PICKETS.
  - GUARD TO BE DESIGNED TO PREVENT CLIMBING WITH NO MEMBER LOCATED BETWEEN 5 1/2" AND 2'11" THAN WOULD ENABLE CLIMBING.
24. HANDRAILS
  - HANDRAILS TO BE CONTINUOUS
  - HANDRAILS TO BE LOCATED ON BOTH SIDES OF STAIRS 42' OR WIDER
  - HANDRAIL HEIGHTS TO BE BETWEEN 2'10" AND 3'2" MEASURED VERTICALLY FROM THE NOSING OF THE STAIR.

DESIGNER NOTES

1. CONTRACTOR OR OWNER TO OBTAIN DESIGNS FOR ENGINEERED COMPONENTS AS INDICATED (DESIGN BY OTHER) (DBO)
2. DESIGNER ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR, SUBCONTRACTOR, OWNER OR THEIR AGENTS TO CARRY OUT THE WORK IN ACCORDANCE WITH THESE DRAWINGS
3. SINGLE PAGE OF THESE DRAWINGS ARE NOT TO BE READ INDEPENDENTLY OF ALL PAGES OF THE CONSTRUCTION DRAWING SET.
4. DRAWINGS ARE NOT TO BE SCALED
5. CONTRACTOR AND / OR OWNER TO VERIFY ALL DIMENSIONS ON THE CONSTRUCTION DRAWING SET. ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
6. MODIFICATIONS TO THE DRAWINGS OR CONSTRUCTION DUE TO SITE CONDITIONS OR ANY OTHER REASON SHALL NOT BE MADE WITHOUT FIRST CONSULTING WITH THE DESIGNER.
7. UNDER NO CIRCUMSTANCE SHALL THE WORK PROCEED IF THEIR IS ANY UNCERTANTY.

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PRINT DATE:

Sept 8 2024

SCALE:

1/8"=1'-0"

JOB NUMBER:  
24-052

DRAWING  
NUMBER:

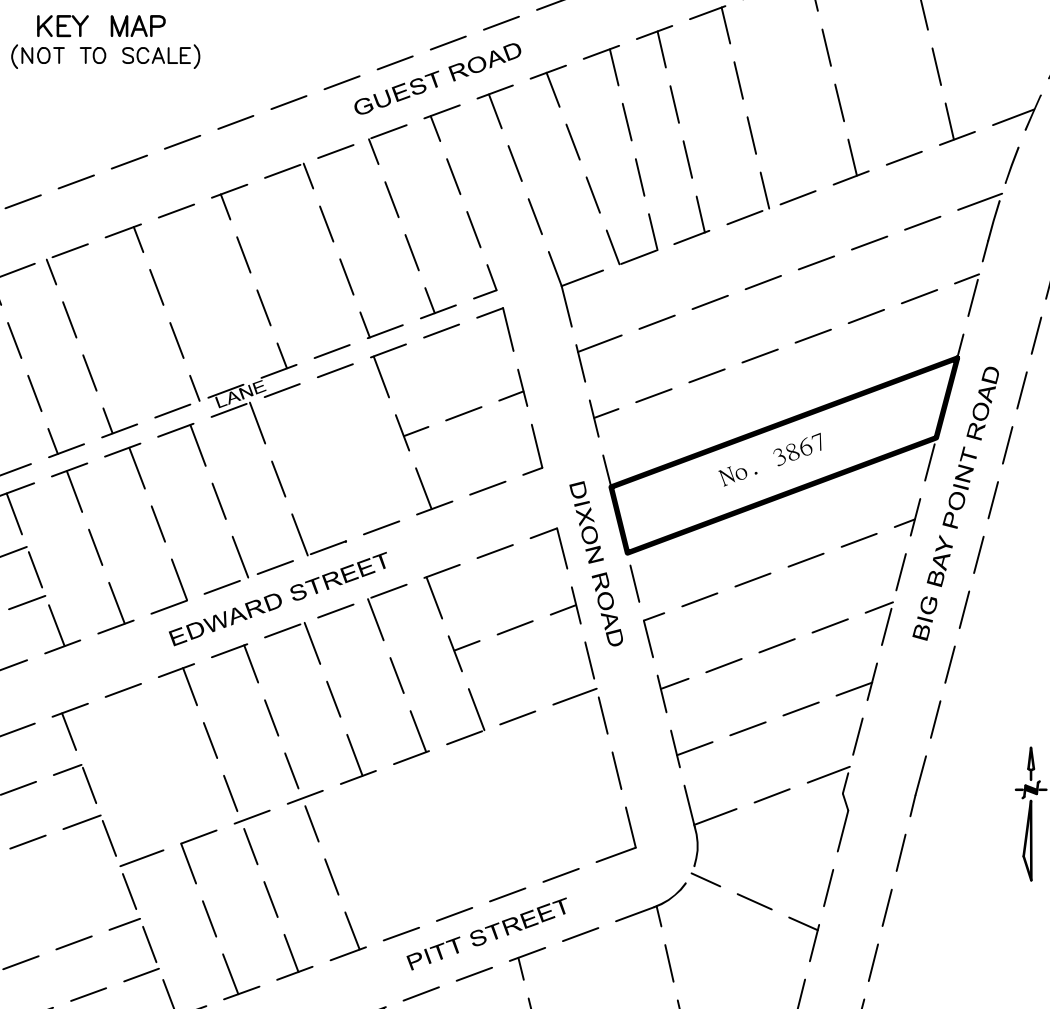
A7



PROPOSED GRADING PLAN OF  
3867 DIXON ROAD  
BEING  
LOT 23  
REGISTERED PLAN 1065  
AND PART OF  
LOT 26  
CONCESSION 13  
FORMERLY IN THE  
GEOGRAPHIC TOWNSHIP OF INNISFIL  
NOW IN THE  
TOWN OF INNISFIL  
COUNTY OF SIMCOE

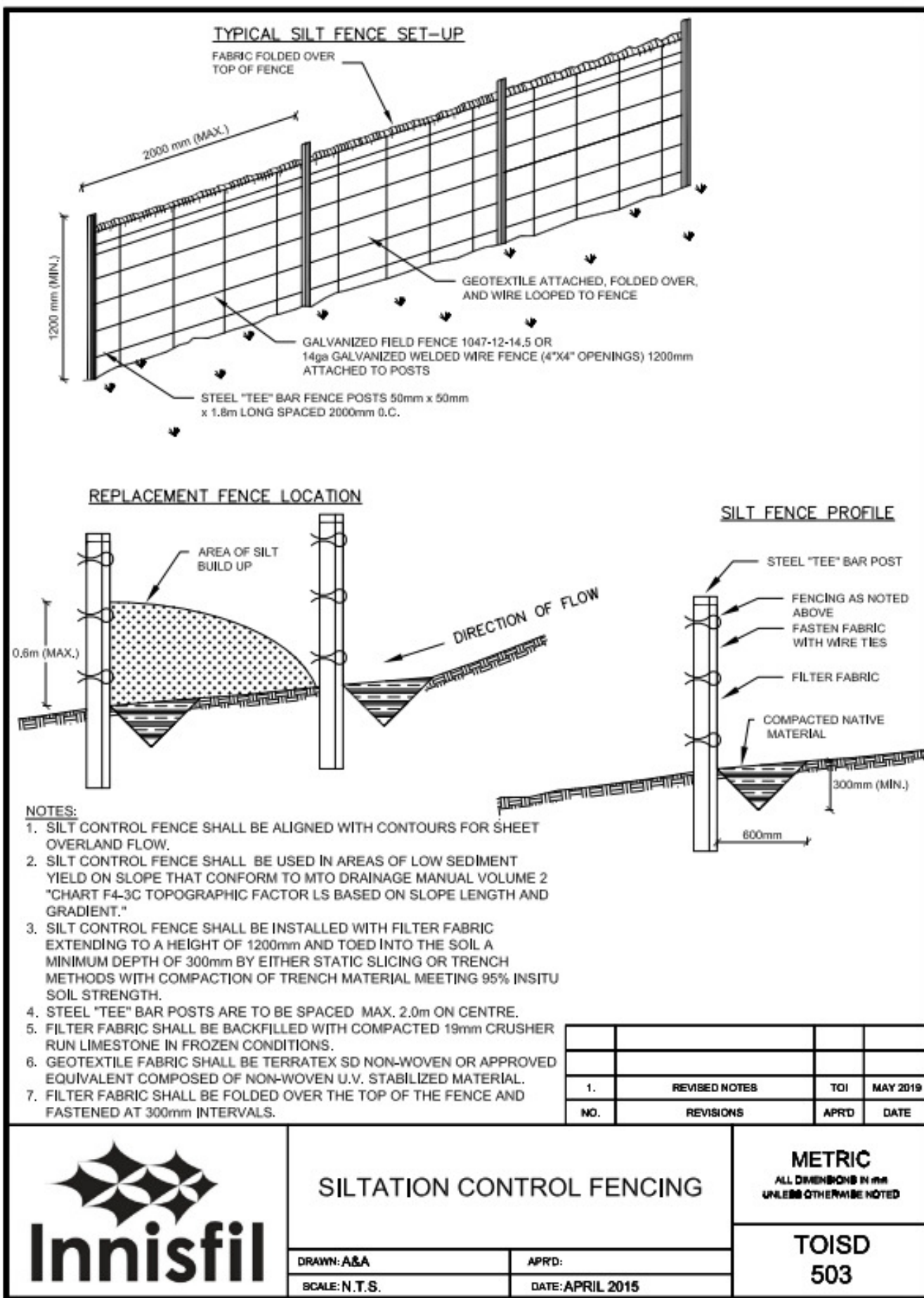
SCALE 1: 250

MeasEarth Inc.  
ONTARIO LAND SURVEYORS



### GENERAL NOTES

1. SEDIMENT AND EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO PREVENT MIGRATION OF SILT AND SEDIMENT FROM THE SUBJECT LOT TO ANY ADJACENT LOT. INCLUDING MUNICIPAL OR PUBLIC RIGHT-OF-WAY. SPECIAL CARE SHALL BE TAKEN TO ENSURE THAT SILT AND SEDIMENT LADEN SURFACE WATER DOES NOT ENTER ANY WATERCOURSES OR ENVIRONMENTALLY SENSITIVE AREAS, EITHER OVERLAND OR THROUGH THE STORM DRAINAGE SYSTEM. THE OWNER/BUILDER/APPLICANT SHALL COMPLY WITH ALL DIRECTIVES ISSUED BY ANY APPLICABLE ENVIRONMENTAL AGENCY.
2. INTERIM GRADING MEASURES MAY BE REQUIRED DURING BUILDING CONSTRUCTION TO ENSURE THAT DRAINAGE DOES NOT ADVERSELY AFFECT THE NEIGHBORING PROPERTIES. ROUGH GRADING OF THE PROPERTY SHALL BE COMPLETED SUCH THAT DRAINAGE IS CONTAINED ON SITE OR CONTROLLED TO A POSITIVE OUTLET.
3. ALL DOWNSPOUTS, SUMP PUMP AND OTHER DRAINAGE DISCHARGE POINTS SHALL DISCHARGE ONTO A SPLASH PAD OR APPROVED EQUIVALENT, DRAINAGE DIRECTLY TO A MUNICIPAL DITCH IS NOT PERMITTED, WHICH INCLUDES ROOF LEADERS, BASEMENT SUMPS AND FOUNDATION DRAINS.
4. THE OWNER/BUILDER/APPLICANT IS RESPONSIBLE FOR OBTAINING UTILITY ND SERVICING LOCATES PRIOR TO ANY WORKS.
5. THIS LOT GRADING PLAN HAS BEEN DESIGNED/COMPLETED SUCH THAT MUNICIPAL COUNTY AND PROVINCIAL LANDS ADJACENT TO OR IN THE VICINITY OF THIS LOT ARE NOT AFFECTED.
6. A COPY OF "ACCEPTED FOR CONSTRUCTION" LOT GRADING PLAN IS TO BE ON SITE FOR REFERENCE AT ALL TIMES DURING CONSTRUCTION.
7. IF THERE IS NOT AN OVERALL LOT GRADING PLAN IN EXISTENCE FOR THE LOT THEN THE FOLLOWING CLAUSES MUST BE INCLUDED:
  - A. THIS LOT GRADING PLAN HAS BEEN DESIGNED/COMPLETED TO PREVENT DRAINAGE TOWARDS THE FOUNDATION AFTER SETTLING.
  - B. THIS LOT GRADING PLAN HAS BEEN DESIGNED/COMPLETED SUCH THAT SURFACE DRAINAGE (WATER) FROM THE LOT WILL NOT ADVERSELY AFFECT NEIGHBORING PROPERTIES OR MUNICIPAL LANDS/ROADWAYS.
8. THE BUILDING ELEVATIONS HAVE BEEN SET SUCH THAT THERE IS NO RISK OF HYDROSTATIC PRESSURE AFFECTING THE BUILDING.
9. POST CONSTRUCTION AND UPON COMPLETION OF THE LOT GRADING AS PER APPROVED LOT GRADING PLAN, THE OWNER IS RESPONSIBLE TO REPAIR ANY SETTLEMENTS IN ORDER TO MAINTAIN POSITIVE DRAINAGE AWAY FROM THE BUILDING AT ALL TIMES.
10. POST CONSTRUCTION AND UPON COMPLETION OF THE LOT GRADING AS PER APPROVED LOT GRADING PLAN, THE OWNER IS RESPONSIBLE TO MAINTAIN ALL DOWNSPOUTS AND TO ENSURE THAT NO SUBSEQUENT MODIFICATIONS TO THE GRADING OF THE LOT ARE MADE WHICH WILL ADVERSELY AFFECT THE DRAINAGE OF ADJACENT LOTS.
11. THE DIMENSIONS AND GRADE ELEVATIONS ARE EXPRESSED IN SI UNITS.
12. THE CONTRACTOR SHALL CHECK AND VERIFY ALL GIVEN GRADE ELEVATIONS AND DRAINAGE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
13. UNDERSIDE OF FOOTING SHOWN IS TAKEN FROM ARCHITECTURAL PLANS AND MAY NOT REPRESENT ACTUAL FOOTING DEPTH.
14. FOOTINGS MUST BEAR ON NATIVE, UNDISTURBED SOIL OR ROCK, AND BE A MINIMUM OF 1.22m BELOW FINISHED GRADE.
15. ALL CONSTRUCTION WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS.
16. THE OWNER AND/OR HIS REPRESENTATIVE SHALL RECTIFY ALL DISTURBED AREAS TO ORIGINAL CONDITION OR BETTER AND TO THE SATISFACTION OF THE CITY.
17. PROPOSED SILT FENCE IS TO BE NON-WOVEN GEOTEXTILE FABRIC, TERRAFIX 270R OR EQUIVALENT TO BE INSTALLED TO APPLICABLE STANDARDS.
18. TOP OF FOUNDATION WALL TO BE A MINIMUM OF 0.15m ABOVE FINISHED GRADE.



### SOURCE NOTE

EXISTING TOPOGRAPHIC, AND BOUNDARY INFORMATION SHOWN HEREON, INCLUDING BEARINGS AND DISTANCES, ARE TAKEN FROM PLAN OF SURVEY BY MEASEARTH INC., DATED MAY 26, 2025, No. 25-4345-11.

### METRIC NOTE

DISTANCES AND COORDINATES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

### CAUTION NOTE

THE POSITION OF ALL POLE LINES, CONDUITS, WATER MAINS, SEWERS AND OTHER UNDERGROUND AND OVERHEAD UTILITIES AND STRUCTURE IS NOT NECESSARILY SHOWN ON THIS PLAN, AND WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING WORK, THE CONTRACTOR SHALL INFORM HIMSELF OF THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES, AND SHALL ASSUME ALL LIABILITY FOR DAMAGE TO THEM. BURIED SERVICES AND UTILITIES ARE NOT SHOWN AND LOCATES ARE REQUIRED PRIOR TO ANY EXCAVATION WORK.

### BENCHMARK NOTE

ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE DERIVED FROM GNSS OBSERVATIONS USING THE CAN-NET VRS NETWORK. OBSERVATIONS ARE RELATED TO THE CANADIAN DATUM BY USING THE HTV2.0 HYBRID GEOID MODEL (2010.0 EPOCH).

CONTOUR ELEVATIONS ARE SET AT 0.10 INTERVALS.

LOCAL BENCHMARK (LBM) IS TOP OF WELL, LOCATED IN THE FRONT YARD OF THE PROPERTY, HAVING AN ELEVATION OF 237.95

### LEGEND

P1	DENOTES	PLAN 51R-7727
P2	DENOTES	PLAN 51R-7727
P3	DENOTES	PLAN 51R-8828
P4	DENOTES	PLAN 51R-28871
P5	DENOTES	PLAN OF SURVEY BY R. C. KIRKPATRICK, O.L.S. DATED JULY 30, 1976
■	DENOTES	SURVEY MONUMENT FOUND
□	DENOTES	SURVEY MONUMENT SET
IB	DENOTES	IRON BAR
IP	DENOTES	IRON PIPE
RIB	DENOTES	ROUND IRON BAR
SIB	DENOTES	STANDARD IRON BAR
SSIB	DENOTES	SHORT STANDARD IRON BAR
WIT	DENOTES	WITNESS
MS	DENOTES	MEASURED
OJ	DENOTES	ORIGIN UNKNOWN
615	DENOTES	J. H. DIAMOND, O.L.S.
738	DENOTES	R. C. KIRKPATRICK, O.L.S.
967	DENOTES	W. N. WILDMAN, O.L.S.
1446	DENOTES	J. K. YOUNG, O.L.S.
1546	DENOTES	R. MAK, O.L.S.
PROD	DENOTES	PRODUCTION OF LINE
PROP	DENOTES	PROPORTION
▲	DENOTES	SIGN
⬆	DENOTES	BELL PEDESTAL
⬆	DENOTES	LIGHT POST
⊙	DENOTES	UTILITY POLE
⊙	DENOTES	WELL/SEPTIC LID
✱	DENOTES	CONIFEROUS TREE
✱	DENOTES	DECIDUOUS TREE
⊙	DENOTES	CONTOUR ELEVATION
---+	DENOTES	OVERHEAD WIRES
---+	DENOTES	FENCE LINE
BP	DENOTES	BELL PEDESTAL
BS	DENOTES	BOTTOM OF SLOPE
CLF	DENOTES	CHAIN LINK FENCE
CV	DENOTES	CULVERT
EA	DENOTES	EDGE OF ASPHALT
F	DENOTES	FENCE
FFE	DENOTES	FINISHED FLOOR ELEVATION
LP	DENOTES	LIGHT POST
RTW	DENOTES	RETAINING WALL
TS	DENOTES	TOP OF SLOPE
⬆	DENOTES	DOWNSPOUT
▲	DENOTES	PROPOSED BUILDING ENTRANCE
⬆	DENOTES	SILT FENCE
⬆	DENOTES	PROPOSED ELEVATION
⬆	DENOTES	DIRECTION OF SLOPE
⬆	DENOTES	TOP OF FOUNDATION WALL
⬆	DENOTES	UNDERSIDE OF FOOTING

### ISSUED OR REVISION COMMENTS

No.	DESCRIPTION	DATE
A	INITIAL SUBMISSION	2025-05-26
B	UPDATE ZONING TABLE, ADD 10m BUFFER	2025-08-15
C		
D		

### SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE PROPOSED GRADING, BUILDING TYPE AND APPURTENANT DRAINAGE WORKS COMPLY WITH SOUND DESIGN AND THAT THE PROPOSED GRADING IS IN CONFORMITY WITH THOSE OF THE ADJACENT LANDS FOR DRAINAGE AND RELEVANT ELEVATIONS.

THE SURVEY WAS COMPLETED ON THE 2ND DAY OF MAY, 2025.

AUGUST 15, 2025

DATE:

### PRELIMINARY

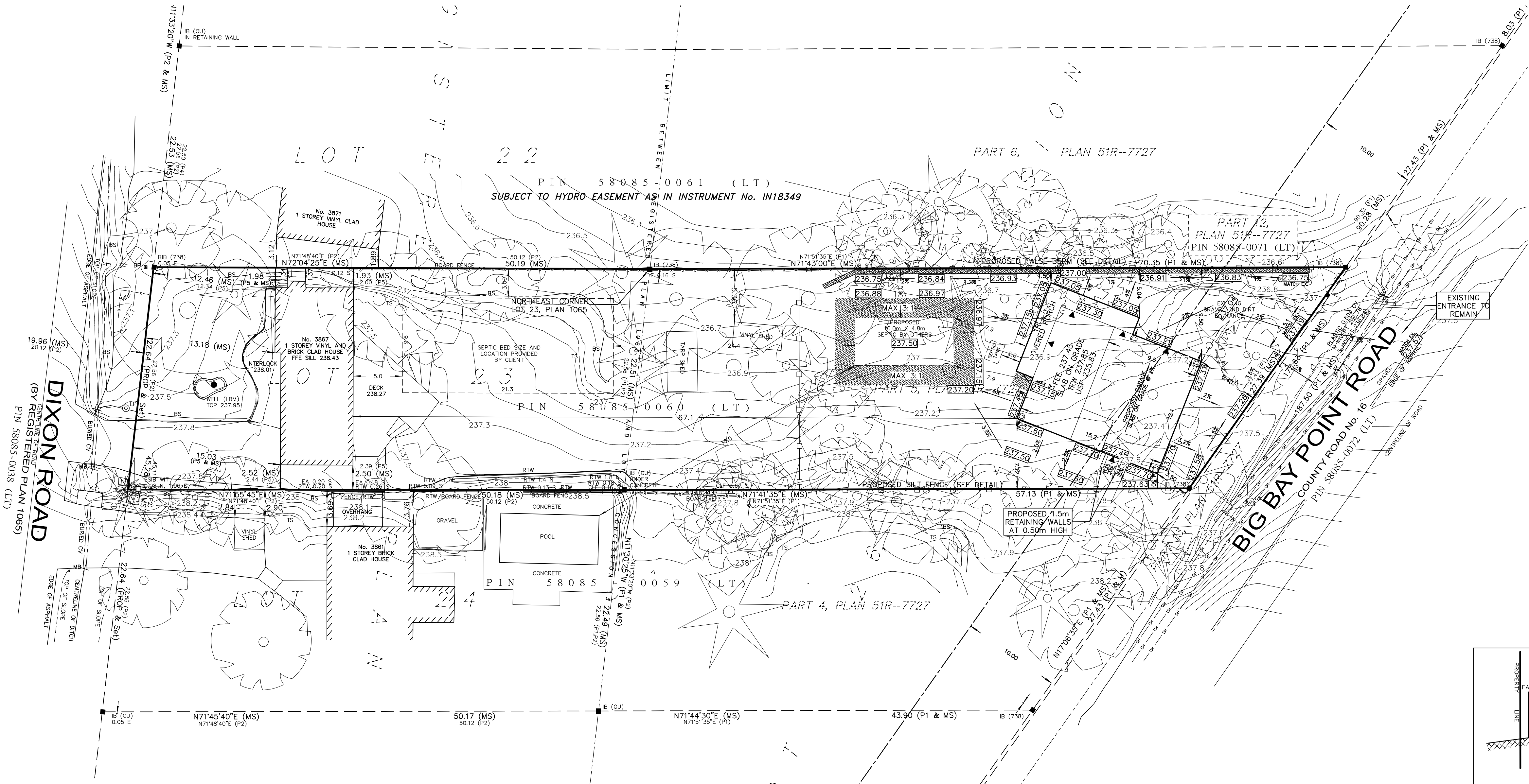
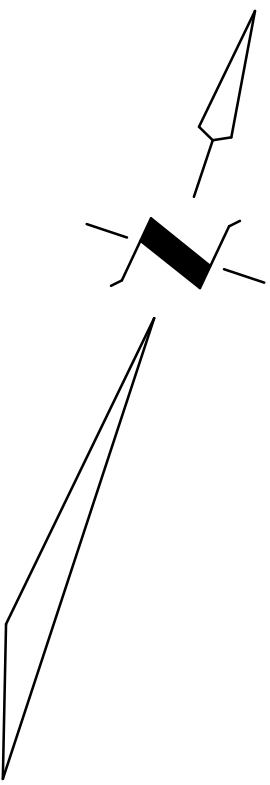
PHILLIP A. ROBBINS, B. ENG  
ONTARIO LAND SURVEYOR

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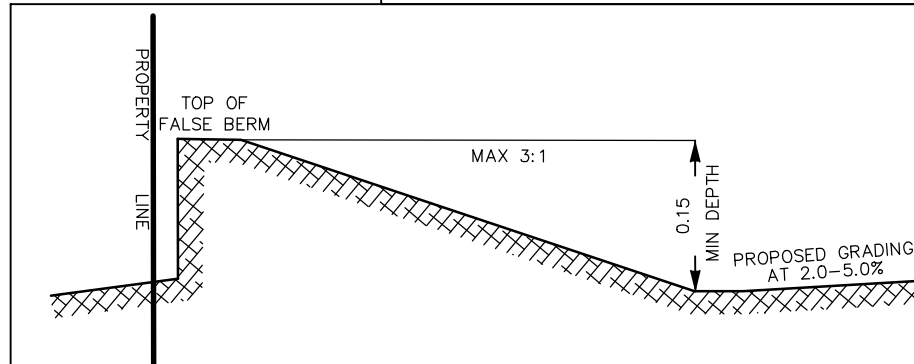


**MeasEarth**  
ONTARIO LAND SURVEYORS

CHECKED BY: PAR	DRAWN BY: SG	REV. DATE: 2025-08-15	W.O. 25-4345-01	REV. B
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SITE STATISTICS		
ZONE DESIGNATION (R1)	PERMITTED	PROVIDED
LOT AREA (MIN.)	m <sup>2</sup> 1400	2547.8
LOT FRONTAGE (MIN.)	m 22.0	22.64
YARD SETBACKS (EXISTING - DIXON ROAD)		
FRONT	m 8.0	12.46
INTERIOR SIDE 1	m 1.5	1.93
INTERIOR SIDE 2	m 1.5	2.50
REAR	m 6.0	70.41
YARD SETBACKS (PROPOSED - BIG BAY POINT ROAD)		
FRONT	m 8.0	3.50+
INTERIOR SIDE 1	m 1.5	1.50
INTERIOR SIDE 2	m 1.5	1.50
REAR	m 0.6	67.1
EXISTING DWELLING	m <sup>2</sup> N/A	136.7
ACCESSORIES	m <sup>2</sup> N/A	30.9
PROPOSED GROSS GROUND FLOOR	m <sup>2</sup> N/A	217.6
LOT COVERAGE (MAX.)	% 35.0	15.1
BUILDING HEIGHT (MAX.)	m 5.0	6.5
*REDUCTION BEING REQUESTED BY MINOR VARIANCE		



FALSE BERM DETAIL  
(NOT TO SCALE)