



**COMMITTEE OF ADJUSTMENT NOTICE OF PUBLIC HEARING
APPLICATION NO.
A-2025-040 & A-2025-048**

TAKE NOTICE that an application has been received by the Town of Innisfil from **John Savio, Owner**, for a minor variance from Zoning By-law 080-13, pursuant to Section 45 of the *Planning Act*, R.S.O. 1990, c. P.13, as amended.

The subject properties are described legally as **PLAN 51M1069 LOT 3** known municipally as **1208 Gilford Rd** and is zoned “**Residential Estate Exception 6 (RE-6) and Environmental Protection Exception 13 (EP-13)**”.

The applicant is seeking relief of section 3.3b) of the Zoning By-law which allows a maximum gross floor area of an accessory building or structure of up to 50m². The applicant is proposing to construct a detached garage with a gross floor area of approximately 80m². Also seeking relief from section 3.3f) which states that no accessory building shall exceed the height of the principal building on the lot or 5.0m, whichever is the lesser. The proposed height of the garage is approximately 5.4m.

The Committee of Adjustment for the Town of Innisfil will consider this application in person at Town Hall and virtually through Zoom on **Thursday, September 18, 2025, at 6:30 PM.**

To participate in the hearing and/or provide comments, you must register by following the link below or scanning the above QR code:

<https://innisfil.ca/en/building-and-development/committee-of-adjustment-hearings.aspx>

Requests can also be submitted in writing to: Town of Innisfil Committee of Adjustment, 2101 Innisfil Beach Road, Innisfil, Ontario, L9S 1A1 or by email to planning@innisfil.ca.

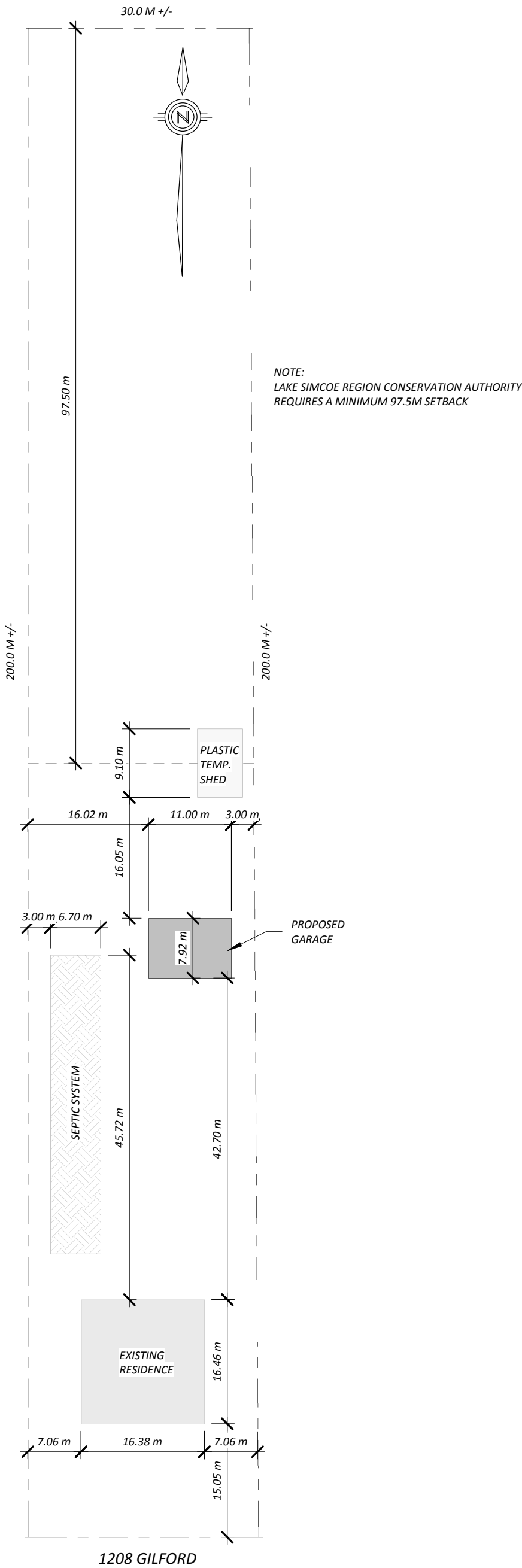
If you wish to receive a copy of the decision of the Committee of Adjustment in respect of the proposed consent, you must make a written request to the Secretary-Treasurer of the Committee of Adjustment by way of email or regular mail. The Notice of Decision will also explain the process for appealing a decision to the Ontario Land Tribunal (OLT).



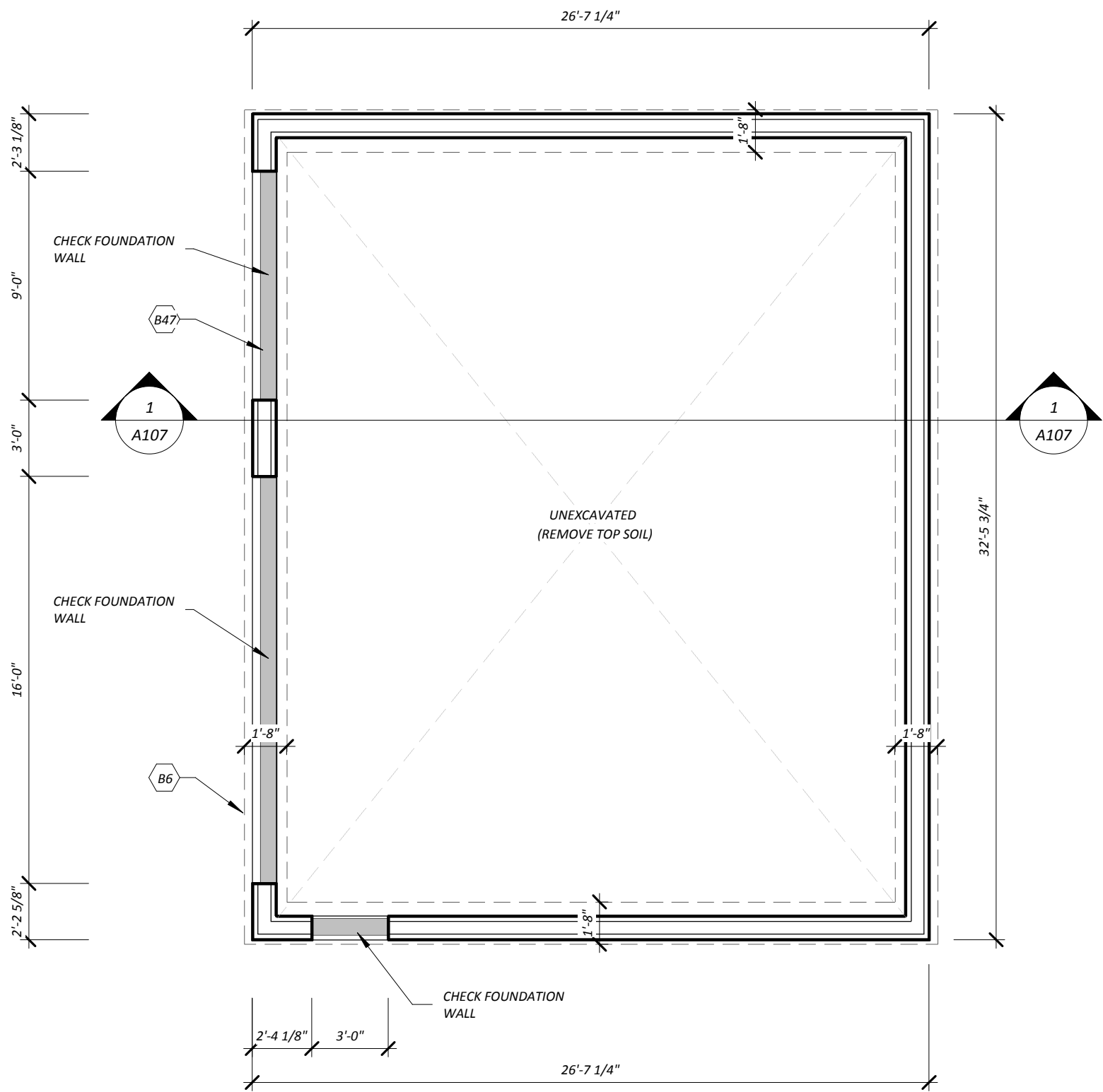
Additional information relating to the proposed application is available on the Town of Innisfil website. Accessible formats are available on request, to support participation in all aspects of the feedback process. To request an alternate format please contact Planning Services at planning@innisfil.ca.

Dated: **August 28, 2025**

Sarah Burton Hopkins
Secretary Treasurer
sburtonhopkins@innisfil.ca 705-436-3710 ext. 3504

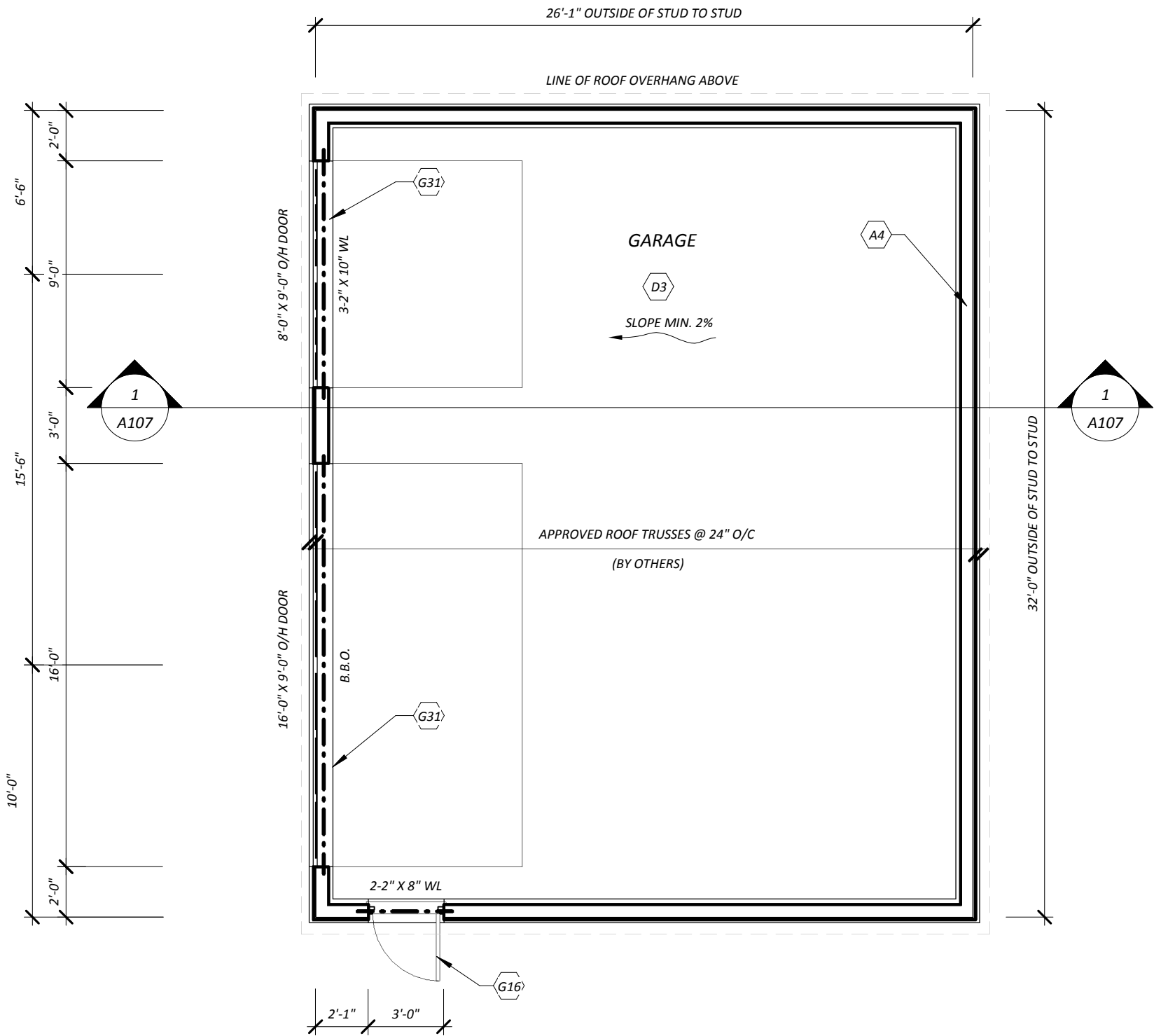


Project.: 1208 Gilford Rd, Gilford			Drawing Title: Location		Revision:	Drawing No.: A001
Address:						
Drawn By: J.S.	Scale: 1" = 50'-0"	July 2025	Simcoe County		Project No.:	2023-11



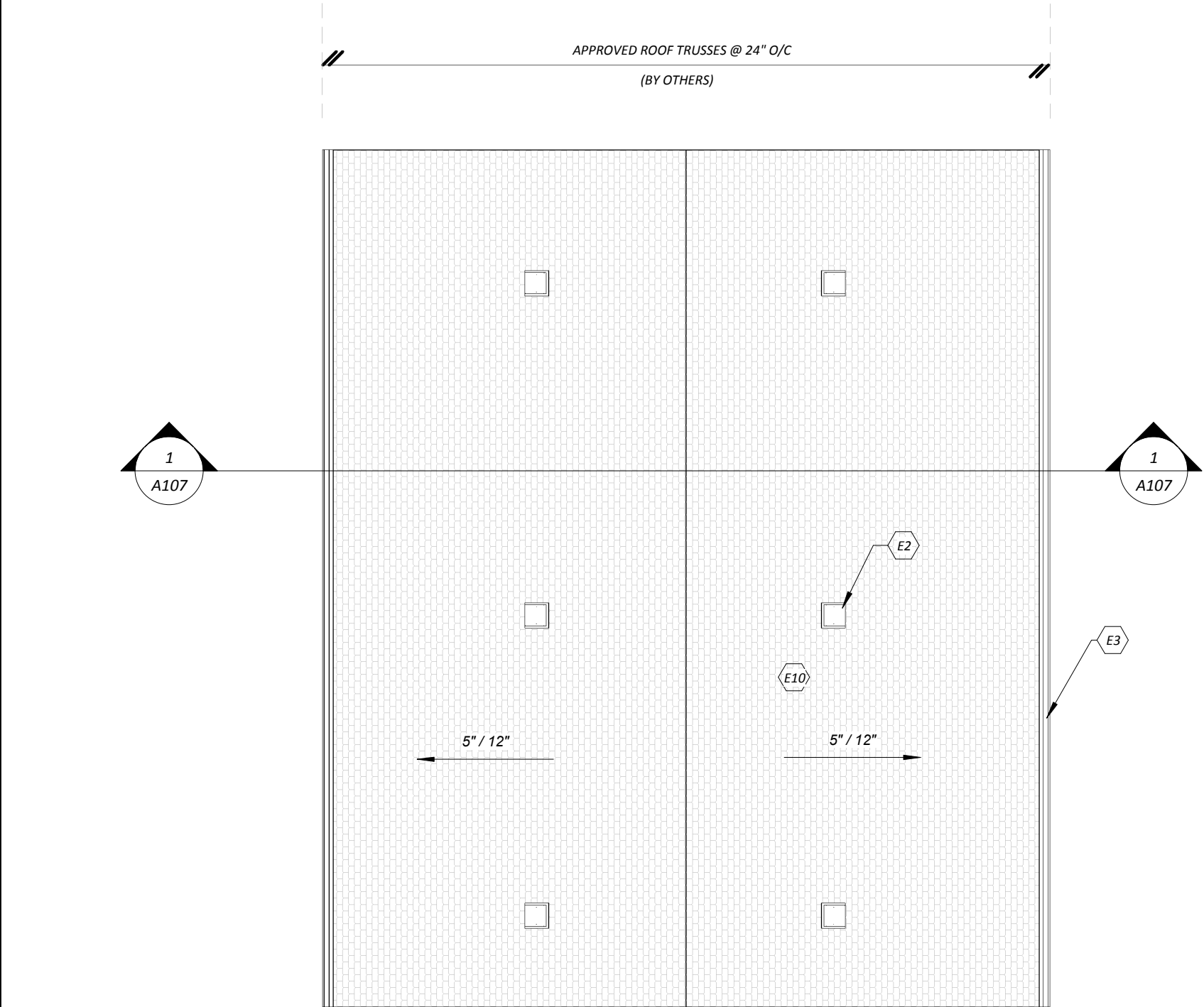
1 Foundation Plan
3/16" = 1'-0"

Project.: 1208 Gilford Road, Gilford			Drawing Title: Foundation Plan		Revision:	Drawing No.: A100
Address:						
Drawn By: J.S.	Scale: 3/16" = 1'-0"	July 2025	Simcoe County		Project No.:	2023-11



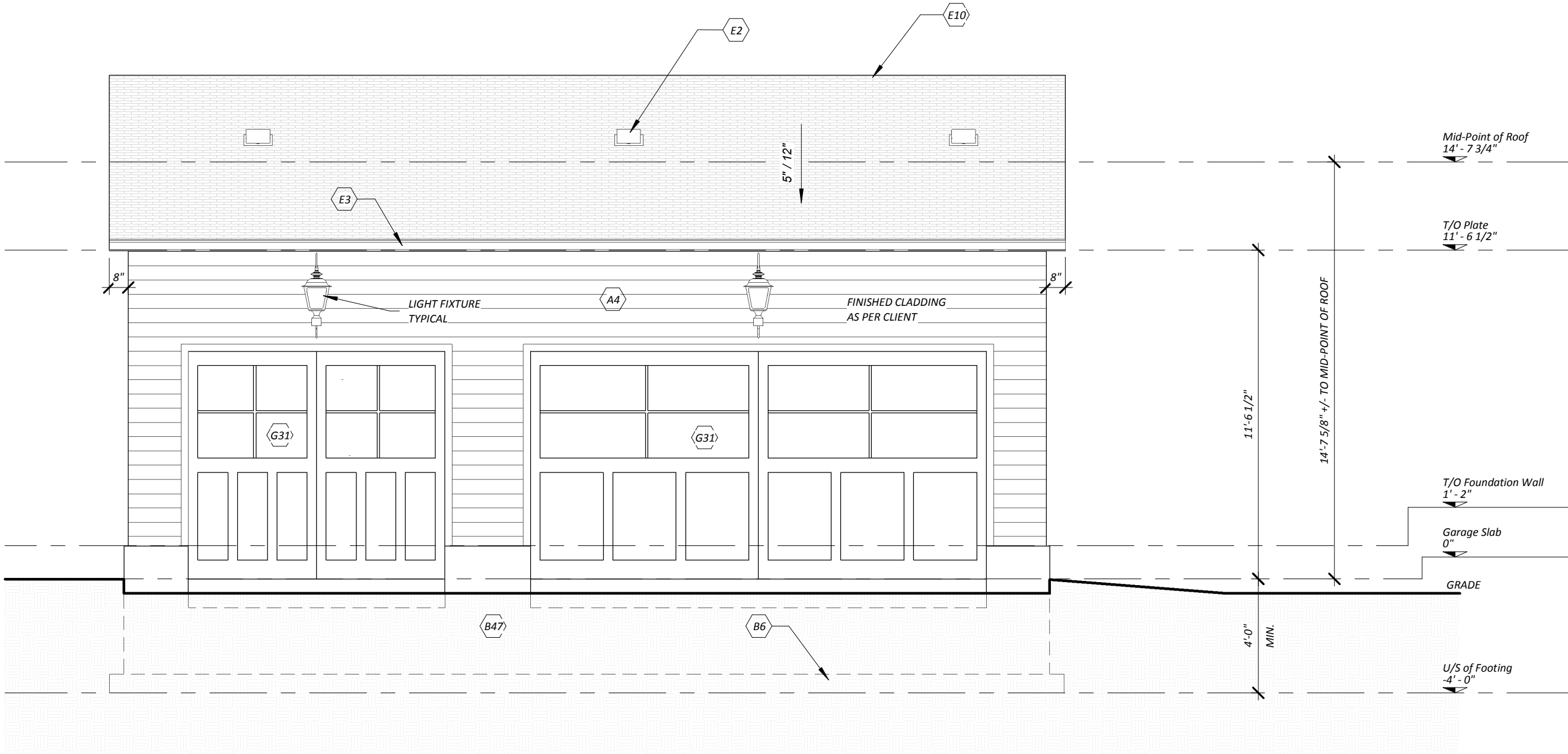
1 Garage Floor Plan
3/16" = 1'-0"

Project.: 1208 Gilford Road, Gilford			Drawing Title: Plan		Revision:	Drawing No.: A101
Address:						
Drawn By: J.S.	Scale: 3/16" = 1'-0"	July 2025	Simcoe County		Project No.:	2023-11



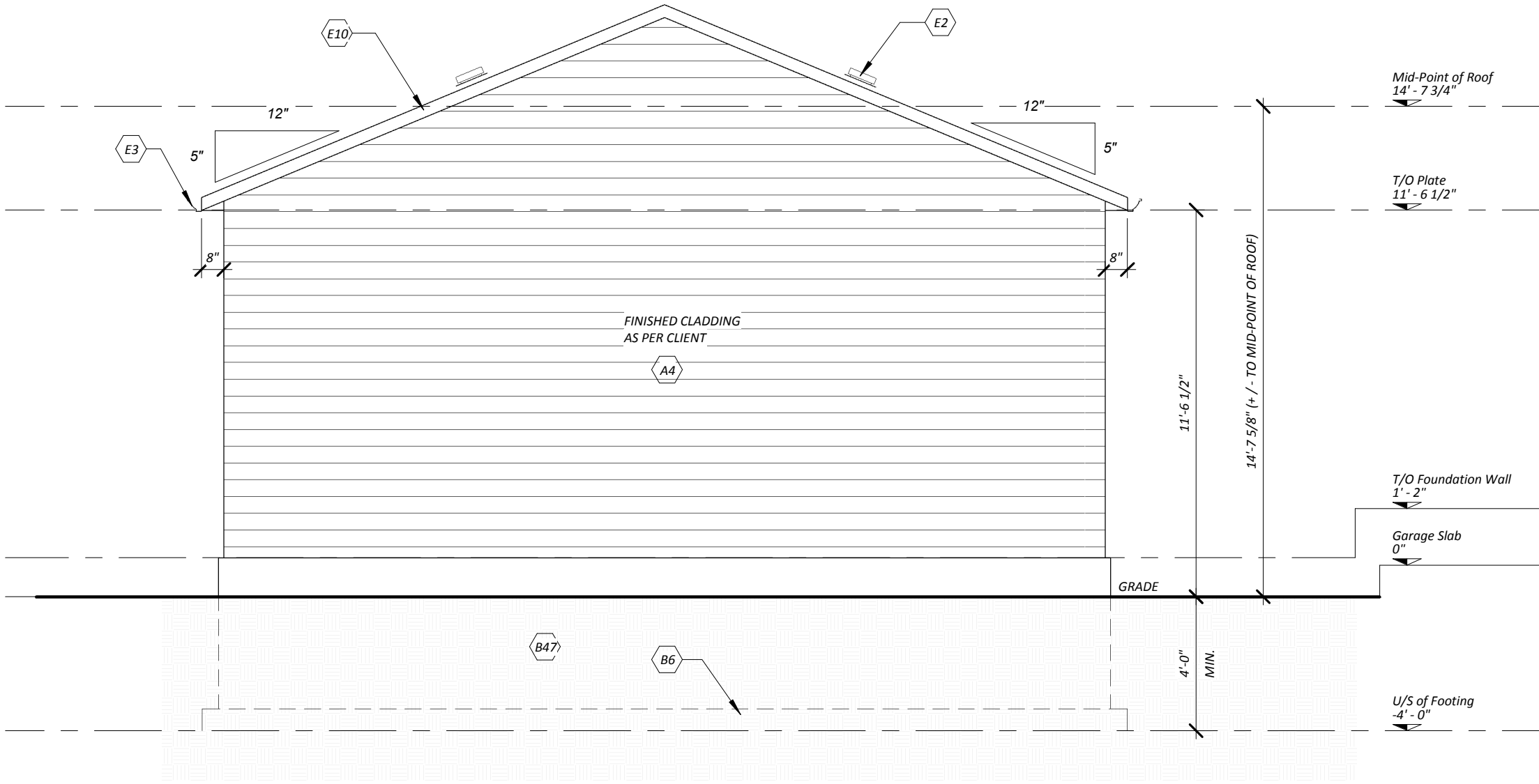
1 Roof Plan
3/16" = 1'-0"

Project.: 1208 Gilford Road, Gilford			Drawing Title: Roof Plan		Revision:	Drawing No.: A102
Address:			Simcoe County		Project No.:	2023-11
Drawn By: J.S.	Scale: 3/16" = 1'-0"	July 2025				



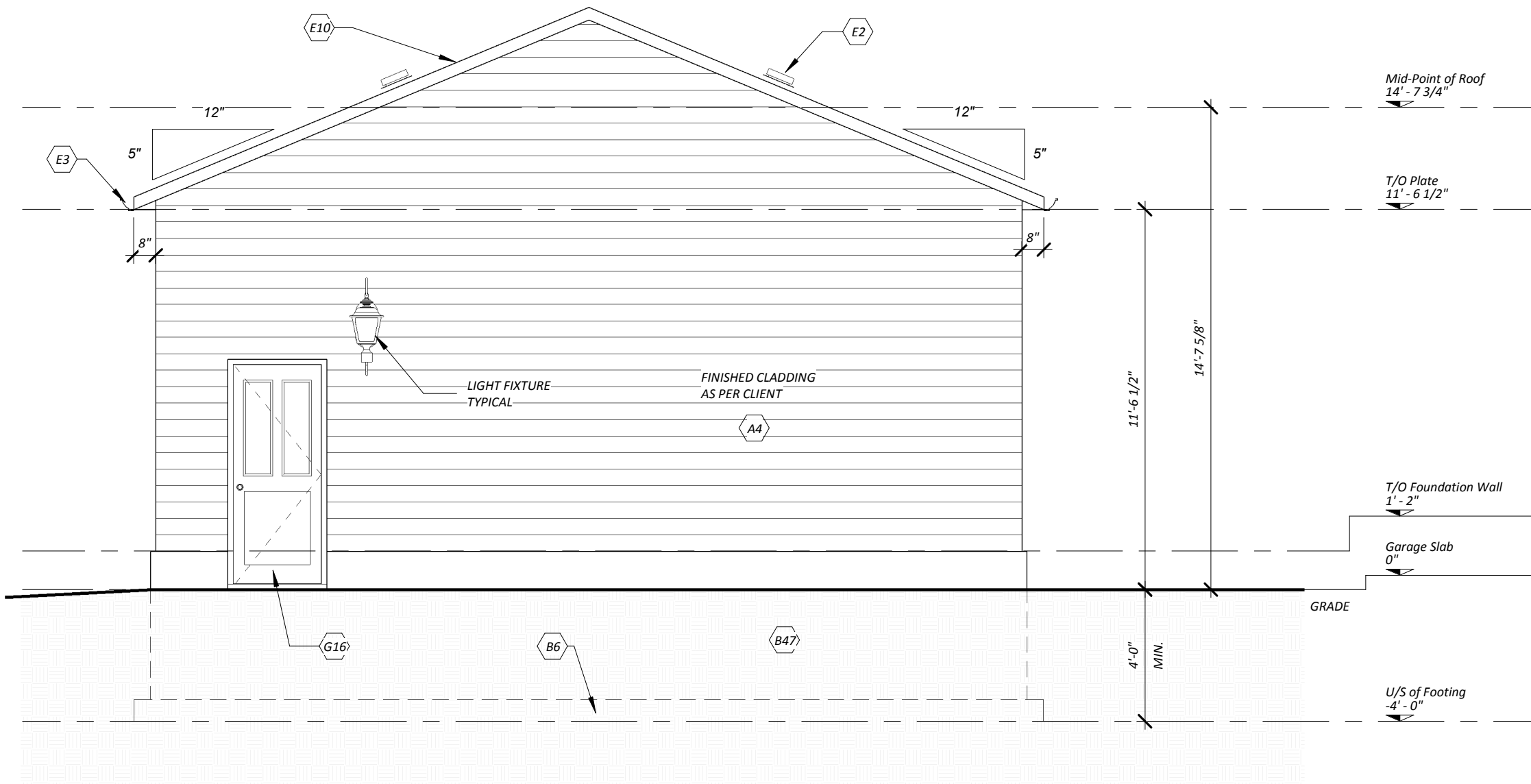
1 Front Elevation
1/4" = 1'-0"

Project: <div>1208 Gilford Road, Gilford</div>			Drawing Title: <div>Front Elevation</div>			Revision:	Project No.: <div>2023-11</div>	Drawing No.: <div>A103</div>
Address:								
Drawn By: <div>J.S.</div>	Scale: <div>1/4" = 1'-0"</div>	<div>July 2025</div>	Simcoe County					



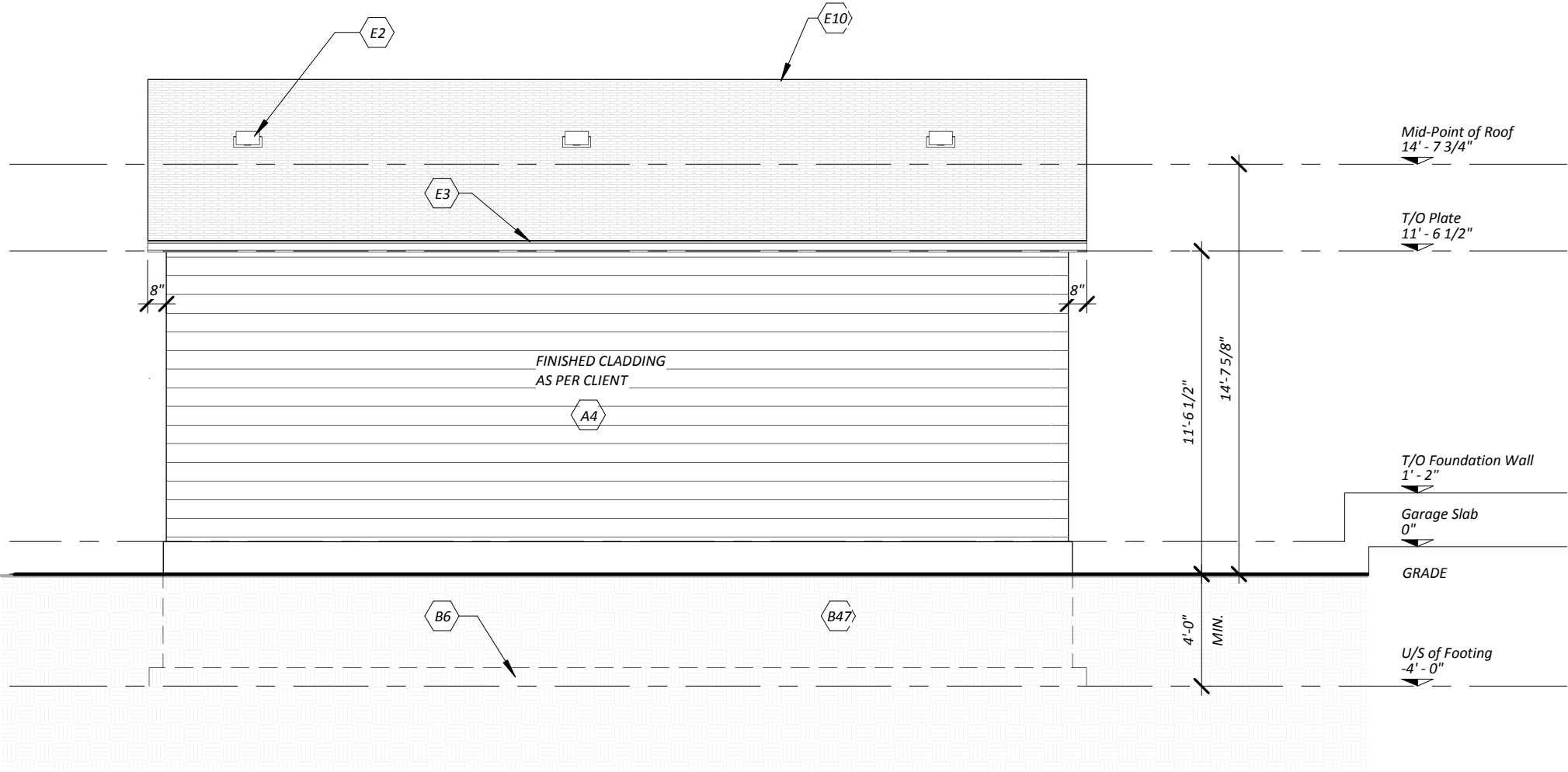
1 Left Side Elevation
1/4" = 1'-0"

Project.: <div>1208 Gilford Road, Gilford</div>			Drawing Title: <div>Left Side Elevation</div>					Revision:	Project No.: <div>2023-11</div>	Drawing No.: <div>A104</div>
Address:										
Drawn By:	J.S.	Scale:	1/4" = 1'-0"	July 2025	Simcoe County					



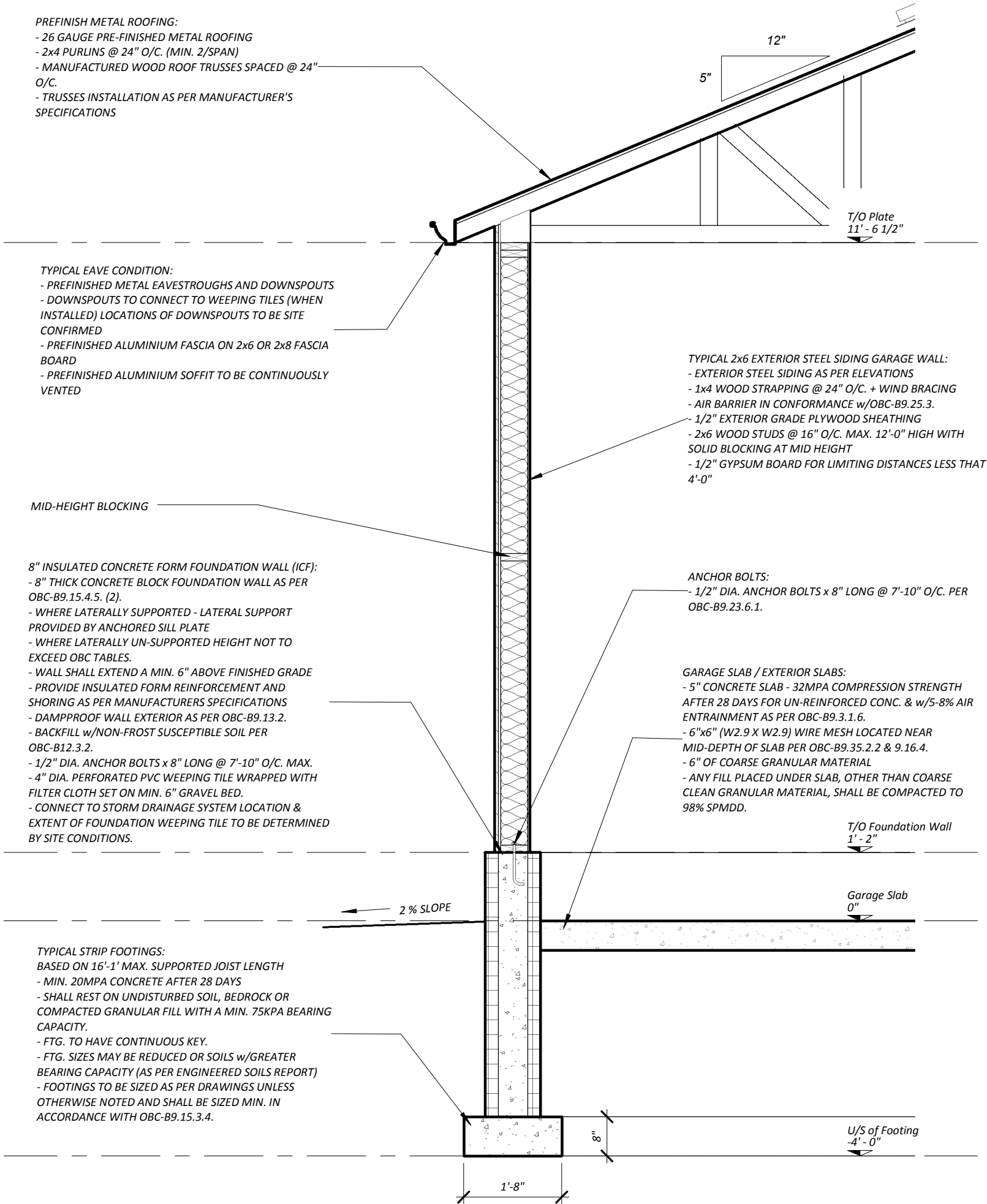
1 Right Side Elevation
1/4" = 1'-0"

Project.: 1208 Gilford Road, Gilford			Drawing Title: Right Side Elevation			Revision:	Project No.: 2023-11	Drawing No.: A105
Address:								
Drawn By: J.S.	Scale: 1/4" = 1'-0"	July 2025	Simcoe County					



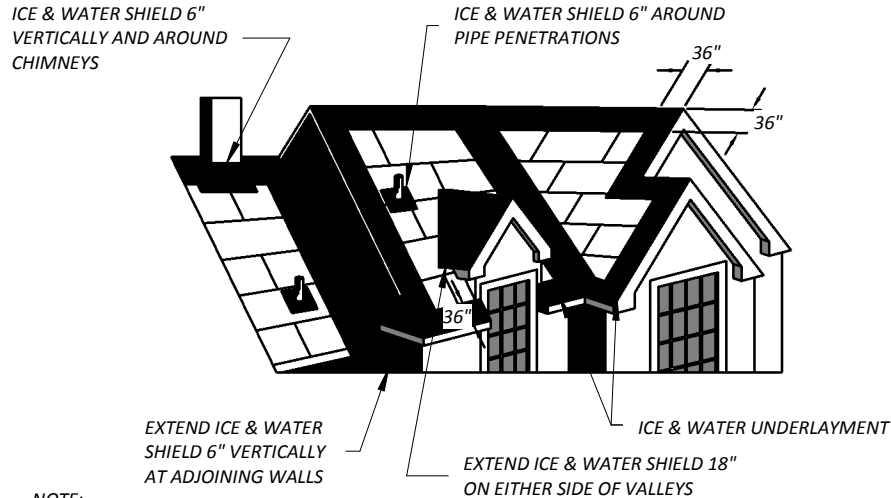
1 Rear Elevation
3/16" = 1'-0"

Project.: <div>1208 Gilford Road, Gilford</div>			Drawing Title: <div>Rear Elevation</div>			Revision:	Project No.: <div>2023-11</div>	Drawing No.: <div>A106</div>
Address:								
Drawn By:	J.S.	Scale: 3/16" = 1'-0"	July 2025	Simcoe County				



1 Typical Wall Section.
1/2" = 1'-0"

Project.: 1208 Gilford Road, Gilford			Drawing Title: Typical Wall Section		Revision:	Drawing No.: A108
Address:			Simcoe County		Project No.: 2023-11	
Drawn By: J.S.	Scale: 1/2" = 1'-0"	July 2025				

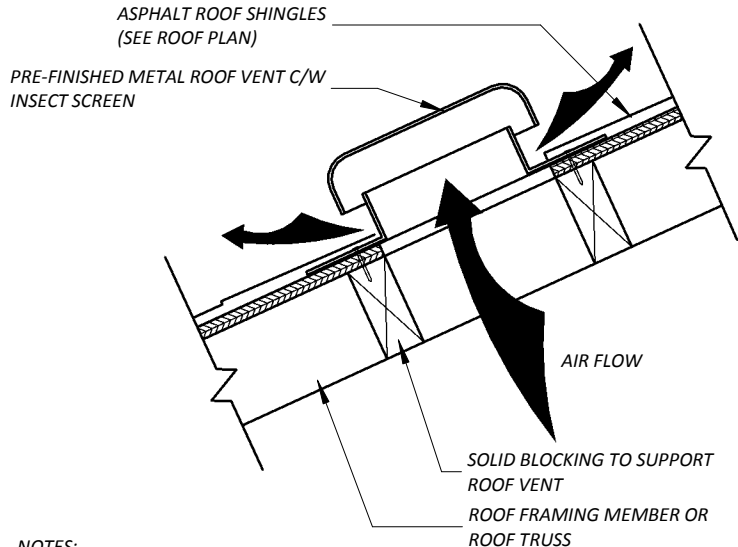


NOTE:

ICE & WATER UNDERLAYMENT SHOULD BE INSTALLED AS SHOWN AT ALL ROOF EDGES, EAVES, RAKES, VALLEYS, HIPS, UNVENTILATED RIDGES AND AROUND ALL PENETRATIONS SUCH AS CHIMNEYS AND VENT PIPES.

ALL WORK SHALL BE EXECUTED IN ACCORDANCE WITH THE ONTARIO BUILDING CODE LATEST EDITION THEREOF AND IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS AND INSTALLATION INSTRUCTIONS.

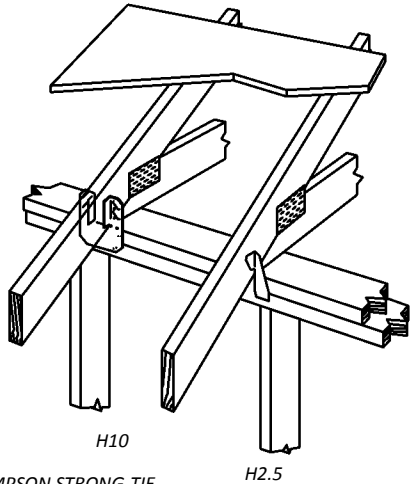
1 Eaves Protection
N.T.S.



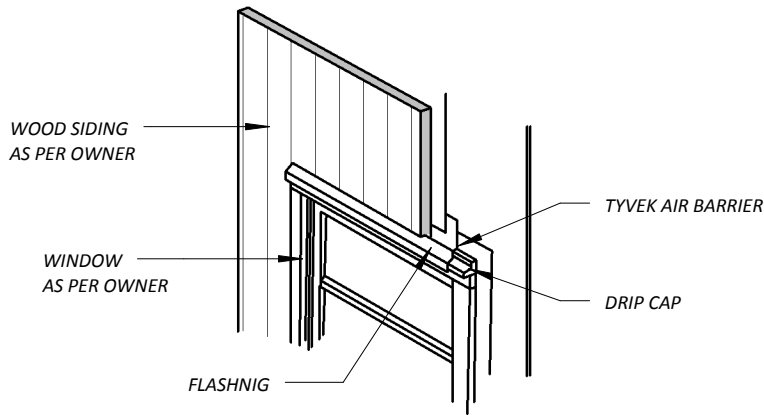
NOTES:

1. REFER TO ROOF PLAN FOR LOCATION AND QUANTITY OF ROOF VENTS.
2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH ONTARIO BUILDING CODE OBC 9.19.1.2 AND IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.
3. VENTS SHALL BE DESIGNED TO PREVENT THE ENTRY OF RAIN, SNOW AND INSECTS.
4. COLOUR TO MATCH ROOFING.

2 Roof Vent Detail
N.T.S.



3 Truss Connection Detail
N.T.S.



4 Window Flashing
N.T.S.

Door Schedule				
Door Number	Width	Height	Description	Finish
				Comments
G21	3' - 0"	7' - 0"	Exterior Man Door	Colour and style as per client
G31	9' - 0"	8' - 0"	Overhead Garage Door	Colour and style as per client
G31	16' - 0"	8' - 0"	Overhead Garage Door	Colour and style as per client

Project.: 1208 Gilford Road, Gilford			Drawing Title: Details & Door Schedule		Revision:	Project No.: 2023-11	Drawing No.: A109
Address:							
Drawn By:	J.S.	Scale: As indicated	July 2025	Simcoe County			

WOOD FRAMING:

ALL FRAMING LUMBER TO OBC STANDARDS SIZES OF JOISTS, LINTELS, ETC. INDICATED ON DRAWINGS, SPECIFIED AS PER NO.2 OR BETTER (UNLESS NOTED OTHERWISE). BEAMS TO HAVE A MINIMUM 3 1/2" END BEARING.

LATERAL SUPPORT - (WALLS SUPPORTING JOISTS) - ANCHOR SILL PLATE AT 6'-7" O/C WITH 1/2" DIA. ANCHOR BOLTS EMBEDDED MIN. 4" INTO MASONRY OR CONCRETE OR ANCHORED EVERY 4TH JOIST NOT RESTING ON A PLATE WITH 3/16"x1 1/2" STEEL JOIST ANCHORS (N.B. - NOT REQUIRED IF FOUNDATION WALL SUPPORTS SOLID MASONRY).

LATERAL SUPPORT - (WALLS PARALLEL TO JOISTS) BEND 3/16"x1 1/2" STEEL STRAP 3" INTO MASONRY AND FIX SILL PLATE (ANCHORED) TO 3 RIGIDLY CONNECTED FLOOR JOISTS AT 6'-7" O/C MAXIMUM.

ALL JOISTS TO HAVE BRIDGING OVER INTERIOR BEARING WALLS AND BEAMS.

MINIMUM SILL PLATE 2"x4"

SILL PLATE ANCHORS TO BE MINIMUM 1/2" DIA. BOLTS EMBEDDED MINIMUM 4" INTO FOUNDATION WALLS, MAX. SPACING OF 6'-7".

HEADER JOISTS TO BE DOUBLED IF OVER 2'-8" AND NOT OVER 10'-8".

TRIMMER JOISTS TO BE DOUBLED IF OVER 2'-8" AND NOT OVER 6'-7" O/C.

SPACE FLOOR JOISTS AT 12" O/C CANTILEVERS

DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS

TRIPLE JOISTS UNDER ALL PARALLEL BEARING PARTITIONS.

MINIMUM 1 1/2" END BEARING REQUIRED FOR SUPPORT FOR JOISTS, CEILING JOISTS, ROOF JOISTS AND RAFTERS.

PROVIDE METAL - JOIST HANGERS FOR SUPPORT OF JOISTS FRAMING ONTO SIDES OF WOOD BEAMS, TRIMMER AND HEADERS WHEN REQUIRED.

ALL CONCEALED SPACES TO BE FIRE STOPPED BETWEEN STOREYS AT FLOOR, CEILING, ROOFS AND AT STAIRS.

WOOD STUD PARTITIONS TO BE MADE UP OF 2"x4" SPRUCE 16" O/C AND 2"x4" TOP AND BOTTOM PLATES (DOUBLE TOP PLATE IN BEARING STUD).

USE 2"x4" STUDS AT 12" O/C FOR GROUND FLOOR OF 3 STOREY STRUCTURES.

DOUBLE STUDS AROUND OPENINGS AND TRIPLE STUDS IN CORNERS IN BEARING STUD PARTITIONS.

ROOF CONSTRUCTION:

PROVIDE EAVES PROTECTION WITH SELF SEALING COMPOSITE MEMBRANES OF "ICE AND WATERSHIED". PROTECTION MUST EXTEND 3'-0" FROM THE ROOF EDGE UP THE SLOPE AND A MINIMUM OF 12" FROM INSIDE FACE OF EXTERIOR WALL.

STARTER STRIP, ROLL ROOFING OR ROOF SHINGLES OF SAME WEIGHT AND QUALITY AS USED ON ROOF LAID WITH TABS FACING UP.

HIP AND VALLEY RAFTERS TO BE 2" DEEPER THAN COMMON RAFTERS.

ROOF SHEATHING 1/2" OSB STRAND BOARD OR PLYWOOD IF EDGES UNSUPPORTED 2'-0" SPACING OF SUPPORTS OR 3/8" OSB OR PLYWOOD WITH "H" CLIPS 2'-0" O/C SPACING OF SUPPORTS.

ROOF EDGE SUPPORTS TO BE 2"x2" BLOCKING MIN.

TRUSS BRACING AND BRIDGING PROVIDE 1"x4" CONTINUOUS AT EACH 2"x4" WALL TIES.

PROVIDE 2"x4" BRACES AND BRIDGING FOR ROOF SLOPES GREATER THAN 4/12.

ROOF DRAINAGE:

ROOF WATER FROM UPPER ROOF LEVEL MUST BE PIPED DIRECTLY TO LOWER LEVEL.

FLASHING:

FLASHING IS REQUIRED UNDER ALL JOINTED SILLS AND OVERHEADS OF WINDOWS AND DOORS IN EXTERIOR WALLS IF DISTANCES BELOW EAVES IN MORE THAN 1/4 ROOF OVERHANG.

FLASHING REQUIRED AT INTERSECTION OF ROOFS, WALL AND VALLEY'S.

FLASHING BETWEEN ROOF SHINGLES AND WALL SIDING 20 GAUGE GALVANIZED METAL 3" HORIZONTALLY.

PROVIDE STEP FLASHING BETWEEN VERTICAL WALL AND ADJACENT ROOF SURFACES.

NATURAL VENTILATION:

INSULATION SHALL BE INSTALLED AND OTHER CONSTRUCTION WORK UNDERTAKEN IN A MANNER WHICH WILL NOT REDUCE THE FLOW OF AIR THROUGH VENTS OR THROUGH ANY PORTION OF THE ROOF SPACE OR ATTIC WHERE NECESSARY TO ENSURE EFFECTIVE AIR CIRCULATION SPECIAL VENTING DEVICES SUCH AS DUCTS OR BAFFLES SHALL BE INSTALLED.

ROOF SPACES OR ATTICS ABOVE INSULATED CEILINGS SHALL BE VENTILATED WITH OPENINGS TO THE EXTERIOR HAVING A TOTAL UNOBSTRUCTED AREA OF NOT LESS THAN 1/300 OF THE INSULATED CEILING AREA (OF WHICH 1/2 TO BE LOCATED IN SOFFIT). SUCH VENTS SHALL BE LOCATED SO AS TO PROVIDE MAXIMUM EFFECTIVE AIR CIRCULATION AND IN RIDGE TYPE ROOFS APPROXIMATELY HALF OF THE TOTAL VENT AREA SHALL BE LOCATED AT OR NEAR THE RIDGE.

GENERAL NOTES / SPECIFICATIONS:

1. THESE WORKING DRAWINGS ARE PROVIDED TO MAKE THE FULL DETAILS OF THE BUILDING OR STRUCTURE SHOWN. THEY MAY ALSO BE USED AS DOCUMENTS FOR CONSTRUCTION. ALL NOTES AND DIMENSIONS ARE SUBJECT TO CHANGE ACCORDING TO THE ARCHITECTURAL DRAWINGS, OWNER, LOCAL BUILDING OFFICAL, APPLICABLE CODES, BUILDING REQUIREMENTS AND SITE CONDITIONS. THESE DRAWINGS ARE TO BE CHECKED BY THE CUSTOMER, OWNER AND / OR CONTRACTOR(S) INCLUDING COORDINATION OF THESE AGAINST ANY OTHER CONSTRUCTION DOCUMENTS. ANY ERRORS OR OMISSIONS MUST BE REPORTED IN WRITING TO THE DESIGNER PRIOR COMMENCEMENT OF CONSTRUCTION.

2. THESE DRAWINGS ARE NOT TO BE SCALED.

3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE, ONTARIO ELECTRICAL CODE, AND ONTARIO FIRE CODE LATEST EDITIONS THEREOF.

4. THE WORK SHALL ALSO BE IN ACCORDANCE WITH ALL LOCAL CODES, AUTHORITIES HAVING JURISDICTION AND WITH ANY OWNER REQUIREMENTS NOT SPECIFICALLY COVERED.

5. THE CONTRACTOR SHALL COORDINATE WITH ALL TRADES INCLUDING SUBCONTRACTORS TO ENSURE NO CONFLICTS AND TO ENSURE EFFICIENT COMPLETION OF THE WORK.

6. EVERY ATTEMPT HAS BEEN MADE FOR COMPLETENESS HOWEVER IT IS CONTRACTORS RESPONSIBILITY TO CONFIRM SITE CONDITIONS AND FIELD CONSTRUCTION.

PROJECT GEOTECHNICAL REPORT:

1.) NO GEOTECHNICAL REPORT HAS BEEN PROVIDED FOR THIS DESIGN. THE DESIGN IS BASED ON TYPICAL SOILS CONDITIONS WITHIN THE GEOGRAPHIC AREA.


Keynote Legend	
Key Value	Keynote Text

A	EXTERIOR WALL ASSEMBLIES:
A4	TYPICAL 2x6 EXTERIOR STEEL SIDING GARAGE WALL: - EXTERIOR STEEL SIDING AS PER ELEVATIONS - 1x4 WOOD STRAPPING @ 24" O/C. + WIND BRACING - AIR BARRIER IN CONFORMANCE w/OBC-B9.25.3. - 1/2" EXTERIOR GRADE PLYWOOD SHEATHING - 2x6 WOOD STUDS @ 16" O/C. MAX. 12'-0" HIGH WITH SOLID BLOCKING AT MID HEIGHT - 1/2" GYPSUM BOARD FOR LIMITING DISTANCES LESS THAT 4'-0"
B	FOUNDATION
B6	TYPICAL STRIP FOOTINGS: BASED ON 16'-1' MAX. SUPPORTED JOIST LENGTH - MIN. 20MPA CONCRETE AFTER 28 DAYS - SHALL REST ON UNDISTURBED SOIL, BEDROCK OR COMPACTED GRANULAR FILL WITH A MIN. 75KPA BEARING CAPACITY. - FTG. TO HAVE CONTINUOUS KEY. - FTG. SIZES MAY BE REDUCED OR SOILS w/GREATER BEARING CAPACITY (AS PER ENGINEERED SOILS REPORT) - FOOTINGS TO BE SIZED AS PER DRAWINGS UNLESS OTHERWISE NOTED AND SHALL BE SIZED MIN. IN ACCORDANCE WITH OBC-B9.15.3.4.

Keynote Legend	
Key Value	Keynote Text

B47	8" INSULATED CONCRETE FORM FOUNDATION WALL (ICF): - 8" THICK CONCRETE BLOCK FOUNDATION WALL AS PER OBC-B9.15.4.5. (2). - WHERE Laterally SUPPORTED - LATERAL SUPPORT PROVIDED BY ANCHORED SILL PLATE - WHERE Laterally UN-SUPPORTED HEIGHT NOT TO EXCEED OBC TABLES. - WALL SHALL EXTEND A MIN. 6" ABOVE FINISHED GRADE - PROVIDE INSULATED FORM REINFORCEMENT AND SHORING AS PER MANUFACTURERS SPECIFICATIONS - DAMPPROOF WALL EXTERIOR AS PER OBC-B9.13.2. - BACKFILL w/NON-FROST SUSCEPTIBLE SOIL PER OBC-B12.3.2. - 1/2" DIA. ANCHOR BOLTS x 8" LONG @ 7'-10" O/C. MAX. - 4" DIA. PERFORATED PVC WEEPING TILE WRAPPED WITH FILTER CLOTH SET ON MIN. 6" GRAVEL BED. - CONNECT TO STORM DRAINAGE SYSTEM LOCATION & EXTENT OF FOUNDATION WEEPING TILE TO BE DETERMINED BY SITE CONDITIONS.
C	INTERIOR WALL ASSEMBLIES:
D	FLOOR ASSEMBLIES:
D3	GARAGE SLAB / EXTERIOR SLABS: - 5" CONCRETE SLAB - 32MPA COMPRESSION STRENGTH AFTER 28 DAYS FOR UN-REINFORCED CONC. & w/5-8% AIR ENTRAINMENT AS PER OBC-B9.3.1.6. - 6"x6" (W2.9 X W2.9) WIRE MESH LOCATED NEAR MID-DEPTH OF SLAB PER OBC-B9.35.2.2 & 9.16.4. - 6" OF COARSE GRANULAR MATERIAL - ANY FILL PLACED UNDER SLAB, OTHER THAN COARSE CLEAN GRANULAR MATERIAL, SHALL BE COMPACTED TO 98% SPMD.
E	ROOF ASSEMBLIES:
E2	ROOF VENTILATION: - PROVIDE PREFINISHED ROOF VENTS IN ACCORDANCE WITH OBC-B9.19.1.2.
E3	TYPICAL EAVE CONDITION: - PREFINISHED METAL EAVESTROUGHS AND DOWNSPOUTS - DOWNSPOUTS TO CONNECT TO WEEPING TILES (WHEN INSTALLED) LOCATIONS OF DOWNSPOUTS TO BE SITE CONFIRMED - PREFINISHED ALUMINIUM FASCIA ON 2x6 OR 2x8 FASCIA BOARD - PREFINISHED ALUMINIUM SOFFIT TO BE CONTINUOUSLY VENTED
E10	PREFINISH METAL ROOFING: - 26 GAUGE PRE-FINISHED METAL ROOFING - 2x4 PURLINS @ 24" O/C. (MIN. 2/SPAN) - MANUFACTURED WOOD ROOF TRUSSES SPACED @ 24" O/C. - TRUSSES INSTALLATION AS PER MANUFACTURER'S SPECIFICATIONS
F	INSULATION:
G	MISCELLANEOUS ITEMS:
G16	GARAGE ENTRY DOOR: - ENTRY DOOR PRODUCT, COLOUR AND MANUFACTURER TO BE SPECIFIED BY OWNER. - REFER TO BUILDING ELEVATION AND SCHEDULE FOR DOOR TYPE.
G26	ANCHOR BOLTS: - 1/2" DIA. ANCHOR BOLTS x 8" LONG @ 7'-10" O/C. PER OBC-B9.23.6.1.
G31	HINGED OVERHEAD GARAGE DOOR: - DOOR PRODUCT, COLOUR AND MANUFACTURER TO BE SPECIFIED BY OWNER. - REFER TO BUILDING ELEVATION AND SCHEDULE FOR DOOR TYPE.

Project.: <div>1208 Gilford Road, Gilford</div>			Drawing Title: <div>General Notes & Keynotes</div>			Revision:	Project No.: <div>2023-11</div>	Drawing No.: <div>A110</div>
Address:								
Drawn By:	J.S.	Scale:	1/8" = 1'-0"	July 2025	Simcoe County			



My lot is not wide enough to place the said garage beside the house.
The garage cannot be at the very back of my property because of a Simcoe county restriction.
There is a septic system on the west side of the property.

The existing two car garage is 18 by 18 feet with stairs leading into the house in one bay, making it inadequate.
I'd like to be able to store my vintage vehicle, boat, trailer, motorcycles, and tractor in a garage on my property.

I prefer not to have a driveway as the garage will be used for storage and traffic to and from the garage will be limited.

Best Regards,

